

Dunedin City Council Land Information Memorandum

92846

Issued in accordance with Section 44A of the Local Government Official Information and Meetings Act 1987

Should you require further clarification of any of the information listed in this report, please phone our Customer Services Agency on 03 477 4000.

This Land Information Memoranda (LIM) has been prepared in accordance with Section 44A of the Local Government Official Information and Meetings Act 1987. It contains only information obtained from the records held by the Dunedin City Council as at **3 August 2022**

The Dunedin City Council has not carried out an inspection of the land and/or buildings for the purposes of preparing this LIM. The Dunedin City Council records may not show illegal or unauthorised buildings or works on the land. Accordingly this report may not necessarily reflect the current status of the property. Examples of situations which affect the property but are not recorded in this report include: unauthorised work not known to Council and breaches of Consents or Licences that are not the subject of a formal Requisition or Notice.

The applicant is solely responsible for ensuring that the land or any building or works on the land is suitable for a particular purpose. The applicant should check the Records of Title as this report may not include information that is registered on the Records of Title. The Records of Title may record further information or obligations relating to the land.

Further information about this property may be available from other agencies such as the Otago Regional Council, Nova Gas, Telecom New Zealand (Chorus) or Delta Utility Services Limited.

PROPERTY ADDRESS

66 Oates Street Dunedin

**LIM Applicant
Print Date**

Kerry Lance Aicken and Melanie Jane Aicken
03-Aug-2022

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PROPERTY DETAILS

Property ID 5019527
Address 66 Oates Street Dunedin
Parcels LOT 5 DP 6376

Rubbish Day Tuesday

RATES DETAILS

Rate Account 2019527
Address 66 Oates Street Dunedin
Valuation Number 26970-56902

Latest Valuation Details

Capital Value \$310,000
Land Value \$145,000
Value of Improvements \$165,000
Area (Hectares) 0.0509HA
Units of Use 1

Current Rates

Current Rating Year Starting 01-Jul-2022
Dunedin City Council Rates \$2,377.64

Rates Outstanding for Year \$2,701.38

For further explanation on the rate account, or to enquire about information referred to on this page, please contact Rates Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

BUILDING, PLUMBING AND DRAINAGE

Minimum Floor Levels

Clause E1.3.2 of the New Zealand Building Code requires that surface water, resulting from an event having a 2% probability of occurring annually, shall not enter buildings. This requirement applies to Housing, Communal Housing, Communal Residential and Communal non-residential buildings. For guidance when establishing minimum floor levels please refer to : <https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels> and for links to specific areas: <https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels/mfl-guidance>

Public Sewer sheets.

WARNING. Please note that public sewer reticulation sheets are scaled in either Imperial feet or Metric metres. Please check with the Duty Drainage Inspector if in doubt.

Dunedin City Council Private Drainage plans incomplete.

WARNING. The Dunedin City Council's private drainage records (plans) prior to 1 January 1993 may be incomplete or not clearly recorded. Owners therefore are advised to carry out work with due care to avoid damage to any private drain not detailed because of the lack of information filed in the Council's records.

Building and Drainage Information

Council Storm Water & Foul Sewer Connections available.

There is Council Storm Water outfalls and Foul Sewer Connections adjacent to this land, to which buildings within this land may connect. A plan of these is attached.

Private Stormwater Drains servicing existing buildings

There are Private Stormwater drains servicing existing buildings on this land.

Private Foul Drains servicing existing buildings

There are Private Foul Drains servicing existing buildings on this land.

Drain In Common

A drain serving more than one lot, Certificate of Title will be considered drains in common, as will the section of 100mm diameter drain within the road reserve between the lots served by it and the pipeline to which it connects.

Foul Drain to private Foul Drain in Common with 66, 68, 70 Oates Street, Dunedin

Stormwater to private Stormwater Drain in Common with 66, 68,70 Oates Street and 4 Coleridge Street, Dunedin

Building and Drainage Consents

The following consents are recorded for this property:

Status Key:	BC	-	Building Consent Issued
	CCC	-	Code Compliance Certificate Issued
	Archived	-	In accordance with section 93(2)(b) of the Building Act, the consent
	/CCC	-	was reviewed for code compliance after two years. Compliance with
	Refused	-	the Building Code could not be established and therefore the Code
		-	Compliance Certificate has been refused.
	Lapsed	-	Work has not commenced and no extension of time applied for within
		-	12 months of date of consent issue. Consent is of no further effect

NOTE: This is not a comprehensive list of all building consent statuses

[ABA-2001-295455](#) Building Consent Only Lodgement - Alter Dwg, Remove Wall, Yunca QEWB

Lodgement Date	18-Dec-2001
Decision	Granted
Decision Date	21-Dec-2001
Current Status	CCC Issued
Previous Number	ABA13020
<i>(Applications before 2007)</i>	

[ABA-2000-289664](#) Building Consent Only Lodgement - Drainage - Connect to existing private stormwater drain in common

Lodgement Date	22-Feb-2000
Decision	Granted
Decision Date	23-Feb-2000
Current Status	CCC Issued
Previous Number	ABA349
<i>(Applications before 2007)</i>	

Building and Drainage Permits

Building Permits were issued prior to the introduction of the Building Act 1992. Code Compliance Certificates were not required or issued for permits.

[H-1951-37407](#) AAB19510536

10714 - Erect dwelling (Otago Construction Company). The permit was lodged on 02-Mar-1951.

[H-1951-37408](#) AAB19510537 11252 - Erect retaining wall, No Plan

(Otago Construction Company). The permit was lodged on 16-Jul-1951.

[H-1985-97120](#) AAB19850469

9930 - Add deck (Garth). The permit was lodged on 05-Nov-1985.

[H-1951-167963](#) AAD19510586

E9404 - Drain in common (Otago Construction Company). The permit was lodged on 05-Oct-1951.

[H-1951-167964](#) AAD19510587 E9406 - Drainage for new dwelling

(Otago Construction Company). The permit was lodged on 05-Oct-1951.

[H-1952-169317](#) AAD19520619 F53 - Plumbing for new dwelling, No Plan

(Otago Construction Company). The permit was lodged on 03-Apr-1952.

[H-1963-185568](#) AAD19630634 G7039 - Repair drain in common, No Plan

(Various). The permit was lodged on 16-Apr-1963.

For further explanation on the current status of any consent, or to enquire about information referred to on this page, please contact Building Control Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

HAZARDS

SITE HAZARDS

This property has been identified as being affected by active faults & folds GNS April 2021 seismic - fault proximity - Kaikorai, Haz Id 12094.

