



Dunedin City Council – Land Information Memorandum

Property Address: 28 Durham Street Dunedin

Prepared for: Josua Cameron Chignell

Prepared on: 08-May-2026

Property Details:

Property ID	5022827
Address	28 Durham Street Dunedin
Parcels	LOT 4 DP 8579

Disclaimer:

Issued in accordance with Section 44A of the Local Government Official Information and Meetings Act 1987

Should you require further clarification of any of the information listed in this report, please phone our Customer Services Agency on 03 477 4000.

This Land Information Memoranda (LIM) has been prepared in accordance with Sections 44A, 44B, 44C, and 44D of the Local Government Official Information and Meetings Act 1987. It contains only information obtained from the records held by the Dunedin City Council as at 08-May-2026

The Dunedin City Council has not carried out an inspection of the land and/or buildings for the purposes of preparing this LIM. The Dunedin City Council records may not show illegal or unauthorised buildings or works on the land. Accordingly this report may not necessarily reflect the current status of the property. Examples of situations which affect the property but are not recorded in this report include: unauthorised work not known to Council and breaches of Consents or Licences that are not the subject of a formal Requisition or Notice. The applicant is solely responsible for ensuring that the land or any building or works on the land is suitable for a particular purpose. The applicant should check the Certificate(s) of Title as this report may not include information that is registered on the Certificate(s) of title. The Certificate(s) of title may record further information or obligations relating to the land.

Further information about this property may be available from other agencies such as the Otago Regional Council, Nova Gas, Telecom New Zealand (Chorus) or Delta Utility Services Limited.

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s44A(2)(a) Information identifying any special feature or characteristics of the land

District Plan Hazard Information

Refer to District Plan for Natural Hazards Information *section: s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use.*

Other Natural Hazard Information

Flood Hazards

No information.

Land Stability Hazards

No information.

Coastal Hazards

No information.

Seismic Hazards

No information.

Other Natural Hazards

No information.

Otago Regional Council Hazard Information

The Regional Council is required to provide information that it holds on Natural Hazards:

<https://www.orc.govt.nz/managing-our-environment/natural-hazards/otago-natural-hazards-database>

Contaminated Site, Hazardous Substances and Dangerous Goods

Contaminated Site Information

No information.

Historic Dangerous Goods Licence(s)

No information.

Hazardous Substances

No information.

WARNING – Change in legislation and management of hazardous substances

On 1 April 2004, all Dunedin City Council Dangerous Goods Licences expired. From this date they became the responsibility of the Environmental Protection Authority (EPA) under the Hazardous Substances and New Organisms Act 1996.

All new licences for hazardous substances were issued by independent Test Certifiers approved by the EPA. The Council no longer holds current information on the use of hazardous substances at these premises and hazardous substances may be present without the Council's knowledge.

The Council was advised by the EPA in 2016 that Worksafe had taken over responsibility for managing Location Test certificates under the Hazardous Substances and New Organisms Act 1996.

The EPA no longer hold any information in relation to Location Test Certificates If you have any questions, please contact Worksafe.

s44A(2)(b) Information on private and public stormwater and sewerage drains

Drainage

Drainage plans on file are indicative only.

Obtaining your own independent review may be required before commencing drainage works.

Foul Sewer and Waste Water

Urban Stormwater Catchment

This property is located within an urban stormwater catchment that has been modelled in a study to determine the potential effects of land use and climate change that may occur over the next 50 years. This indicates that some areas of the catchment might be subject to a potential flooding risk or surface water ponding during particular rainfall events.

These effects are outlined in the Integrated Catchment Management Plans (ICMPs) that are available on the Council website. The ICMPs show the areas in the catchment that have been modelled which might be susceptible to a higher risk of flooding. The ICMPs contain maps that indicate a potential worst case scenario for a 1 in 100 year rainfall event. However, there are a series of maps also available that show modelling results from a range of other scenarios.

While the maps have been produced to help Council manage the reticulation networks, they are not sufficiently detailed to specifically account for individual properties which may be affected by local factors not included in the models.

For further information please contact 3 Waters Services at Dunedin City Council.

Stormwater/Sewer Separation - Compliant

The Dunedin City Council requires the foul sewer and storm water being discharged from a property to be directed to the separate foul sewer and storm water networks, respectively. This property is in an area where inspections have been undertaken to ensure compliance with this requirement. This property was certified as complying with Council's requirements for storm water separation at the time of inspection on **13th July 1993**.

No comment is made with regard to this property's compliance with the requirement for storm water separation after the date of inspection.

Drainage Reticulation Plans

A copy of the Dunedin City Council's drainage infrastructure in the vicinity of the subject property is attached. Public foul sewers are show in red and stormwater sewers in green. All public drainage services are available to receive connections from the property and limited flows of stormwater may also be discharged to the street channel or an approved outfall.

Public Sewer Sheets

WARNING. Please note that public sewer reticulation sheets are scaled in either Imperial feet or Metric metres. Please check with the Duty Drainage Inspector if in doubt.

Dunedin City Council Private Drainage plans incomplete

WARNING. The Dunedin City Council's private drainage records (plans) prior to 1 January 1993 may be incomplete or not clearly recorded. Owners therefore are advised to carry out work with due care to avoid damage to any private drain not detailed because of the lack of information filed in the Council's records.

s44A(2)(bb) Information Council holds regarding drinking water supply to the land

Water Supply

Urban water supply area – Connected

This property is connected to the Dunedin City Council's urban (on-demand) water supply. Indicative water pressures are available to view at www.dunedin.govt.nz/water-pressure, and flows available to the property can be provided on request. Any change in water use (e.g. for a new commercial activity) requires a new application to be made to the Council. It is recommended that the applicant check the property for the location and suitability of the water service.

Terms and conditions of supply

All new and existing connections to the Dunedin City Council's water supply network are subject to the terms and conditions of the Dunedin City Council Water Bylaw 2011. The bylaw is available to view at www.dunedin.govt.nz/water-bylaw.

Water pressure

Indicative network water pressure to the property is shown on maps available at www.dunedin.govt.nz/water-pressure. Specific detail is available on request.

Water reticulation maps

A copy of the water reticulation map of Dunedin City Council infrastructure in the vicinity of the subject property is attached. These show the location of the water main in the road. It may or may not show the water service to the property. It is recommended that the applicant check the property.

s44A(2)(c) Information relating to any rates owing in relation to the land

Rates Details

Rates Assessment Details

Rate Account	2022827
Address	28 Durham Street Dunedin
Valuation Number	27050-64800

Latest Valuation Details

Capital Value	\$630,000
Land Value	\$335,000
Value of Improvements	\$295,000
Area (Hectares)	0.0467HA
Units of Use	1

Current Rates

Current Rating Year Starting	01-Jul-2025
Dunedin City Council Rates	\$4,112.96

Rates Outstanding for Year \$1,028.24

For further explanation on the rate account, or to enquire about information referred to on this page, please contact Rates Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

s44A(2)(d) Consents, Certificates, Notices, Orders or Requisitions affecting the land or any buildings on the land

(da) the information required to be provided to a territorial authority under section 362T(2) of the Building Act 2004:s44A and

(2)(e) Information concerning any Certificate issued by a Building Certifier pursuant to the Building Act 1991 or the Building Act 2004

Building and Drainage Consents

The following consents are recorded for this property:

Status Key:	BC	-	Building Consent Issued
	CCC	-	Code Compliance Certificate Issued
	Archived	-	In accordance with section 93(2)(b) of the Building Act, the consent was reviewed for code compliance after two years. Compliance with the Building Code could not be established and therefore the Code Compliance Certificate has been refused.
	/CCC		
	Refused	-	Work has not commenced and no extension of time applied for within 12 months of date of consent issue. Consent is of no further effect
	Lapsed	-	

NOTE: This is not a comprehensive list of all building consent statuses

[ABA-2012-227](#) Building Consent - Remove Interior Walls and Install Roof Beams

Lodgement Date	22-Feb-2012
Decision	Granted
Decision Date	13-Mar-2012
Current Status	CCC Issued
Previous Number	
<i>(Applications before 2007)</i>	

Building and Drainage Permits

[H-1958-50872](#) AAB19580510

D.C.C. - 33ft Building Line Restriction on Durham St frontage, no plan. The permit was lodged on 01-Jan-1958.

[H-1964-61501](#) AAB19640535 12348 - Erect Dwelling (Japp). The permit was lodged on 18-Dec-1964.

[H-1974-78259](#) AAB19740585 16 - Erect Glasshouse (Nash). The permit was lodged on 05-Sep-1974.

[H-1976-81839](#) AAB19760585 2829 - Addition and Alteration of Sunroom and Deck (Nash). The permit was lodged on 06-Apr-1976.

[H-1911-122785](#) AAD19111216 9200 - Plumbing and Drainage through 28 Durham Street (Paterson). The permit was lodged on 01-Dec-1911.

[H-1913-127848](#) AAD19132413

A2584 - Extension of drain (Ashby). The permit was lodged on 01-Jan-1913.

[H-1955-174148](#) AAD19551109

F6016 - Subdivision drainage (Reid). The permit was lodged on 22-Dec-1955.

[H-1965-188969](#) AAD19651332 H309 - Drainage (Japp). The permit was lodged on 13-Aug-1965.

[H-1966-190317](#) AAD19661229 H1158 - Plumbing, No Plan (Japp). The permit was lodged on 21-Apr-1966.

Building Notices

No Building Notices

Resource Consents

There are no resource consents for this property.

Consent Notices

There are no Consent Notices recorded for this property. It is recommended that the applicant check the Record of Title for any notices or covenants that may affect the property.

Alcohol Licensing

There are no records of any Alcohol Licences for this property.

Health Licensing

There are no records of any Health Licences for this property.

s44A(2)(ea) Information notified under Section 124 of the Weathertight Homes Resolution Services Act 2006

No information.

s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use

District Plan

The information on district plan requirements is correct at the date this LIM is issued. Note that the Dunedin City Second Generation District Plan ("The 2GP") is subject to change at any time.