The Otago Regional Council has produced a number of reports for the Dunedin City District which outline areas affected by natural hazards including slippage, flooding, subsidence and inundation.

These reports are publicly available and can be accessed here:

<https://www.orc.govt.nz/plans-policies-reports/reports-and-publications/natural-hazards>

These reports do not provide property specific information, and may not describe all natural hazards that affect the land that is the subject of this LIM report. We recommend that in addition to reading these reports, that you seek independent advice about how this property may be affected by natural hazards including natural hazards that are not described in the reports produced by the Otago Regional Council.

Otago Regional Council - Natural Hazards Database

The characteristics of general natural hazards in the vicinity of this property are also available on the Otago Regional Council's Natural Hazards Database.

<http://www.orc.govt.nz/Information-and-Services/Natural-Hazards/hazards/>

HAZARDOUS SUBSTANCES

WARNING – Change in legislation and management of hazardous substances

On 1 April 2004, all Dunedin City Council Dangerous Goods Licences expired. From this date they became the responsibility of the Environmental Protection Authority (EPA) under the Hazardous Substances and New Organisms Act 1996. All new licences for hazardous substances were issued by independent Test Certifiers approved by the EPA. The Council no longer holds current information on the use of hazardous substances at these premises and hazardous substances may be present without the Council's knowledge. The Council was advised by the EPA in 2016 that Worksafe had taken over responsibility for managing Location Test certificates under the Hazardous Substances and New Organisms Act 1996. The EPA no longer hold any information in relation to Location Test Certificates. If you have any questions, please contact Worksafe.

Contaminated Site, Hazardous Substances and Dangerous Goods Information

No information

ENVIRONMENTAL HEALTH

No records were found of Environmental Health involvement with this property.

LICENSING

Health Licensing

There are no records of any Health Licences for this property.

Liquor Licensing

There are no records of any Liquor Licences for this property.

CITY PLANNING

The information provided with this LIM on District Plan requirements and resource consents has been verified by City Planning in relation to the subject property only. All information included in relation to other land surrounding the site is indicative.

Accuracy of Boundaries

Knowing the true location of the property boundaries on the ground is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. Please note that the Council's aerial photographs may not accurately depict the extent of the property. The Record of Title for the site should be checked in the first instance. A surveyor may need to be consulted to establish the true location of the title boundaries on the ground.

Access to Site

The legality of any access to the site is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. It is recommended that the Record of Title and/or a lawyer be consulted regarding the legality of any legal and/or physical access to the site (and the maintenance thereof).

Heritage New Zealand Pouhere Taonga Act 2014

The Heritage New Zealand Pouhere Taonga Act 2014 applies in addition to any protection provided to a building or site by the District Plan. The Heritage New Zealand Pouhere Taonga Act 2014 makes it unlawful for any person to destroy, or modify the whole or any part of an archaeological site, whether or not the land on which the site is located is designated, or a resource or building consent has been issued, without the prior authority of Heritage New Zealand. The Heritage New Zealand Pouhere Taonga Act 2014 defines an archaeological site as a place associated with pre-1900 activity, where there may be evidence relating to the history of New Zealand. Pre-1900 buildings are considered archaeological sites under the Heritage New Zealand Pouhere Taonga Act 2014 and are also often associated with subsurface archaeological remains that provide evidence of pre-existing use of the site. Council records may not necessarily identify the precise date upon which an existing building was constructed. Contact the Dunedin office of Heritage New Zealand for further information: infodeepsouth@heritage.org.nz ; 03 477 9871.

Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011

The Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011 came into force on 1 January 2012. The National Environmental Standard applies to any piece of land on which an activity or industry described in the current edition of the Hazardous Activities and Industries List (HAIL) is being undertaken, has been undertaken or is more likely than not to have been undertaken. (The current edition of the HAIL is available on the Ministry for the Environment website at www.mfe.govt.nz.)

Activities on HAIL sites may need to comply with permitted activity conditions specified in the National Environmental Standard and/or might require resource consent. (The Otago Regional Council should also be consulted for any rules it might have in regards to the use or development of contaminated sites.)

If a person wishes to establish whether a piece of land has had hazardous activities or industries conducted on it, and thus whether activities on that land are controlled by the National Environmental Standard, then the person must pay for a review of the information about the land held by the Council, or pay for a suitably qualified and experienced practitioner to undertake a preliminary site inspection. Formal confirmation from the Council that resource consent is not required under the National Environmental Standard can only be given through a certificate of compliance application.

Consent Notices

There are no Consent Notices recorded for this property. It is recommended that the applicant check the Record of Title for any notices or covenants that may affect the property.

District Plan Information

Dunedin currently has an Operative Dunedin City District Plan, and the Proposed Second Generation Dunedin City District Plan (2GP). Accordingly, both of these plans may affect the development potential of this site and surrounding properties.

As a general principle, rules in the 2GP must be considered along with the rules of the Operative District Plan until such time as the rules of the 2GP become operative, or are treated as operative. The policies and objectives of both plans should also be considered.

The 2GP was publicly notified on Saturday 26 September 2015. The submission period closed on Tuesday 24 November 2015. Decisions on the 2GP were released on Wednesday 7 November 2018. The appeal period closed on Wednesday 19 December 2018. The schedule of appeals can be viewed at <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan/appeals-received-on-the-2gp>.

You are advised to refer to our website to determine which rules in the 2GP have legal effect or are fully operative, and to determine which rules in the Operative District Plan are now inoperative.

The 2GP is subject to change at any time. Variation 2 (Additional Housing Capacity) to the 2GP was notified on Wednesday 3 February 2021. No rule changes proposed in Variation 2 had legal effect from the date of notification. Rules that did not have submissions in opposition to them are deemed operative. Decisions on Hearings 1-3 (Provisions and Intensification Rezoning) were notified on Tuesday 31 May 2022 and now have legal effect. Decisions on greenfield rezoning have not been made yet and therefore do not have legal effect yet.

Please refer to our website for more information on Variation 2 at <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan/plan-change-dis-2021-1-variation-2>

Further rules will come into legal effect and/or become fully operative at the release of decisions and the resolution of appeals.

You should check with the Council whether any changes have occurred since the date this LIM report was issued. The information provided with this LIM on district plan requirements is applicable as at the date this LIM is issued: there may be changes to the district plan rules following the release of this LIM that may affect this site and surrounding properties.

You should ensure that you consult the information and relevant planning maps in the Operative District Plan which can be found on our website at <https://www.dunedin.govt.nz/council/district-plan/district-plan-2006> and the 2GP which can be found on our website at <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan> as well as at all Dunedin City Council service centres and libraries.

OPERATIVE DISTRICT PLAN INFORMATION

Zoning

This property is zoned as follows in the District Plan.

Zone

RESIDENTIAL 1

Noise

This property is located in a Noise Area where the noise limits outlined below apply. Rule 21.5.1(i)(b) also specifies a maximum noise limit of 75 dBA Lmax between 9.00 pm on any night and 7.00 am the following day measured at the boundary of the site or within any other site. Note that some activities have a resource consent or existing use rights that allow these limits to be exceeded. Some activities are also exempted from noise limits. Furthermore, the actual limits that apply will also depend on whether this site adjoins a Noise Area Boundary and whether there are Special Audible Characteristics. Refer to Section 21.5 of the District Plan for further details. Every occupier of land is also under a general duty to adopt the best practicable option to ensure that the emission of noise from land does not exceed a reasonable level.

Noise Zone

50Dt/40Nt dBA, 45SP dBA

SECOND GENERATION PLAN INFORMATION

Zoning

- General Residential 2 (refer Section 15, Residential)

Scheduled Items

- Nil

Overlay Zones

- Nil

Mapped Areas

- Infrastructure Constraint Mapped Area

Variation 2

- Infrastructure constraint mapped area renamed to Wastewater constraint mapped area

Resource Consents

There are no resource consents for this property.

RESOURCE CONSENTS WITHIN 50 METRES OF 66 OATES STREET DUNEDIN

5019410 59 Oates Street Dunedin

[POL-2014-35](#) Planning Other Legislation partial removal of building line restriction. The outcome was Granted on 28/07/2014.

[RMA-1990-352765](#) Resource Management Act (Historical Data) ER DECK / App: ROUTLEDGE (Non-Notified - Non Complying). The outcome was Granted on 29/03/1990.

5019413 2A Gowry Place Dunedin

[RMA-2002-365446](#) Resource Management Act (Historical Data) RE-ROOF AND EXTEND STREET-LINE GARAGE (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 21/02/2002.

5019414 4 Gowry Place Dunedin

[RMA-2005-368819](#) Resource Management Act (Historical Data) EXTEND A DECK (Non-Notified - Restricted Discretionary). The outcome was Granted on 09/03/2005.

5019416 8 Gowry Place Dunedin

[RMA-2003-366972](#) Resource Management Act (Historical Data) REMOVE LARGE OAK TREE (Non-Notified - Restricted Discretionary). The outcome was Granted on 04/09/2003.

[RMA-1995-352848](#) Resource Management Act (Historical Data) DISPENSATION (Non-Notified - Non Complying).

5019417 10 Gowry Place Dunedin

[LUC-2007-174](#) Land Use Consent construct a deck. The outcome was Granted on 04/05/2007.

5019473 9 Coleridge Street Dunedin

[RMA-1997-361001](#) Resource Management Act (Historical Data) ERECT A GARDEN SHED ON THE FRONT YARD OF THE PROPERTY. DBTR BG & VS FITZPATRICK (Non-Notified - Restricted Discretionary). The outcome was Granted on 23/06/1997.

5019474 5 Coleridge Street Dunedin

[LUC-2018-121](#) Land Use Consent land use consent to undertake earthworks associated with the creation of car parking and vehicle access. The outcome was Granted on 14/08/2018.

5019484 4 Coleridge Street Dunedin

[LUC-2018-121](#) Land Use Consent land use consent to undertake earthworks associated with the creation of car parking and vehicle access. The outcome was Granted on 14/08/2018.

5019485 8 Coleridge Street Dunedin

[LUC-2018-121](#) Land Use Consent land use consent to undertake earthworks associated with the creation of car parking and vehicle access. The outcome was Granted on 14/08/2018.

5019505 63 Kaikorai Valley Road Dunedin

[SUB-2011-21](#) Subdivision Consent amalgamation subdivision. The outcome was Granted on 10/09/2011.

5019526 68 Oates Street Dunedin

[RMA-1999-363453](#) Resource Management Act (Historical Data) TO CONSTRUCT A ROOF ON AN EXISTING VEHICLE PAD (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 26/10/1999.

5120889 36 Falcon Street Dunedin

[LUC-2015-39](#) Land Use Consent land use consequential to a subdivision consent. The outcome was Granted on 26/02/2015.

[SUB-2015-3](#) Subdivision Consent subdivision creating 2 lots. The outcome was Granted on 26/02/2015.

[LUC-2007-156](#) Land Use Consent Allow residential activity on site with underwidth access. This consent has since Lapsed.

[SUB-2007-53](#) Subdivision Consent subdivision into 2 residential lots. This consent has since Lapsed.

[RMA-1997-360851](#) Resource Management Act (Historical Data) EXTENSION TO DWELLING (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 18/05/1997.

5120890 36A Falcon Street Dunedin

[LUC-2021-643](#) Land Use Consent establishment of a multi-unit development with under width access, large-scale earthworks and retaining walls within property setbacks. The outcome was Granted on 30/11/2021.

[SUB-2021-183](#) Subdivision Consent a two lot residential subdivision. The outcome was Granted on 18/08/2021.

[SUB-2015-3](#) Subdivision Consent subdivision creating 2 lots. The outcome was Granted on 26/02/2015.

[LUC-2007-156](#) Land Use Consent Allow residential activity on site with underwidth access. This consent has since Lapsed.

[SUB-2007-53](#) Subdivision Consent subdivision into 2 residential lots. This consent has since Lapsed.

If you would like a copy of any Resource Consent decision or advice on the current status and relevance of any planning matter referred to in the LIM, enquiries may be made at the Planning Enquiries desk on the Ground Floor of the Civic Centre, 50 The Octagon, or by phoning 477 4000 and asking for the Duty Planner. Planners are available at the Planning Enquiries desk to answer your enquiries between 8:30am and 5:00pm weekdays.

TRANSPORTATION

No Transportation information was found for this property

As of the 24th April 2015, the Transportation Group no longer inspects the site as part of a LIM. Only the electronic records since 2002 have been examined for Transportation information in relation to the property.

For further explanations on property owner obligations in regard to local road encroachments, vehicle entrances, vegetation management or retaining structures please refer to the Dunedin City Council website at <http://www.dunedin.govt.nz/services/roads-and-footpaths> or contact Transportation on 477 4000.

For properties abutting the state highway, the New Zealand Transport Agency (NZTA) is the Road Controlling Authority.

WATER and WASTE

WATER

Urban water supply area – Connected

This property is connected to the Dunedin City Council's urban (on-demand) water supply. Indicative water pressures are available to view at www.dunedin.govt.nz/water-pressure, and flows available to the property can be provided on request. Any change in water use (e.g. for a new commercial activity) requires a new application to be made to the Council. It is recommended that the applicant check the property for the location and suitability of the water service.