To check whether any changes have occurred since the date this LIM was issued, consult the information and relevant planning maps in the 2GP, which can be found on our website at <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan> as well as at all Dunedin City Council service centres and libraries.

SECOND GENERATION DISTRICT PLAN INFORMATION

Zoning

- General Residential 2 (refer Section 15, Residential)

Scheduled Items

- Nil

Overlay Zones

- Nil

Mapped Areas

- Nil

District Plan Map

The District Plan map is available [online here](#). Instructions on how to use the map are [available here](#).

You can also access the District Plan map and instructions by visiting the Dunedin City Council 2GP Website at:

<https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan>

s44A(2)(g) Information regarding the land which has been notified to Council by another statutory organisation

No information.

s44A(2)(h) Information regarding the land which has been notified to Council by any network utility operator pursuant to the Building Act 1991 or Building Act 2004

No information.

Section 44A(3) Information concerning the land as the authority considers, at its discretion, to be relevant.

Building Information

Drainage

Form 5 (building consent) copy

This property contains building consent application/s where a copy of the building consent (Form 5) is not able to be provided.

This may be due to the age of the consent and/or processes that were in place at the time.

Minimum Floor Levels

Clause E1.3.2 of the New Zealand Building Code requires that surface water, resulting from an event having a 2% probability of occurring annually, shall not enter buildings. This requirement applies to Housing, Communal Housing, Communal Residential and Communal non-residential buildings. For guidance when establishing minimum floor levels please refer to : <https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels> and for links to specific areas:

<https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels/mfl-guidance>

For further explanation on the current status of any building consent, or to enquire about information referred to in this section, please contact Building Services Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

Planning

Resource Consents within 50m of 28 Durham Street Dunedin

[5022798 31 Durham Street Dunedin](#)

[RMA-1997-361349](#) Resource Management Act (Historical Data) CONSTRUCT NEW DWELLING (Non-Notified - Restricted Discretionary). The outcome was Granted on 26/11/1997.

[RMA-1996-360356](#) Resource Management Act (Historical Data) SUBDIVISION TO CREATE TWO NEW RESIDENTIAL ALLOTMENTS (Non-Notified - Non Complying). The outcome was Granted on 16/12/1996.

[5022830 21 Elgin Road Dunedin](#)

[LUC-2020-561](#) Land Use Consent The construction of a vehicle access with reduced intersection separation. The outcome was Granted on 07/12/2020.

[RMA-2001-364570](#) Resource Management Act (Historical Data) REMOVAL OF ASH TREE (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 20/02/2001.

[5043473 18A Elgin Road Dunedin](#)

[RMA-1985-354386](#) Resource Management Act (Historical Data) 2ND DETACHED DWELLING ON SITE Ownr:BABB DEVELOPMENT / App: BABB DEVELOPMENT BOX 803 (Notified - Non Complying). The outcome was Granted on 18/12/1985.

[5043474 18B Elgin Road Dunedin](#)

[RMA-1985-354386](#) Resource Management Act (Historical Data) 2ND DETACHED DWELLING ON SITE Ownr:BABB DEVELOPMENT / App: BABB DEVELOPMENT BOX 803 (Notified - Non Complying). The outcome was Granted on 18/12/1985.

[5103667 29 Durham Street Dunedin](#)

[RMA-1996-360356](#) Resource Management Act (Historical Data) SUBDIVISION TO CREATE TWO NEW RESIDENTIAL ALLOTMENTS (Non-Notified - Non Complying). The outcome was Granted on 16/12/1996.

[5112907 47 Havelock Street Dunedin](#)

[SUB-2005-369498/A](#) Subdivision Consent s127 change or cancellation of conditions. The outcome was s127 Upheld on 17/04/2007.

[RMA-2005-369498](#) Resource Management Act (Historical Data) TWO LOT SUBDIVISION (Non-Notified - Non Complying). The outcome was Granted on 31/10/2005.

[5112908 49 Havelock Street Dunedin](#)

[SUB-2005-369498/A](#) Subdivision Consent s127 change or cancellation of conditions. The outcome was s127 Upheld on 17/04/2007.

[RMA-2005-369498](#) Resource Management Act (Historical Data) TWO LOT SUBDIVISION (Non-Notified - Non Complying). The outcome was Granted on 31/10/2005.

The information provided with this LIM on District Plan requirements and resource consents has been verified by City Planning in relation to the subject property only. All information included in relation to other land surrounding the site is indicative.

Accuracy of Boundaries

Knowing the true location of the property boundaries on the ground is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. Please note that the Council's aerial photographs may not accurately depict the extent of the property. The Record of Title for the site should be checked in the first instance. A surveyor may need to be consulted to establish the true location of the title boundaries on the ground.

Access to Site

The legality of any access to the site is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. It is recommended that the Record of Title and/or a lawyer be consulted regarding the legality of any legal and/or physical access to the site (and the maintenance thereof).

Heritage New Zealand Pouhere Taonga Act 2014

The Heritage New Zealand Pouhere Taonga Act 2014 applies in addition to any protection provided to a building or site by the District Plan. The Heritage New Zealand Pouhere Taonga Act 2014 makes it unlawful for any person to destroy, or modify the whole or any part of an archaeological site, whether or not the land on which the site is located is designated, or a resource or building consent has been issued, without the prior authority of Heritage New Zealand. The Heritage New Zealand Pouhere Taonga Act 2014 defines an archaeological site as a place associated with pre-1900 activity, where there may be evidence relating to the history of New Zealand. Pre-1900 buildings are considered archaeological sites under the Heritage New Zealand Pouhere Taonga Act 2014 and are also often associated with subsurface archaeological remains that provide evidence of pre-existing use of the site. Council records may not necessarily identify the precise date upon which an existing building was constructed. Contact the Dunedin office of Heritage New Zealand for further information: infodeepsouth@heritage.org.nz; 03 477 9871.

Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011

The Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011 came into force on 1 January 2012. The National Environmental Standard applies to any piece of land on which an activity or industry described in the current edition of the Hazardous Activities and Industries List (HAIL) is being undertaken, has been undertaken or is more likely than not to have been undertaken. (The current edition of the HAIL is available on the Ministry for the Environment website at www.mfe.govt.nz.) Activities on HAIL sites may need to comply with permitted activity conditions specified in the National Environmental Standard and/or might require resource consent. (The Otago Regional Council should also be consulted for any rules it might have in regards to the use or development of contaminated sites.)

If a person wishes to establish whether a piece of land has had hazardous activities or industries conducted on it, and thus whether activities on that land are controlled by the National Environmental Standard, then the person must pay for a review of the information about the land held by the Council, or pay for a suitably qualified and experienced practitioner to undertake a preliminary site inspection. Formal confirmation from the Council that resource consent is not required under the National Environmental Standard can only be given through a certificate of compliance application.

If you would like a copy of any Resource Consent decision or advice on the current status and relevance of any planning matter referred to in the LIM, enquiries may be made at the Planning Enquiries desk on the Ground Floor of the Civic Centre, 50 The Octagon, or by phoning 477 4000 and asking for the Duty Planner. Planners are available at the Planning Enquiries desk to answer your enquiries between 8:30am and 5:00pm weekdays.

3 Waters

Information Regarding Watercourses

The controlling authority for all water and waterbodies in Dunedin City is the Otago Regional Council. The Regional Plan: Water addresses water take and use, diversions, damming, discharges and bed alteration under the Resource Management Act 1991. They are also responsible for the Flood Protection Management Bylaw 2012.

The controlling authority for watercourses in relation to stormwater drainage, and removal of obstructions in accordance with Local Government Act 1974 is the Dunedin City Council. The Council also issues building and resource consents for certain works around watercourses.

Not all watercourses within Dunedin City are recorded or known to the Council, therefore it is recommended that the applicant inspect the property for watercourses.

For further information on watercourses it is recommended the applicant read the Watercourse Information Sheet. A copy of this document is available on request or for download from the Dunedin City Council website www.dunedin.govt.nz.

Transport

DCC Transport has carried out a desktop inspection of this property and found the following:

Encroachment on road reserve – privately owned vegetation/trees and an asphalt path

On the property's frontage there are various privately owned plantings and an asphalt path that appear to be located on road reserve. Private vegetation is required to be maintained so that it does not interfere with footpath users. These may remain at the pleasure of Council. These may remain at the pleasure of Council. Council accepts this situation but accepts no liability. Maintenance is the responsibility of the property owner. The Council may require this to be addressed in the future.

Non-compliant vehicle crossing – no stormwater run-off.

It appears there are no stormwater provisions in place for this vehicle crossing. To meet current Council standards the stormwater run-off would be required to be captured at the boundary and managed in a way where it does not cause a nuisance to neighbouring properties, including the road corridor. For example: a strip drain with sump or a sump and piped to the kerb and channel.

Council accepts this situation but accepts no liability and the maintenance is the responsibility of the property owner. This may be required to be upgraded in the future.

Private stormwater lateral.

Private stormwater laterals collect stormwater from private properties guttering and runs under the footpath to the kerb and channel on the roadside. The stormwater laterals are private pipes and are the responsibility of the landowner who they service, the repair and maintenance of these pipe's rests solely with the property owner. As the landowner you must maintain your stormwater lateral to ensure that it doesn't become a safety hazard for pedestrians or other road users.

For further explanations on property owner obligations in regard to local road encroachments, vehicle entrances, vegetation management or retaining structures please refer to the Dunedin City Council website at <http://www.dunedin.govt.nz/services/roads-and-footpaths> or contact Transport on 477 4000.

For properties abutting the state highway, Waka Kotahi NZ Transport Agency is the Road Controlling Authority.

Glossary of Terms and Abbreviations

The following are abbreviations and terms that may appear as a part of a LIM.