Terms and conditions of supply

All new and existing connections to the Dunedin City Council's water supply network are subject to the terms and conditions of the Dunedin City Council Water Bylaw 2011. The bylaw is available to view at www.dunedin.govt.nz/water-bylaw.

Water pressure

Indicative network water pressure to the property is shown on maps available at www.dunedin.govt.nz/water-pressure. Specific detail is available on request.

Water reticulation maps

A copy of the water reticulation map of Dunedin City Council infrastructure in the vicinity of the subject property is attached. These show the location of the water main in the road. It may or may not show the water service to the property. It is recommended that the applicant check the property

WASTE

Stormwater/Sewer Separation - Compliant

The Dunedin City Council requires the foul sewer and storm water being discharged from a property to be directed to the separate foul sewer and storm water networks, respectively. This property is in an area where inspections have been undertaken to ensure compliance with this requirement. This property was certified as complying with Council's requirements for storm water separation at the time of inspection on **1st October 1998**.

No comment is made with regard to this property's compliance with the requirement for storm water separation after the date of inspection.

Drainage Reticulation Plans

A copy of the Dunedin City Council's drainage infrastructure in the vicinity of the subject property is attached. Public foul sewers are shown in red and stormwater sewers in green. All public drainage services are available to receive connections from the property and limited flows of stormwater may also be discharged to the street channel or an approved outfall.

Information Regarding Watercourses

The controlling authority for all water and waterbodies in Dunedin City is the Otago Regional Council. The Regional Plan: Water addresses water take and use, diversions, damming, discharges and bed alteration under the Resource Management Act 1991. They are also responsible for the Flood Protection Management Bylaw 2012.

The controlling authority for watercourses in relation to stormwater drainage, and removal of obstructions in accordance with Local Government Act 1974 is the Dunedin City Council. The Council also issues building and resource consents for certain works around watercourses.

Not all watercourses within Dunedin City are recorded or known to the Council, therefore it is recommended that the applicant inspect the property for watercourses.

For further information on watercourses it is recommended the applicant read the Watercourse Information Sheet. A copy of this document is available on request or for download from the Dunedin City Council website www.dunedin.govt.nz

APPENDIX

Glossary of terms and abbreviations

The following are abbreviations and terms that may appear as a part of a LIM.

Consent, Permit, Licence & Complaint types

- AAB DCC Building permit
- AAD DCC Drainage permit
- AAG Green Island drainage permit
- AAH Hyde permit
- AAK St Kilda permit
- AAM Mosgiel permit
- AAP Port Chalmers permit
- AAS Silverpeaks permit
- AAT Maniototo permit
- ABA Application Building Act 1991
- AMD Amendment to a Building Consent
- BC Building Consent
- BCC Building Compliance Certificate - Sale of Liquor Act
- BCM Building Complaint
- CER Certifier
- COA Certificate of Acceptance
- DGL Dangerous Goods Licensing
- ENV Health complaint
- HTH Health licence
- LIQ Liquor licence
- NTF Notice to Fix
- NTR Notice to Rectify
- PIM Project Information Memorandum
- POL Planning Other Legislation
- RMA Resource Management Act - Resource consent
- RMC Resource consent complaint
- WOF Building Warrant of Fitness

Terms used in Permits & Consents

- ALT Alteration
- ADD Addition
- BD D/C Board drain in common
- BLD Building
- BLDNG Building
- BT Boundary trap
- B/T Boiler tube
- CCC Code Compliance Certificate
- DAP Drainage from adjacent property
- DGE Drainage
- DIC Drain in common
- DR Drainage
- DWG Dwelling
- FS Foul sewer
- HEA Heater
- ICC Interim Code Compliance
- MH Manhole
- PL Plumbing
- PLB Plumbing
- PTE Private
- SIS Sewer in section
- WC Water course
- WT Water table
- SW Stormwater

General terms

- RDMS Records and Document Management System



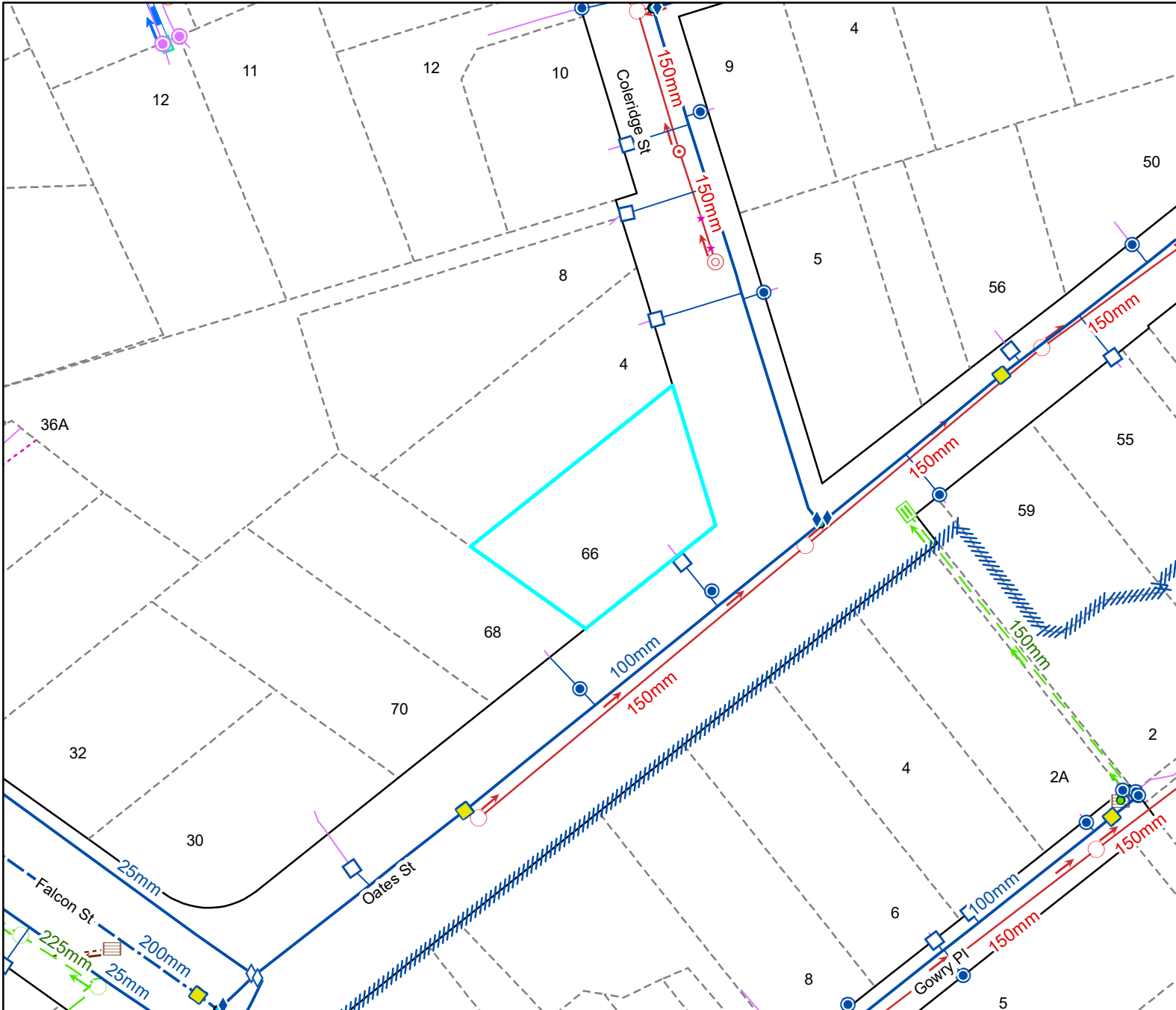
Photographic Map

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1:750
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PARCEL LINES CAN VARY FROM
LEGAL PARCEL BOUNDARIES
This map is for illustration purposes only
and is not accurate to surveying, engineering
or orthophotographic standards. Every effort
has been made to ensure correctness and
timeliness of the information presented.

2019-2019 Urban. Copyright DCC/Aerial Surveys
Ltd. Rural, ORC/Aerial Surveys Ltd. CC BY 4.0 NZ
2013 Urban and rural photography Jan/Feb 2013.
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2006/2007 Urban photography March 2007,
copyright NZAM. Rural photography March
2006, copyright T erralink International Ltd.



Legend

Water Supply

	Manifold Box		Water Non-Return Valve
	Water Meter		Water Pump Station
	Toby		Water Bore
	Meter without manifold box		Water Treatment Plant
	Retic Flow Meter		Water Storage Tank
	Combination Meter		Supply Main
	Manifold Box With Restrictor		Trunk Main
	Water Valve - Zone		Disused
	Non Return Valve		Reticulation
	Water Valve - Gate		Scour
	Water Valve - Sluice		Water Service Lateral
	Water Hydrant		Water Fire Service Lateral
	Water Backflow Preventor - RPZ		Water Critical Service Lateral
			Water Zone Boundary
			Water Reservoir
			Redundant Water Main

NOTE: Private water services have the same symbols as those above, however they are coloured pink.

Foul Sewerage

	Standard Manhole		Pump Station
	Valve Chamber (pressurised)		Treatment Plant
	Boundary Kit		Vent
	Non-Return Valve		Foul Sewer Node
	Pump Station Domestic		Foul Drains in Common (public)
	Drop Manhole		Sewer
	Inspection Manhole		Trunk Sewer
	Inspection Opening		Vent Line
	Lamphole		Rising Main
	Outlet		Redundant Foul Sewer Pipe

NOTE: Private foul drains have the same symbols as those above, however they are coloured orange.

Stormwater

	SW Bubble-up Tank		Roading Bubble-Up Tank
	SW Drop Manhole		Roading Mudtank
	SW Insp Chamber and Grating Inlet		Stormwater Main
	SW Inspection Manhole		Stormwater Trunk Main
	SW Inspection Opening		DCC Open Channel
	SW Lamphole		Piped WC
	SW Mudtank Inlet		Open WC
	SW Outlet		Culvert
	SW Pipe Inlet		Stormwater Mudtank Pipe
	SW Pressure Manhole		Redundant Stormwater Main
	SW Standard Manhole		SW Sump
	SW Stormwater Node		SW Pump Station

NOTE: Private stormwater drains have the same symbols as those above, however they are coloured light green.

General

	DCC Water & Waste Structure		Parcel		Road/Rail
	Railway Centreline		Hydro		Motorway Parcels
			Strata		Easment (where recorded)

Cadastral

Full legend can be viewed at <https://www.dunedin.govt.nz/council-online/webmaps/waterservices>



Council Water & Drainage Services

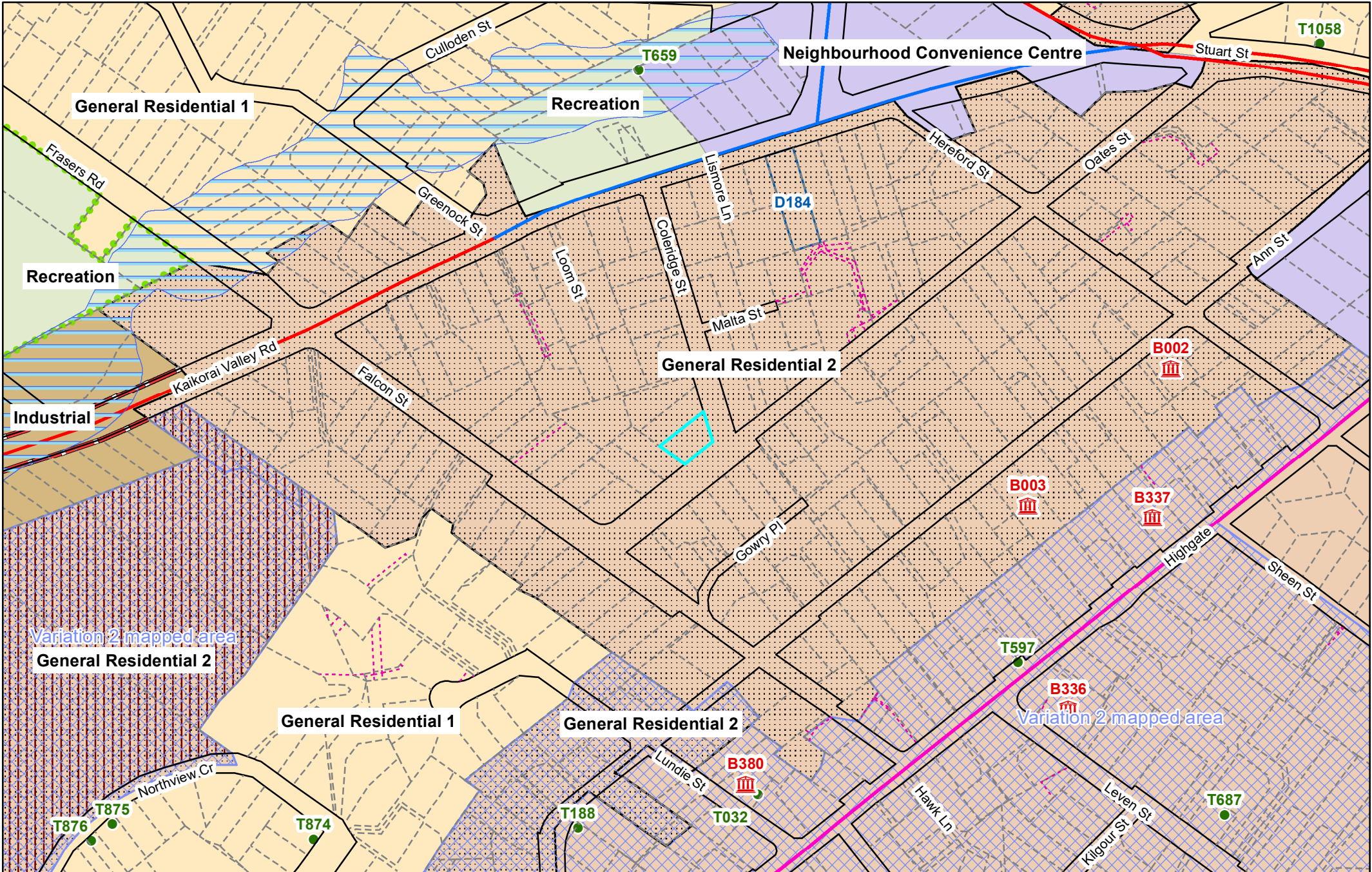
Information shown is the best available at the time of publishing. The accuracy and completeness of This information is variable. Private assets are typically not mapped. Recent changes may not be reflected. Verify on site before commencing work. For all enquiries phone 03 477 4000.