Consent, Permit, Licence & Complaint types

AAB	DCC Building permit
AAD	DCC Drainage permit
AAG	Green Island drainage permit
AAH	Hyde permit
AAK	St Kilda permit
AAM	Mosgiel permit
AAP	Port Chalmers permit
AAS	Silverpeaks permit
AAT	Maniototo permit
ABA	Application Building Act 1991
AMD	Amendment to a Building Consent
BC	Building Consent
BCC	Building Compliance Certificate - Sale and Supply of Alcohol Act
BCM	Building Complaint
CER	Certifier
COA	Certificate of Acceptance
DGL	Dangerous Goods Licensing
ENV	Health complaint
HTH	Health licence
LIQ	Alcohol licence
NTF	Notice to Fix
NTR	Notice to Rectify
PIM	Project Information Memorandum
POL	Planning Other Legislation
RMA	Resource Management Act - Resource consent
RMC	Resource consent complaint
WOF	Building Warrant of Fitness

Terms used in Permits & Consents

ALT	Alteration
ADD	Addition
BD D/C	Board drain in common
BLD	Building
BLDNG	Building
BT	Boundary trap
B/T	Boiler tube
CCC	Code Compliance Certificate
DAP	Drainage from adjacent property
DGE	Drainage
DIC	Drain in common
DR	Drainage
DWG	Dwelling
FS	Foul sewer
HEA	Heater
ICC	Interim Code Compliance

MH Manhole
PL Plumbing
PLB Plumbing
PTE Private
SIS Sewer in section
WC Water course
WT Water table
SW Stormwater

General terms

RDMS Records and Document Management System

Appendices



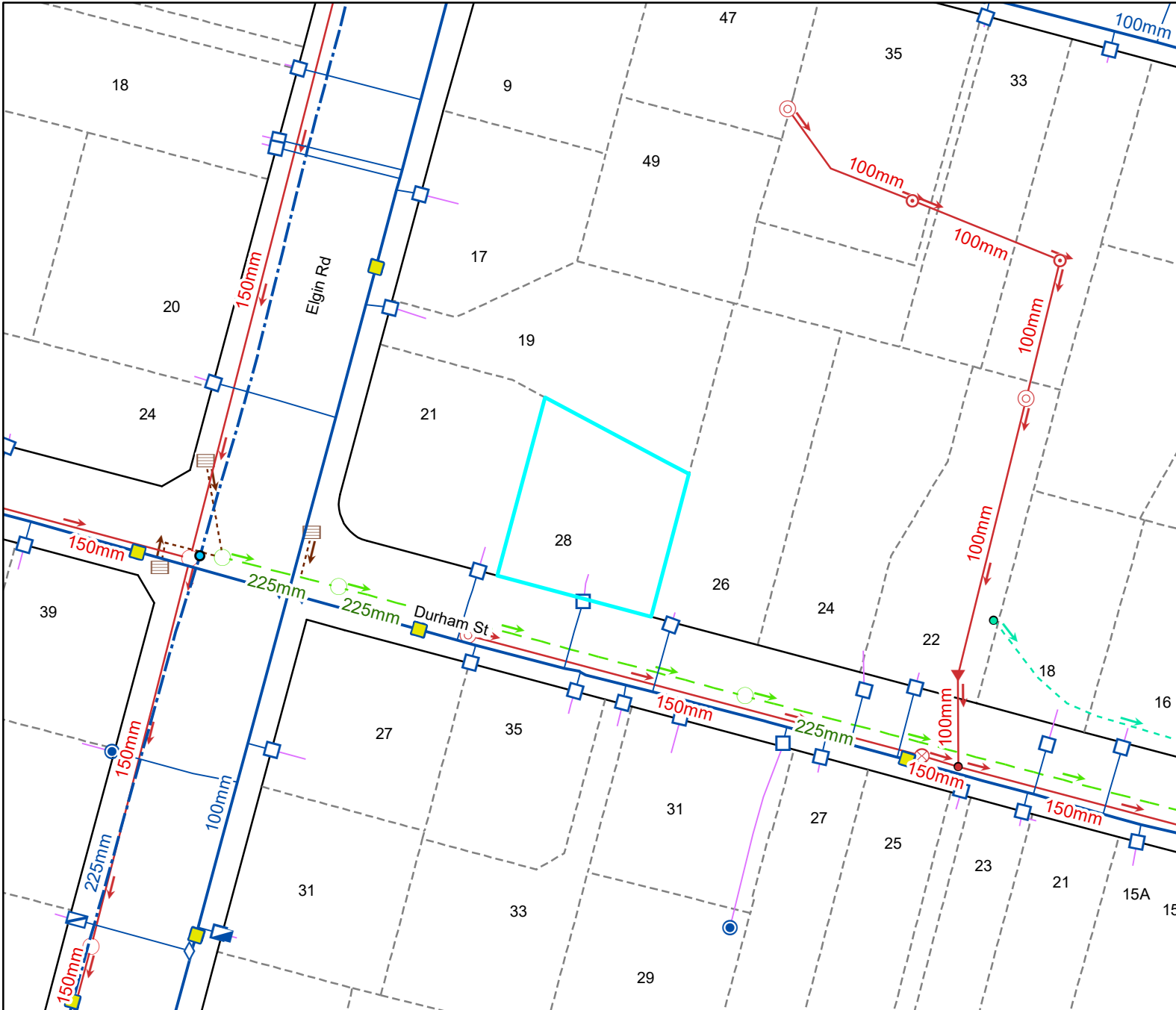
Photographic Map

Scale at A4:
1:750
4/05/2026
8:03:06 PM



PARCEL LINES CAN VARY FROM
LEGAL PARCEL BOUNDARIES
This map is for illustration purposes only
and is not accurate to surveying, engineering
or orthographic standards. Every effort
has been made to ensure correctness and
timeliness of the information presented.

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Legend

Water Supply

- Manifold Box
- Water Meter
- Toby
- Meter without manifold box
- Retic Flow Meter
- Combination Meter
- Manifold Box With Restrictor
- Water Valve - Zone
- Non Return Valve
- Water Valve - Gate
- Water Valve - Sluice
- Water Hydrant
- Water Backflow Preventor - RPZ
- NR - Water Non-Return Valve
- Water Pump Station
- Water Bore
- Water Treatment Plant
- Water Storage Tank
- Supply Main
- Trunk Main
- Disused
- Reticulation
- Rider
- Scour
- Water Service Lateral
- Water Fire Service Lateral
- Water Critical Service Lateral
- Water Zone Boundary
- Water Reservoir
- Redundant Water Main

NOTE: Private water services have the same symbols as those above, however they are coloured pink.

Foul Sewerage

- Standard Manhole
- Valve Chamber (pressurised)
- Boundary Kit
- Non-Return Valve
- Pump Station Domestic
- Drop Manhole
- Inspection Manhole
- Inspection Opening
- Lamphole
- Outlet
- Pump Station
- Treatment Plant
- Vent
- Foul Sewer Node
- Foul Drains in Common (public)
- Sewer
- Trunk Sewer
- Vent Line
- Rising Main
- Redundant Foul Sewer Pipe

NOTE: Private foul drains have the same symbols as those above, however they are coloured orange.

Stormwater

- SW Bubble-up Tank
- SW Drop Manhole
- SW Insp Chamber and Grating Inlet
- SW Inspection Manhole
- SW Inspection Opening
- SW Lamphole
- SW Mudtank Inlet
- SW Outlet
- SW Pipe Inlet
- SW Pressure Manhole
- SW Standard Manhole
- SW Stormwater Node
- Roading Bubble-Up Tank
- Roading Mudtank
- Stormwater Main
- Stormwater Trunk Main
- DCC Open Channel
- Piped WC
- Open WC
- Culvert
- Stormwater Mudtank Pipe
- Redundant Stormwater Main
- SW Sump
- SW Pump Station

NOTE: Private stormwater drains have the same symbols as those above, however they are coloured light green.

General

- DCC Water & Waste Structure
- Railway Centreline
- Parcel
- Hydro
- Motorway Parcels
- Strata
- Road/Rail
- Easment (where recorded)

Full legend can be viewed at <https://www.dunedin.govt.nz/council-online/webmaps/waterservices>

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Council Water & Drainage Services

Information shown is the best available at the time of publishing. The accuracy and completeness of This information is variable. Private assets are typically not mapped. Recent changes may not be reflected. Verify on site before commencing work. For all enquiries phone 03 477 4000.