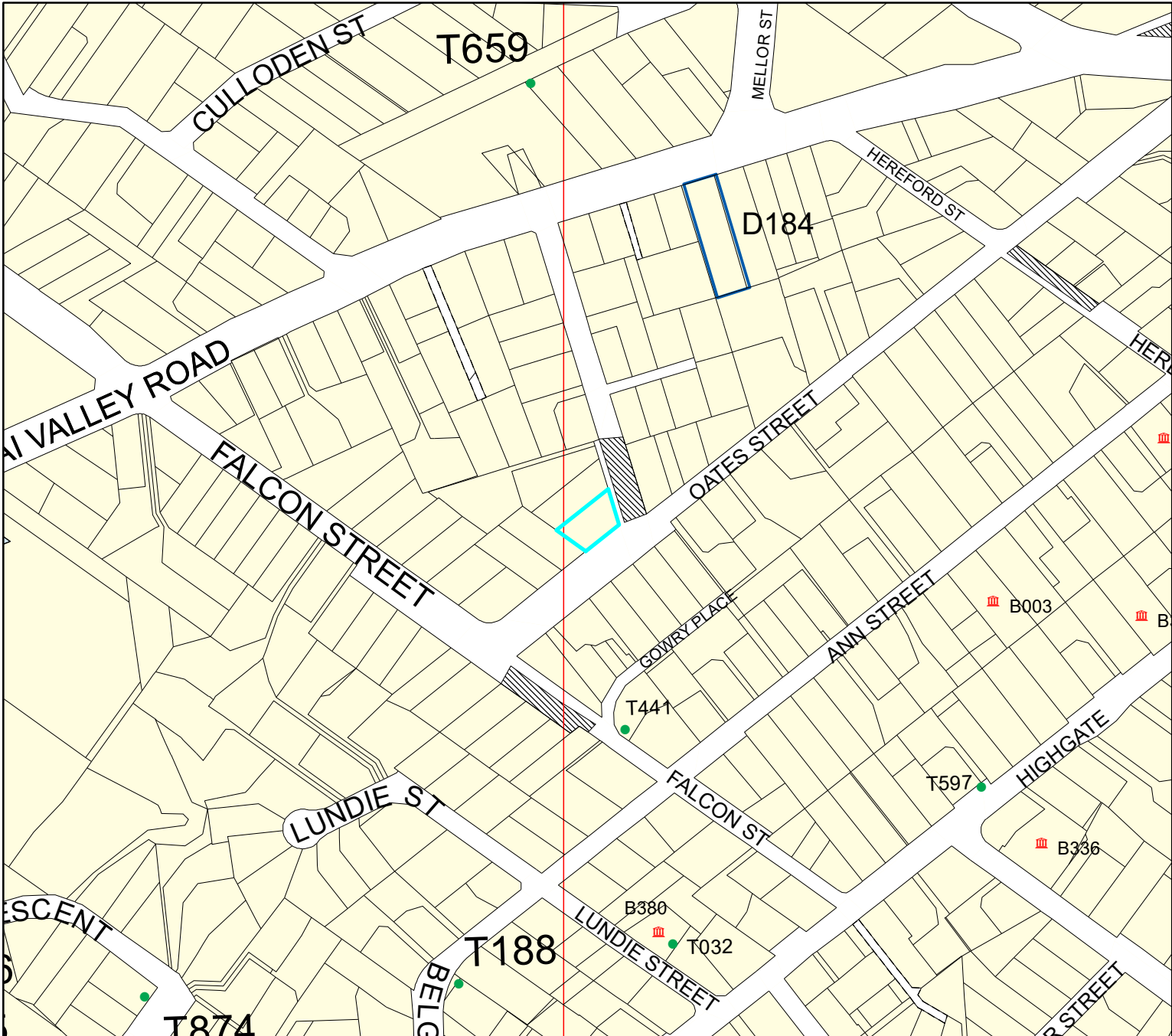
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29/07/2022
8:04:21 PM



PARCEL LINES CAN VARY FROM LEGAL PARCEL BOUNDARIES
This map is for illustration purposes only and is not accurate to surveying, engineering or orthophotographic standards. Every effort has been made to ensure correctness and timeliness of the information presented.

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Legend

- Significant Trees
 - Transpower Structure
 - Transpower Lines
 - Heritage Structure
 - Heritage Facade
 - DP Archaeological Sites
 - Airport Fan Designation 274 bdy
 - Port Height Restrictions
 - DP Designations
 - Urban Landscape Conservation Area
 - DP Taiari Aerodrome
 - Restricted Water Supply Area
 - Ground Water Protection Zone A
 - Ground Water Protection Zone B
 - Public Roads not Legal
 - Unformed Legal Road
- Zones**
- R1 - Residential 1 Zone
 - R2 - Residential 2 Zone
 - R3 - Residential 3 Zone
 - R4 - Residential 4 Zone
 - R5 - Residential 5 Zone
 - R6 - Residential 6 Zone
 - R6A
 - Campus Zone
 - Airport Zone
 - Stadium Zone
 - CA - Central Activity Zone
 - LSR - Large Scale Retail Zone
 - LA1 - Local Activity Zone 1
 - LA2 - Local Activity Zone 2
 - In1 - Industrial 1 Zone
 - In2 or SD - Industrial 2 or Special Development Zone
 - Port 1 Zone
 - Port 2 Zone
 - RR - Rural Residential Zone
 - Rural Zone
 - H - Harbourside
- Port & Airport Noise**
- Air Noise Boundary
 - Airport Outer Control Boundary
 - Outer Port Control Boundary
 - Port Noise Boundary

Esplanade Requirement

- Esplanade Reserve Required
- Esplanade Strip Required

Landscape Management Boundary

- outside boundary
- boundary between areas
- prominency boundary

Townscape

- Townscape and Heritage Precinct Boundary - Internal
- Townscape and Heritage Precinct Boundary

Pedestrian Frontage

- Identified Pedestrian Crossing
- Verandah Required

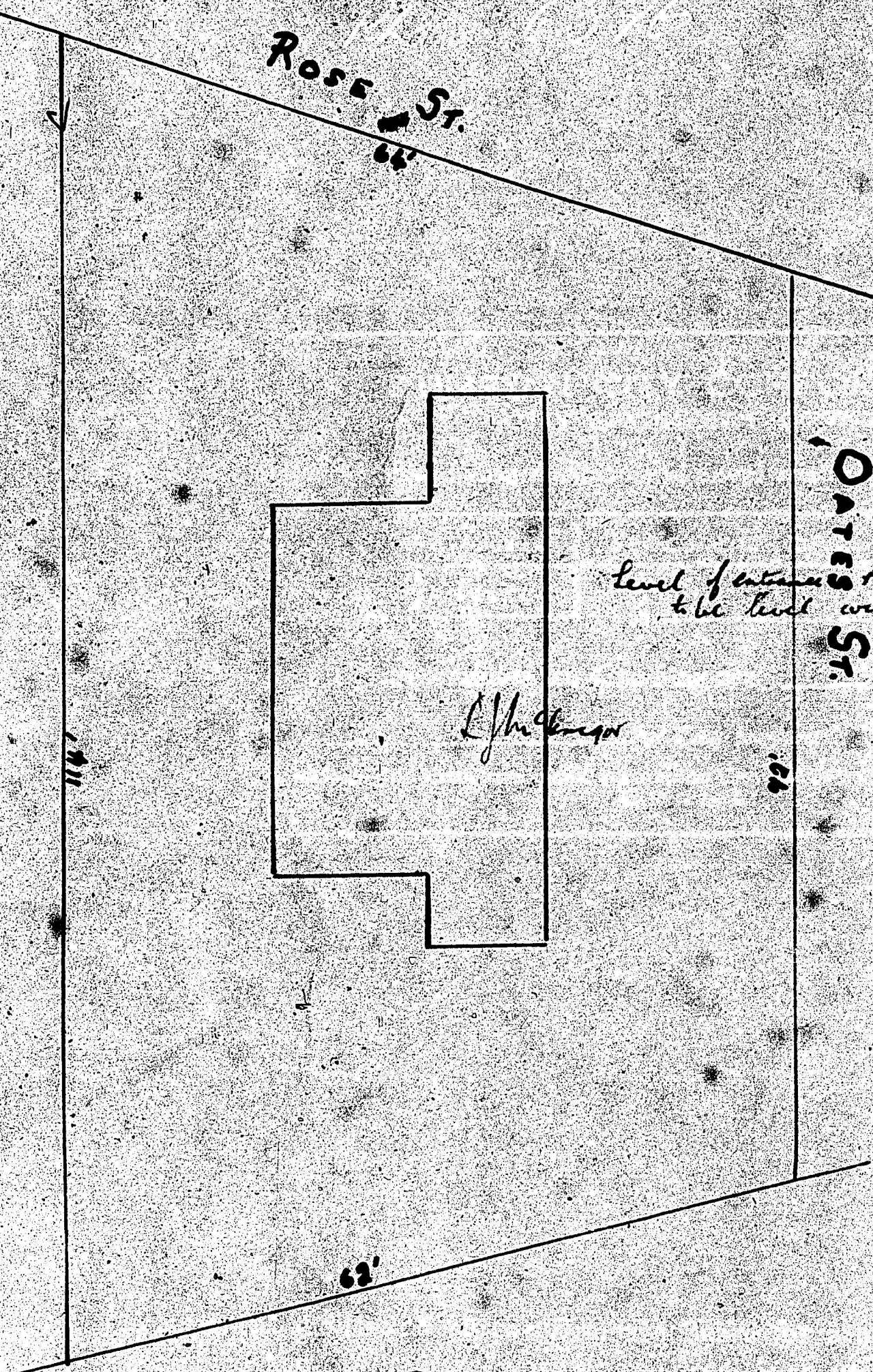
Areas of Significant Conservation Value boundary

- ASCV Boundary
- ASCV Boundary - Internal
- Areas of Significant Conservation Value (Estuarine edge)
- Areas of Significant Conservation Value (Wetland)