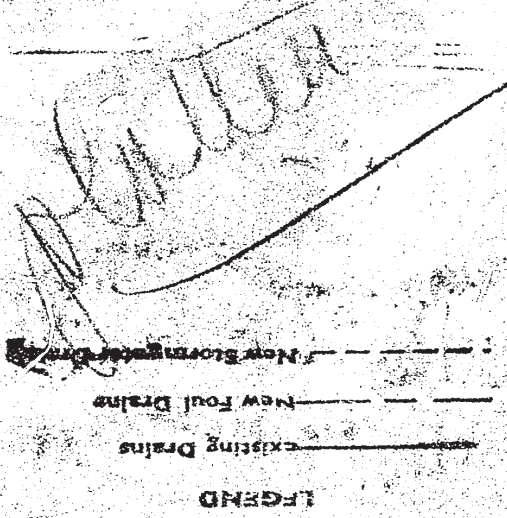
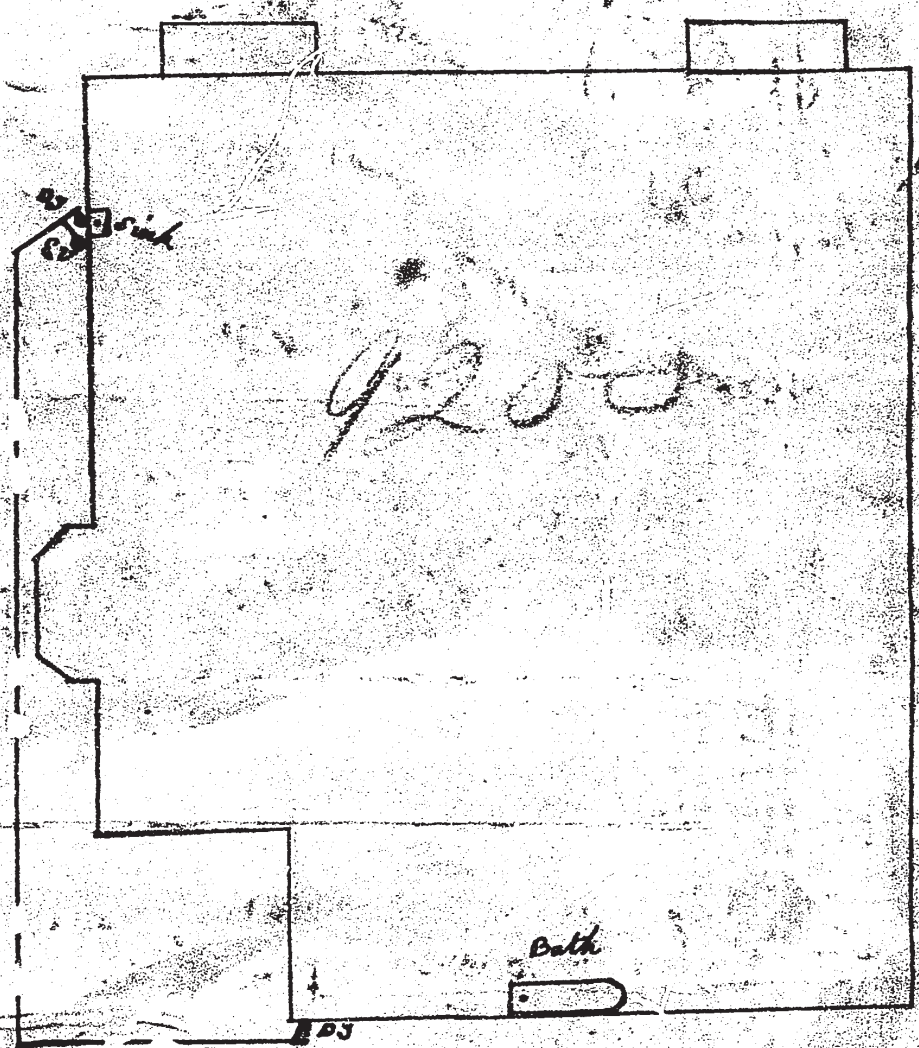
Scale at A4:
 1:750
 4/05/2026
 8:03:15 PM



PARCEL LINES CAN VARY FROM LEGAL PARCEL BOUNDARIES
 This map is for illustration purposes only and is not accurate to surveying, engineering or orthophotographic standards. Every effort has been made to ensure correctness and timeliness of the information presented.

18/1/1914
4/12/14
O.S.

9200



W.P.S.
Durham ST

R.P.D.

W.C.
F.L.P.

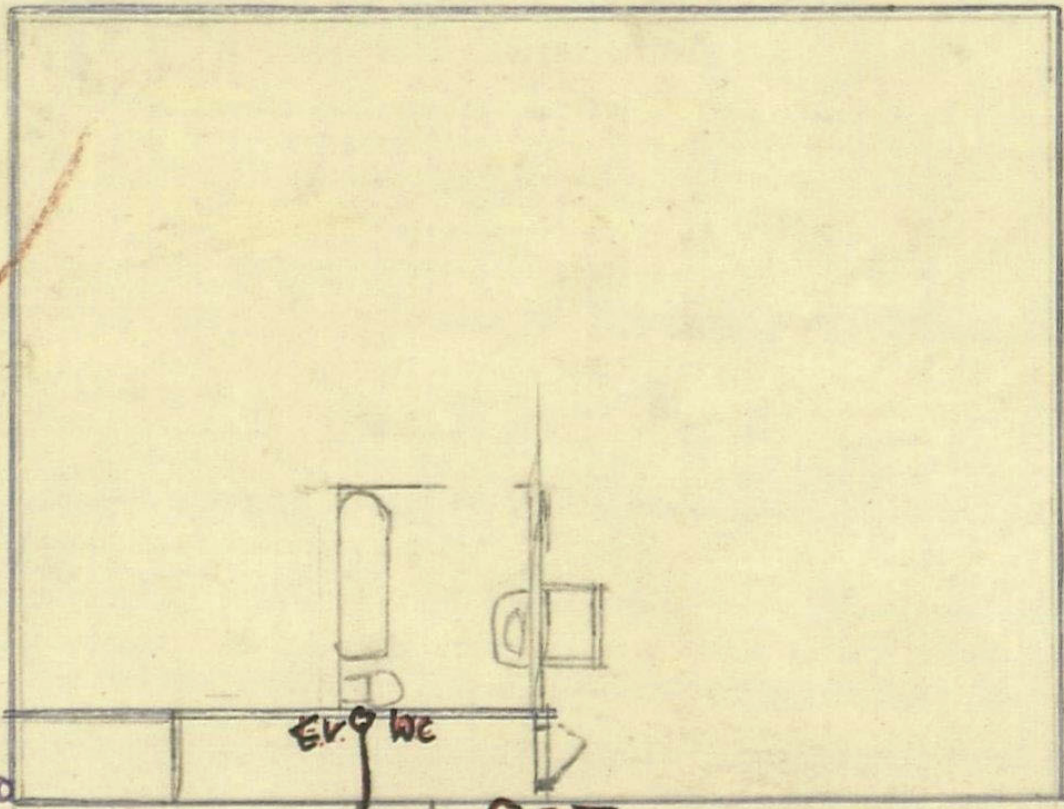
Paterson
Sept. 10 & 11
Revised 1915
Thick
Phil

130 ft
9200

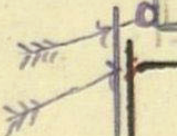
A/2584

2

OK



DRAINS EXTENDED.
FROM. HERE



EV. WE
O.B.T

*Mr Ashby
1/2 of 6 Queen Rd & Clyde St.
Mornington*

LEGEND

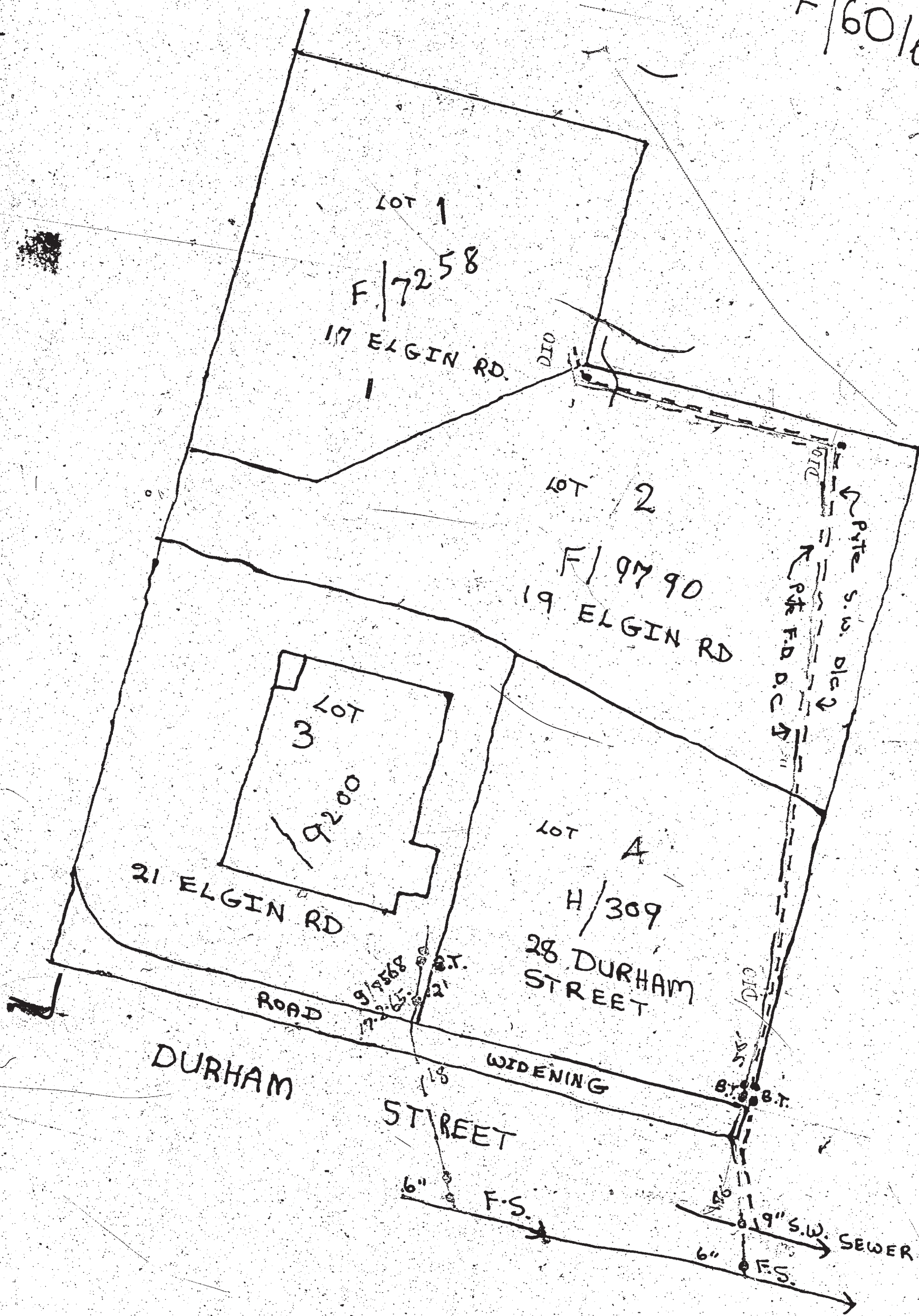
- Existing Drains
- - - - - New Foul Drains
- - - - - New Stormwater Drains

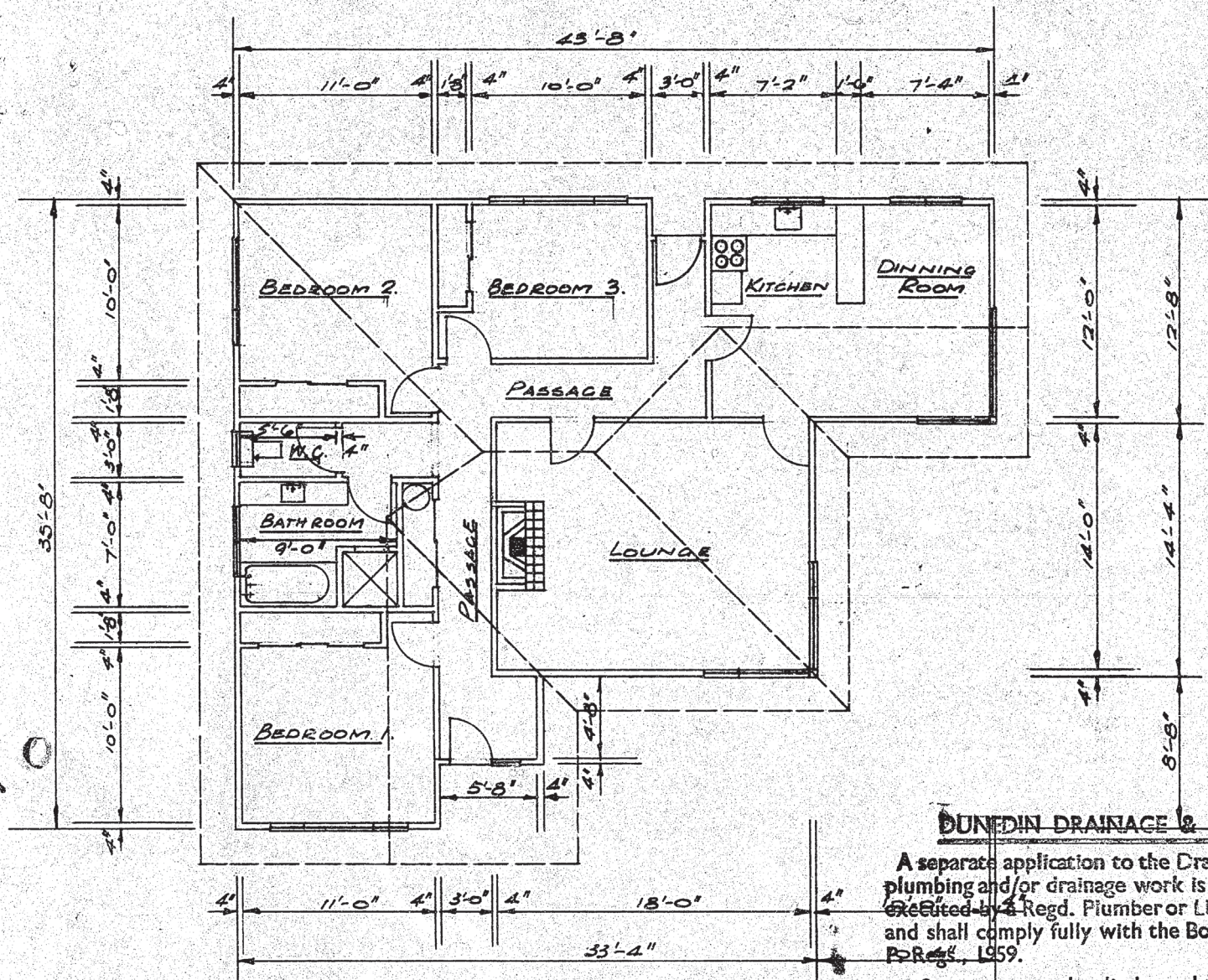
To. CLYDE, ST. SEWER

H. Richmond Hill

5. 11

PLAN F/6016





FLOOR PLAN.
Scale: 1/8" to a foot

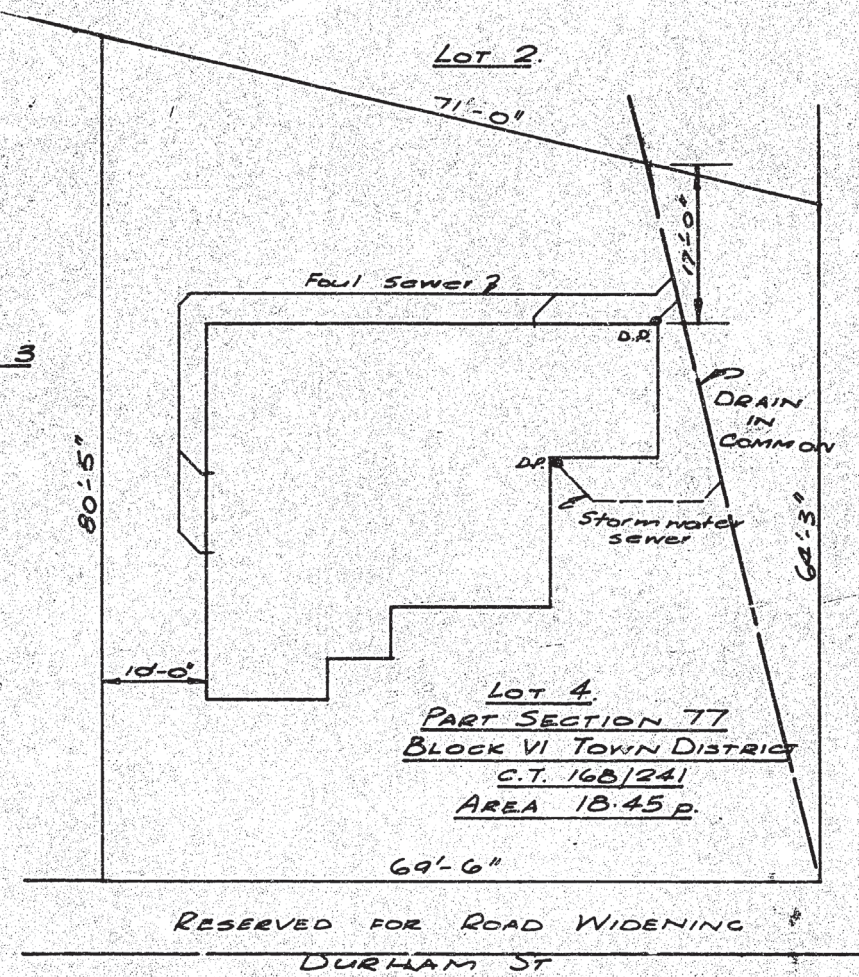
DUNEDIN DRAINAGE & SEWERAGE BOARD

A separate application to the Drainage Board for a permit for plumbing and/or drainage work is required. Such work to be executed by a Regd. Plumber or Licensed Drainer, respectively and shall comply fully with the Board's By-laws and the D. & S. Act, 1959.

Stormwater to be discharged to *Private Stormwater drain - in - Common in Section*

Foul sewage to be discharged to *Private foul drain in - Common in Section Proposed*
to be kept clear of obstructions
drains - in - Common and foul drain
leaving adjoining Section of drains inverted

8/12/64
S. Lowe

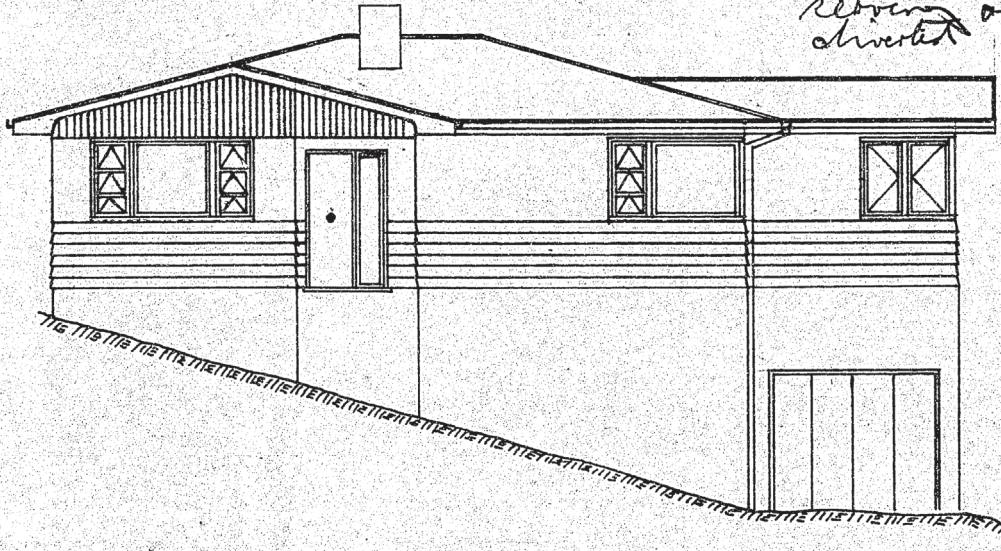


DUNEDIN CITY CORPORATION
SITE PLAN
CITY ENGINEER'S OFFICE
At the Street boundary the approved level with respect to street is —

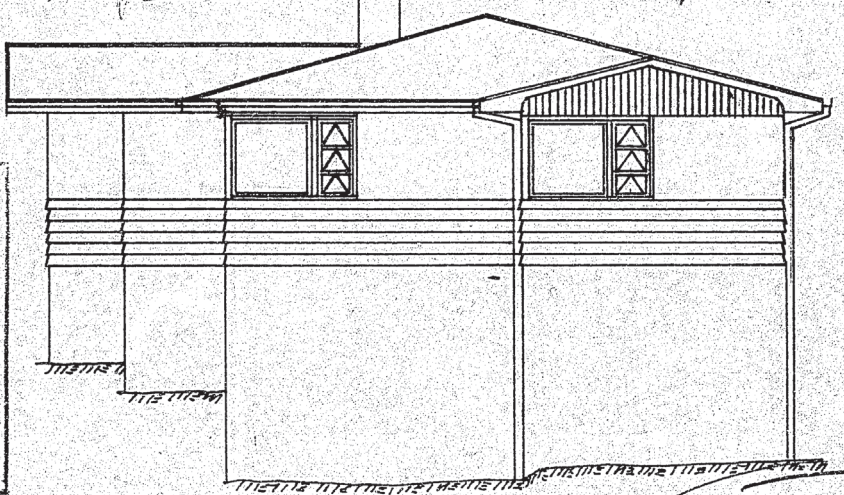
Pedestrian Entrance	Vehicular Entrance	Garage
Wall	Fence	<i>As level and gate across entrance to culvert at back of block and be 2" above bank of pipe</i>

Arrangements made for Crossing are *2" above bank of pipe* for City Engineer Date *9/12/64*

NOTE: This Certificate is not valid unless Certified to by the Officer authorised in that behalf. *9/12/64*



DUNEDIN CITY CORPORATION
COPY OF APPROVED PLAN
OR SPECIFICATION
TO BE RETAINED ON WORKS
AND PRODUCED ON REQUEST
OF BUILDING INSPECTOR.
DATE *18.12.64*
CITY ENGINEER



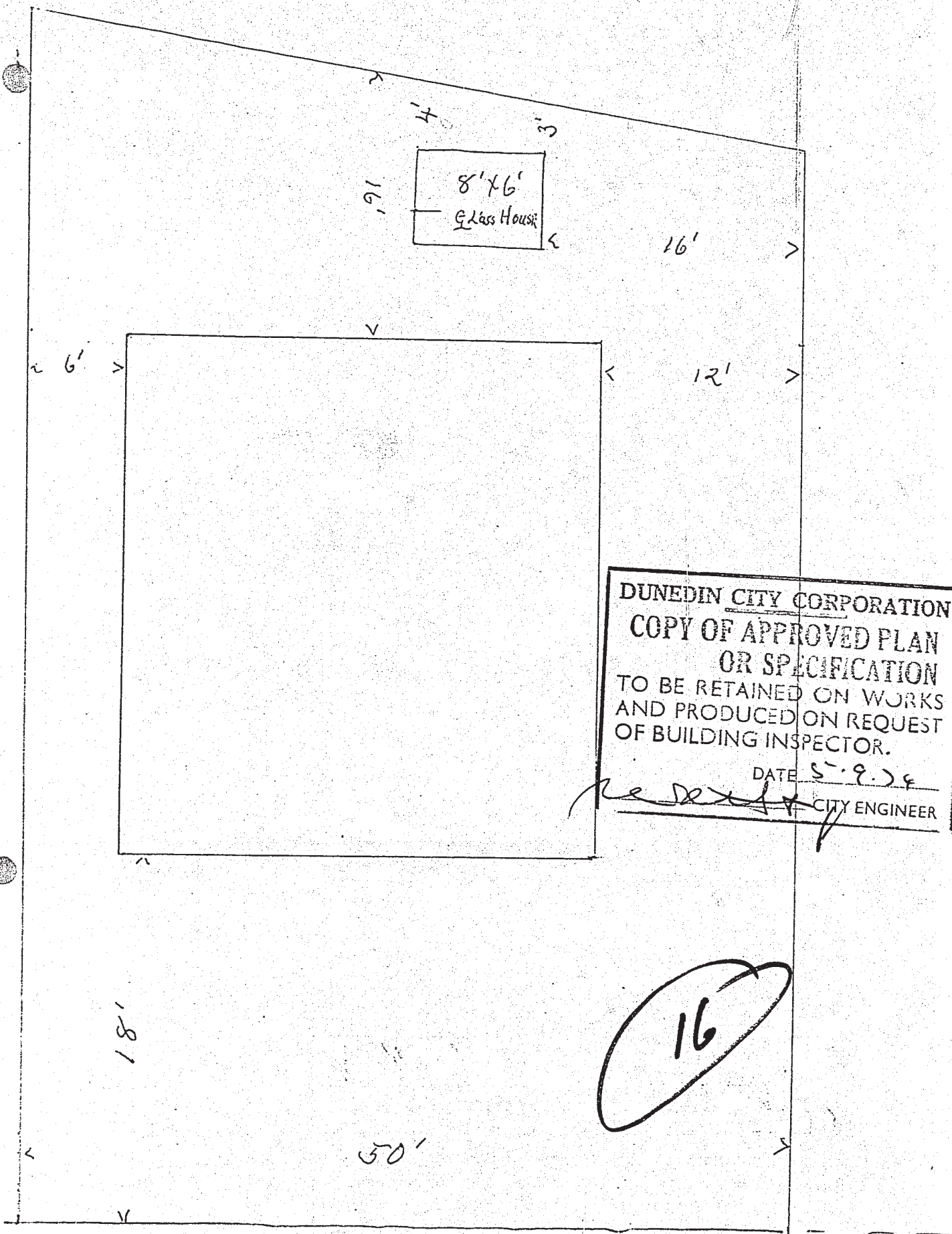
PROPOSED RESIDENCE FOR MR & MRS W. JAPP DURHAM ST DUNEDIN

12348

Mr Nash E J

28 Durham ST

ERECT 8'x6' CHRISTIE GLASSHOUSE

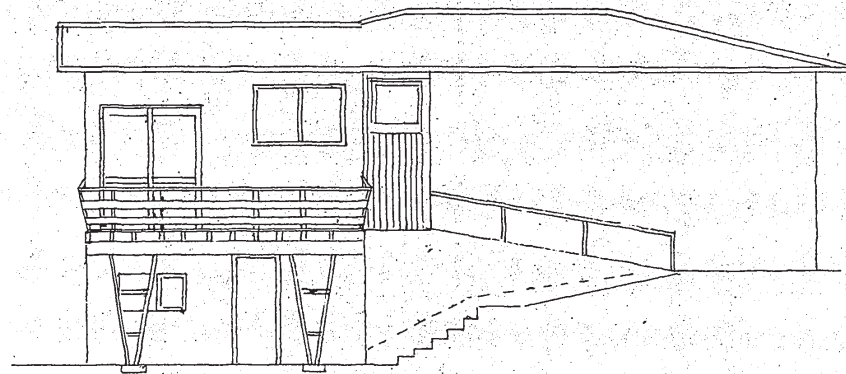


DUNEDIN CITY CORPORATION
 COPY OF APPROVED PLAN
 OR SPECIFICATION
 TO BE RETAINED ON WORKS
 AND PRODUCED ON REQUEST
 OF BUILDING INSPECTOR.
 DATE 5.9.24
 [Signature] CITY ENGINEER

Durham ST

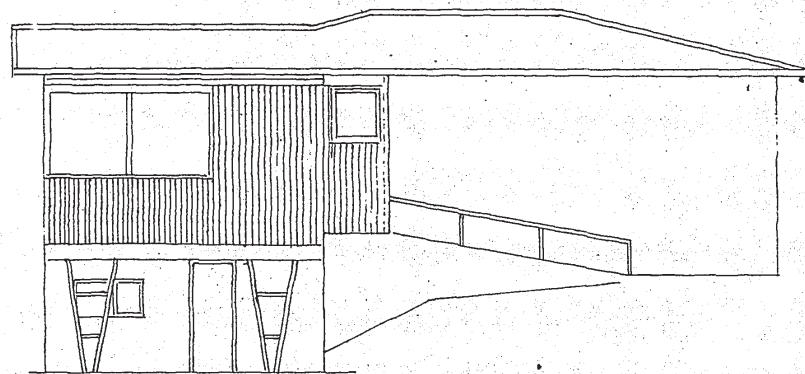
CITY PLANNING DEPARTMENT
 Pursuant to the provisions of the District Scheme, these plans and specifications are approved, provided that no change shall be made to the details shown hereon, and contained in the specification attached hereto, and subject to

Residential I Signed [Signature] 22/10/24
 for City Planning Officer



Existing Sun Deck

5.5 m



View showing proposed closing in of Sun-deck.

Scale 1:50

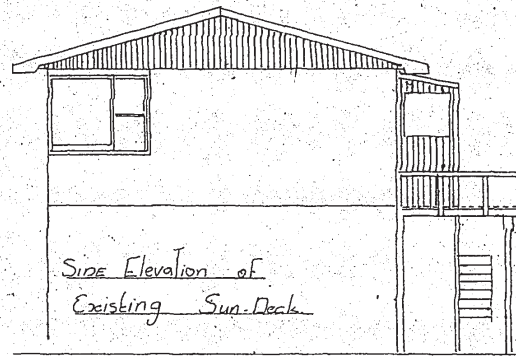
DUNEDIN DRAINAGE & SEWERAGE BOARD

A separate application to the Drainage Board for a permit for plumbing and/or drainage work is required. Such work to be executed by a Regd. Plumber or Licensed Drainer, respectively and shall comply fully with the Board's By-laws and the D. & S. Regs., 1959.

Stormwater to be discharged to existing stormwater drain

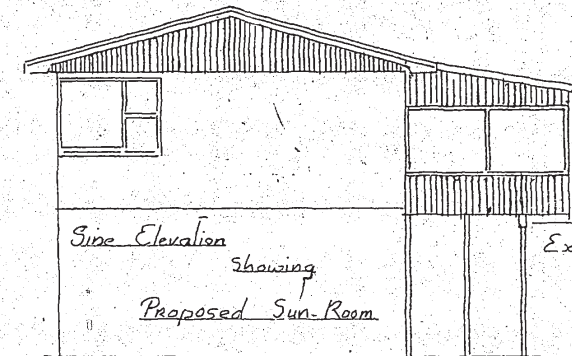
Trade Waste to be discharged to existing stormwater and foul drains to be opened up, protected, surrounded with concrete, all fittings and junctions under addition to be shifted etc.

Trade Waste



Side Elevation of Existing Sun-Deck

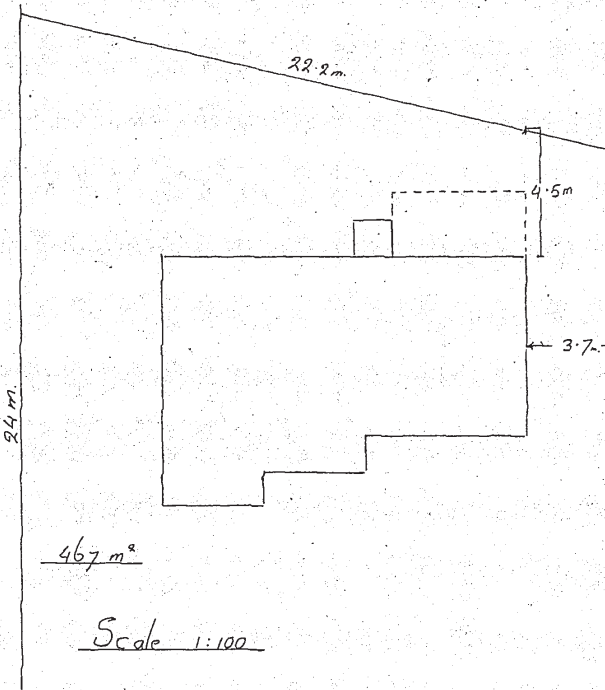
2.3 m



Side Elevation showing Proposed Sun-Room

3.0 m

Existing Beam 200x60 mm



467 m²

Scale 1:100

21.5 m

Durham Street

Specifications

Existing Sun-Deck to be lengthened by strapping new 3mtrs 150x50 joists along existing joists and resting on existing 200x60 Beam.

Timber Schedule

Framing	100 x 50	Rimu P.S. on Redata Bason Treated.
Floor Joists	150 x 50	" " " "
Rafters	125 x 50	" " " "
Purlins	75 x 50	" " " "

Roof Cladding to be Novarof
 Interior lining to be Gibrator board
 Exterior lining to be Hardiflex Highline or Coverline
 All work to be carried out in a Tradesman like manner

Site to be left Tidy
 Plumbing
 Sycating to be altered to suit sun-room

Windows
 2 x 3mtrs Aluminium sliding windows to be positioned as shown.

Lot 4
 DC 8579

DUNEDIN CITY CORPORATION
COPY OF APPROVED PLAN OR SPECIFICATION
 TO BE RETAINED ON WORKS AND PRODUCED ON REQUEST OF BUILDING INSPECTOR.
 DATE 18/2/76
[Signature] CITY ENGINEER

Proposed ALTERATION FOR
 Mr & Mrs G NASH
 No. 28 Durham St.

DRAWN 18-2-76	CHECKED	SCALES 1:50
TRACED	DATE	1:100

SHEET
SERIES OF
REF.

2829

CITY PLANNING DEPARTMENT
 Pursuant to the provisions of the District Scheme, these plans and specifications are approved, provided that no change shall be made to the details shown hereon, and contained in the specification attached hereto, and subject to

18/2/76
 Signed *[Signature]*
 for City Planning Officer

CODE COMPLIANCE CERTIFICATE

DCCBCA-F4-07-v2.0

Section 95, Building Act 2004

CCC NO:	ABA-2012-227	Telephone No:	03 477 4000
APPLICANT		PROJECT	
B Curson and S G B Valdez 28 Durham Street Dunedin 9011		Work Type: Alterations/Repairs Intended Use/Description of Work: Remove Interior Walls and Install Roof Beams Intended Life: Indefinite, not less than 50 years.	
PROJECT LOCATION		This CCC also applies to the following Amended Consents: N/A	
28 Durham Street Dunedin			
LEGAL DESCRIPTION			
Legal Description: LOT 4 DP 8579 Valuation Roll No: 27050-64800 Building Name: N/A			

The Building Consent Authority named above is satisfied, on reasonable grounds, that:

- (a) The building work complies with the Building Consent, and
- (b) The specified systems in the building are capable of performing to the performance standards set out in the Building Consent.

Compliance Schedule attached

Signed for and on behalf of the Council:



TEAM LEADER INSPECTIONS

Date: 29 November 2012

DUNEDIN CITY COUNCIL

APPROVED BUILDING CONSENT DOCUMENTS

ABA: 2012-227

Please retain on site with original Consent Documents.

DUNEDIN CITY COUNCIL

Plans and Specifications Approved in accordance with The New Zealand Building Code and Approved Documents. To be retained on works and produced on request.

Building Drainage Health NOTE

DATE 15/12

PRYDA MULTIGRIP EACH SIDE EACH CEILING JOIST. 30 X 3.15 PRYDA PRODUCT NAILS

BEAM 'A'. 290 X 90 HY90 STRUCTURAL LAMINATED TIMBER BEAM.

REMOVE SECTION OF CEILING JOIST ENDS TO ALLOW POSITIONING OF NEW BEAM

PRYDA MULTIGRIP EACH SIDE EACH CEILING JOIST. 30 X 3.15 PRYDA PRODUCT NAILS

COVER BOARD. CONFIRM ON SITE

TEMPORARY PROPPING. ALLOW TO ALSO PROP THROUGH TO ROOF AS REQUIRED

REMOVE EXISTING TIMBER FRAMED PARTITION

Beam 'A' Section 1:10

BEAM 'A'. 290 X 90 HY90 STRUCTURAL LAMINATED TIMBER BEAM.

2-240 X 45 HI.2 TIMBERS BEAM 'B'

PAIR OF LUMBERLOK SPLIT HANGERS SPH-180. TEN 30 X 3.15 PRODUCT NAILS TO EACH OF FOUR FLANGES

Beam Intersection 1:10

PRYDA MULTIGRIP ONE SIDE OF EACH CEILING JOIST. 30 X 3.15 PRYDA PRODUCT NAILS. 2-75mm SKEW NAILS OTHER SIDE.

102 X 51 CEILING JOISTS

15° PITCH CORRUGATED STEEL ROOF

2-190 X 45s TIMBER BEAM 'B'

MOVE EXISTING REAR ENTRY DOOR TO EXTERIOR LINE OF HOUSE. CONSTRUCT WEATHERTIGHT SURROUND FRAMING AROUND WITH ALL NECESSARY FLASHINGS AT DOOR FRAME

NEW BEAM END SUPPORTED ON DOUBLE STUD AT EXTERIOR WALL. BEAM MAY BE REDUCED BY TAPERING AT ROOF SLOPE TO A MINIMUM DEPTH OF 140mm AT END SUPPORT

REMOVE EXISTING TIMBER FRAMED PARTITION

Beam 'B' Section 1:10

NEW SECTION OF TIMBER FRAMED WALL

NEW FILE UNDER. SEE DETAIL

NEW DOUBLE STUD UNDER BEAM END

EXISTING STEEL FLOOR BEAM 400 min

NEW BEAM END SUPPORTED ON DOUBLE STUD AT EXTERIOR WALL. BEAM MAY BE REDUCED BY TAPERING AT ROOF SLOPE TO A MINIMUM DEPTH OF 140mm AT END SUPPORT

NEW LINTEL TO DOUBLE DOORS. 2-140 X 45 TIMBERS. (1800 approx span) DOUBLE STUD EACH END

EXISTING 150 X 50 CEILING RUNNER

NEW BEAM 'A'. - 290 X 90 HY90 LAMINATED TIMBER BEAM
NEW BEAM 'B'. - 2-240 X 45 TIMBERS

EXISTING FLOOR STRUCTURE MEMBERS

HOUSE PILE NEATLY UNDER EXISTING TIMBERS

1100 approx

NEW DOUBLE STUD UNDER END OF BEAM 'A'

M12 BOLT

125 X 125 H5 TAN RADIATA PILE

20MPa CONCRETE

EXISTING CONCRETE RETAINING WALL

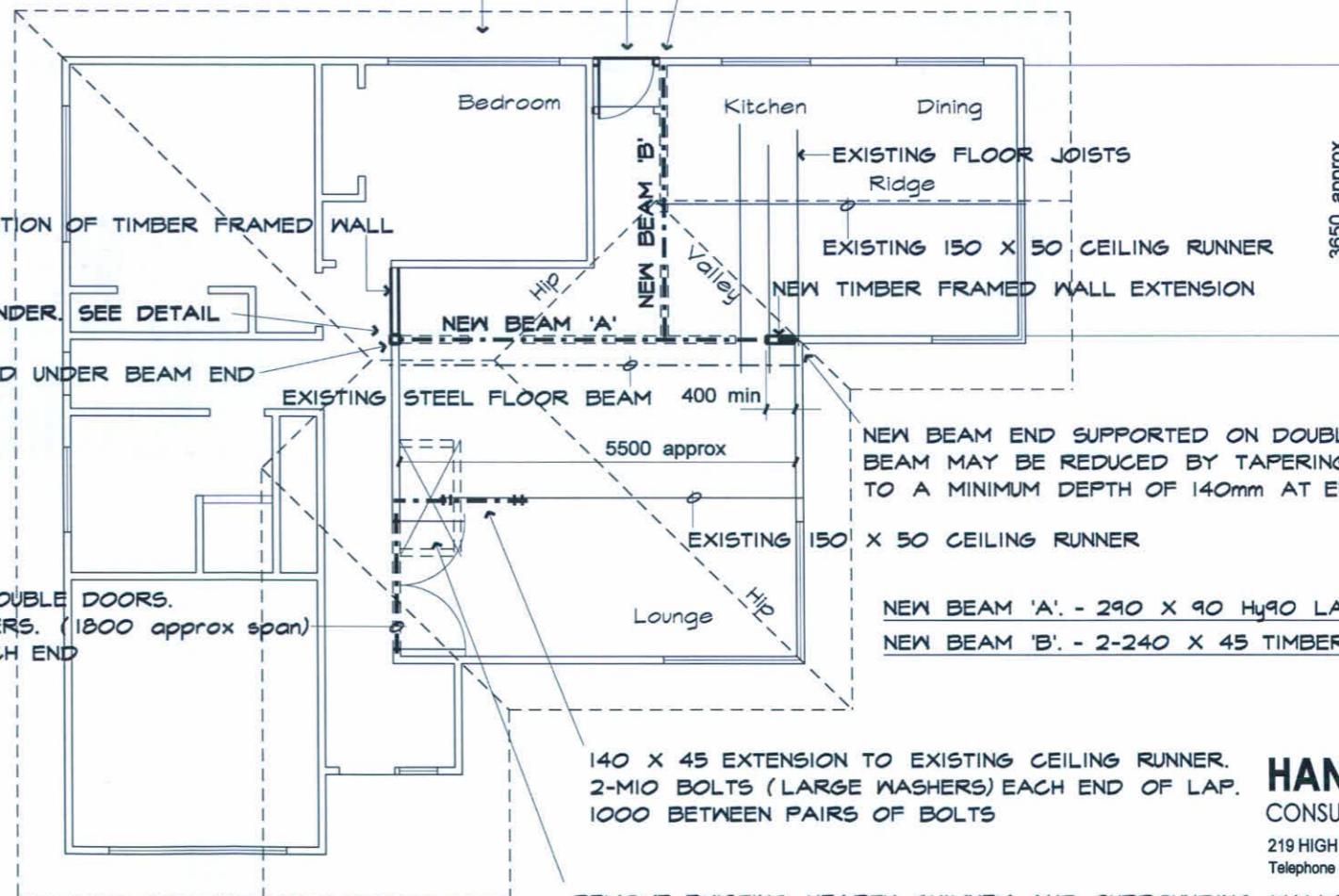
SOLID ORIGINAL CLAY

300

100

350 x 350

Pile Detail 1:10



Layout 1:100

TIMBER CONSTRUCTION SHALL COMPLY WITH NZS 3604: 2011. ALL TIMBERS SHALL BE STRESS GRADE S68

28 Durham Street Dunedin. Wall Removal

HANLON & PARTNERS LTD CONSULTING STRUCTURAL & FIRE ENGINEERS 219 HIGH STREET, DUNEDIN Telephone (03) 477 7475 Fax (03) 479 2597 Email: office@hanlons.co.nz

CUSTOMERS COPY

Revision B BEAM 'A' SECTION REVISED

DESIGNED	B. I. C.	DATE	Feb 2012	SHEET NO. 1 Revision B
DRAWN	M. M. T.	SCALE	1:100	
ISSUED	09.05.2012	JOB NO.	13707	

All support studs to be H12.

DUNEDIN CITY COUNCIL

Plans and Specifications Approved in accordance with The New Zealand Building Code and Approved Documents. To be retained if works are produced on request

Building *11/11/12*
 Plumbing
 Health

Date *12/1/12*
 Date
 Date

NEW 950 X 90 N.Z.O. TIMBER BEAM 'A'

PRYDA MULTIGRIP EACH SIDE EACH CEILING JOIST. 30 X 3.15 PRYDA PRODUCT NAILS

REMOVE SECTION OF CEILING JOIST ENDS TO ALLOW POSITIONING OF NEW BEAM

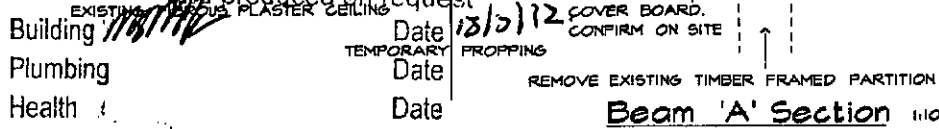
PRYDA MULTIGRIP EACH SIDE EACH CEILING JOIST. 30 X 3.15 PRYDA PRODUCT NAILS

350 X 90 N.Z.O. TIMBER BEAM 'A'

2-240 X 45 H12 TIMBERS BEAM 'B'

PAIR OF LUMBERLOK SPLIT HANGERS. TEN 30 X 3.15 PRODUCT NAILS TO EACH OF FOUR FLANGES

Beam Intersection 1:10



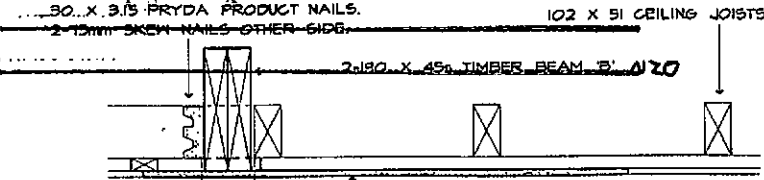
Beam 'A' Section 1:10

MOVE EXISTING REAR ENTRY DOOR TO EXTERIOR LINE OF HOUSE. CONSTRUCT WEATHERTIGHT SURROUND FRAMING AROUND WITH ALL NECESSARY FLASHINGS AT DOOR FRAME

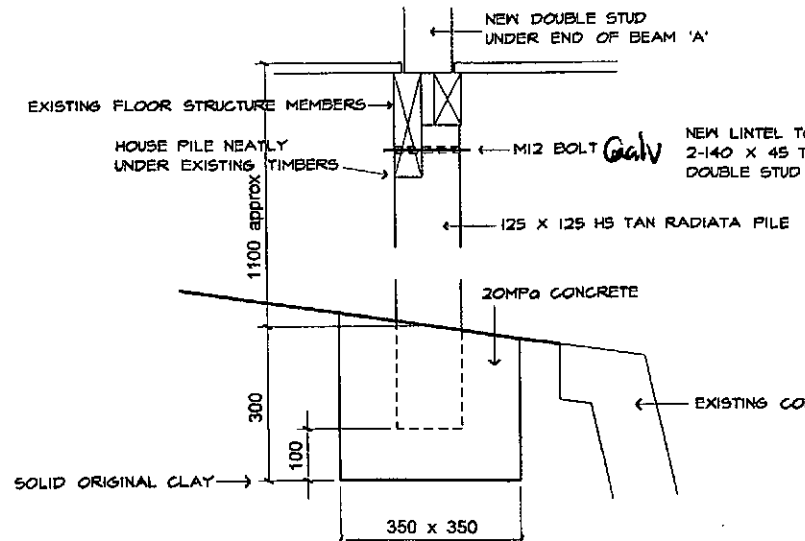
NEW BEAM END SUPPORTED ON DOUBLE STUD AT EXTERIOR WALL. BEAM MAY BE REDUCED BY TAPERING AT ROOF SLOPE TO A MINIMUM DEPTH OF 140mm AT END SUPPORT

NOTE

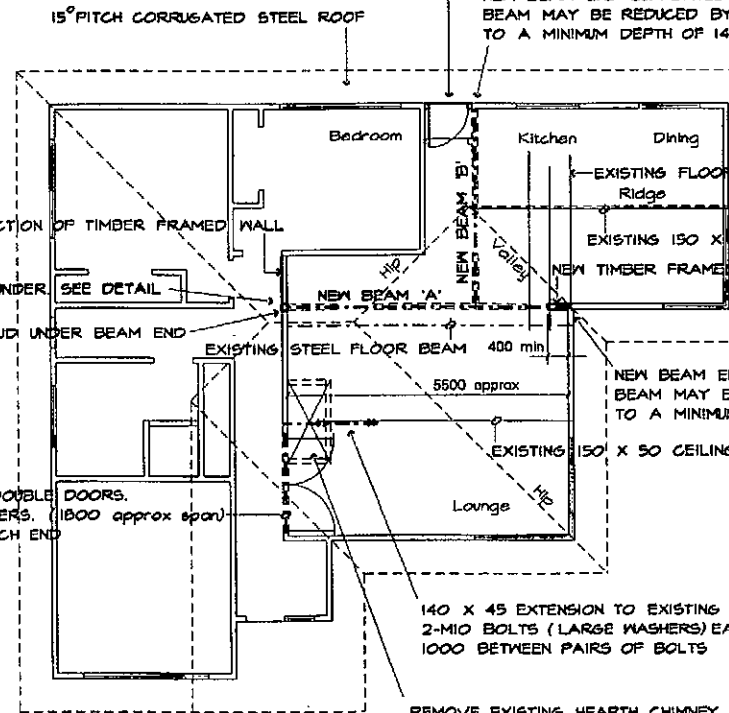
PRYDA MULTIGRIP ONE SIDE OF EACH CEILING JOIST. 30 X 3.15 PRYDA PRODUCT NAILS. 2-15mm SKEW NAILS OTHER SIDE.



Beam 'B' Section 1:10



File Detail 1:10



Layout 1:10

DOMESTIC SMOKE ALARM
 Smoke alarms complying with the NZBC clause F7 are required in this building.

Endorsements made at Ross had request

TIMBER CONSTRUCTION SHALL COMPLY WITH NZS 3604: 2011. ALL TIMBERS SHALL BE STRESS GRADE 36B

28 Durham Street Dunedin. Wall Removal

HANLON & PARTNERS LTD
 CONSULTING STRUCTURAL & FIRE ENGINEERS
 219 HIGH STREET, DUNEDIN
 Telephone (03) 477 7475 Fax (03) 476 2567 Email: office@hanlon.co.nz

DESIGNED	B. I. C.	DATE	Feb 2012	SHEET NO. 1 Revision
DRAWN	M. M. T.	SCALE	1:100	
ISSUED	14. 02. 2012	JOB NO.	13707	

DCC COPY