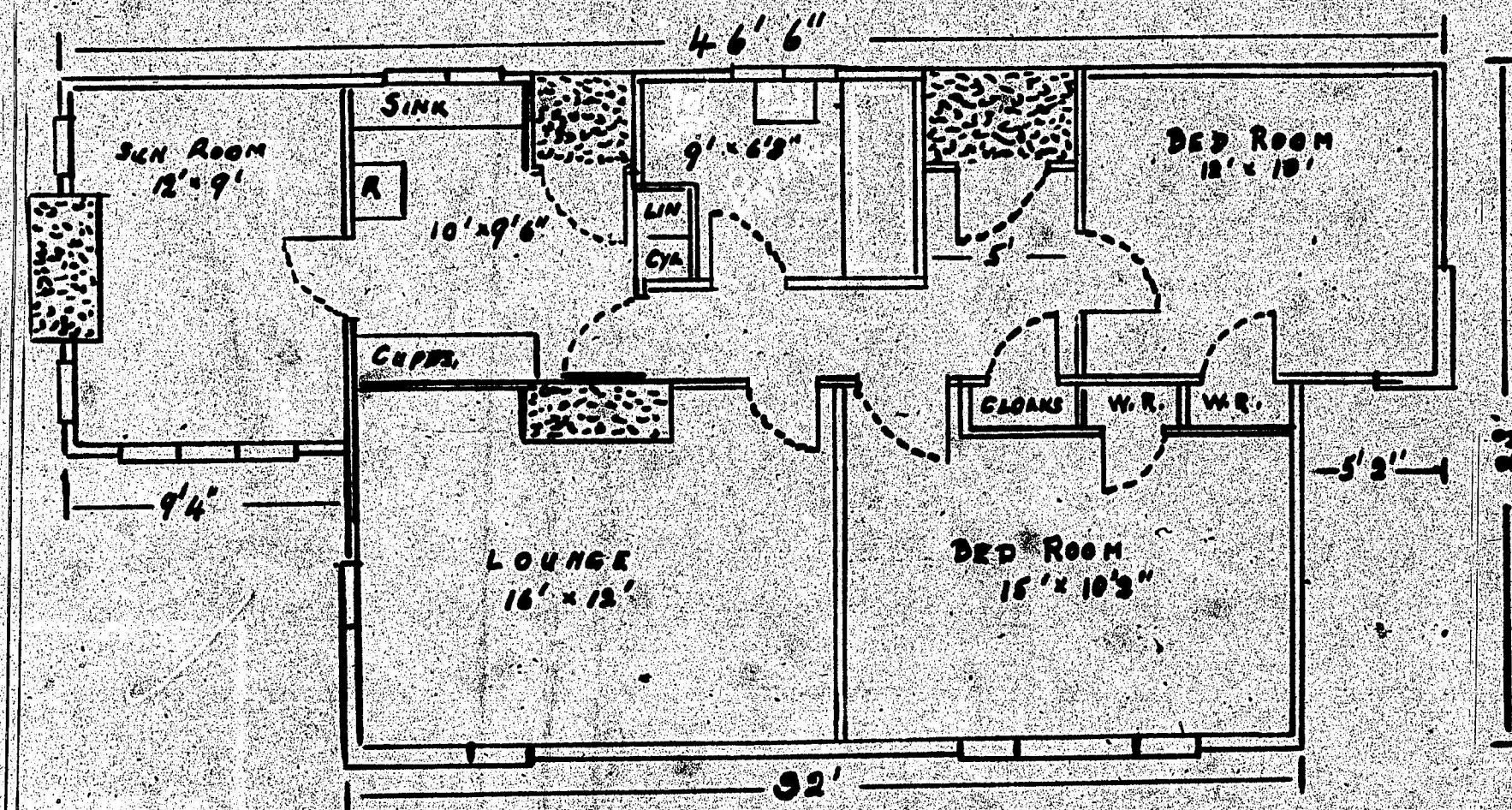
Most detail not shown at scales smaller than 1:25,000
Optimal scale range is 1:2000 - 1:5000
This Planning Map is indicative.

The official Planning Maps are compiled within the District Plan (Volume 2). This map is a representation of the official maps. However, due to the ability to display these maps at different scales, and the dynamic nature of the underlying cadastre, some inconsistencies or misalignment of data may be depicted which is not visible on the official maps. Consult Dunedin City Council for any clarification.

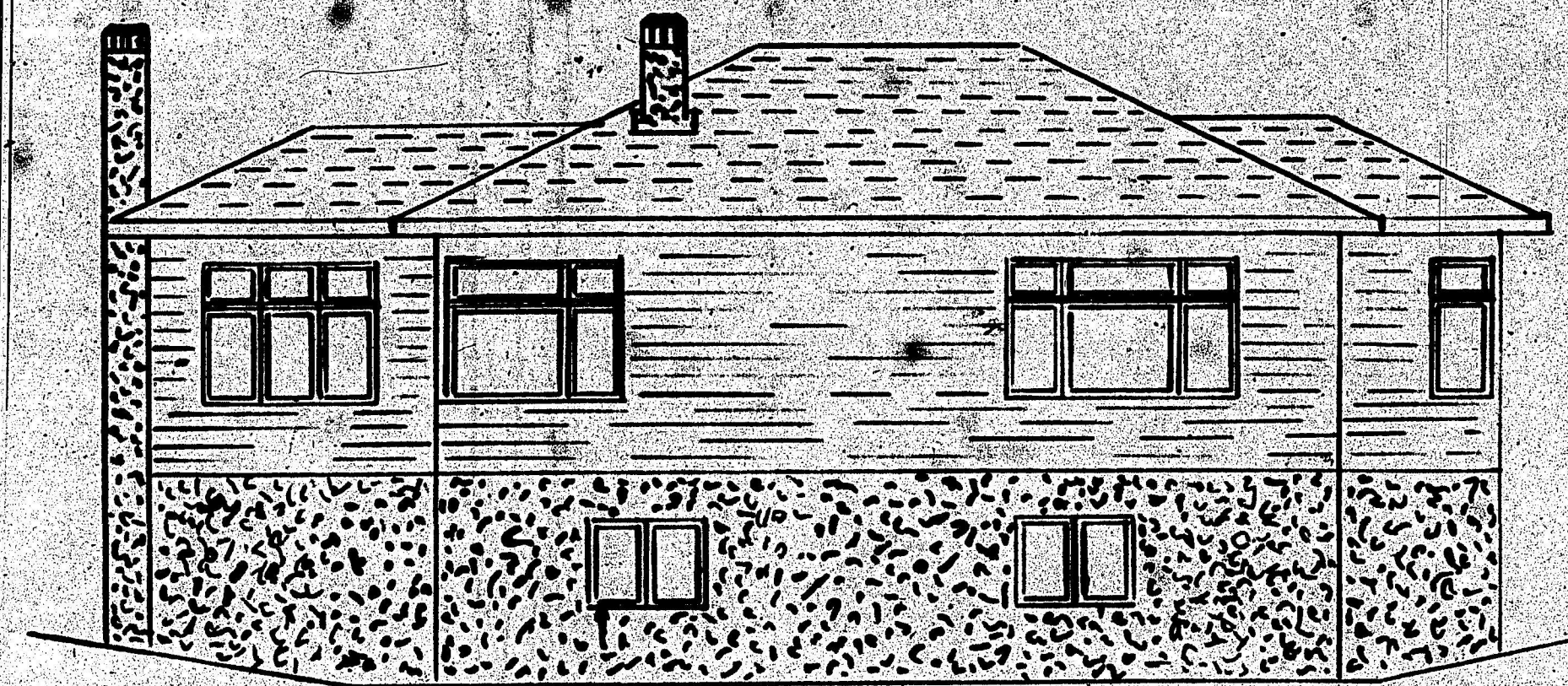
PROPOSED PLAN OF
RESIDENCE AT OATES ST.
TOWNSHIP OF SUNNYSIDE



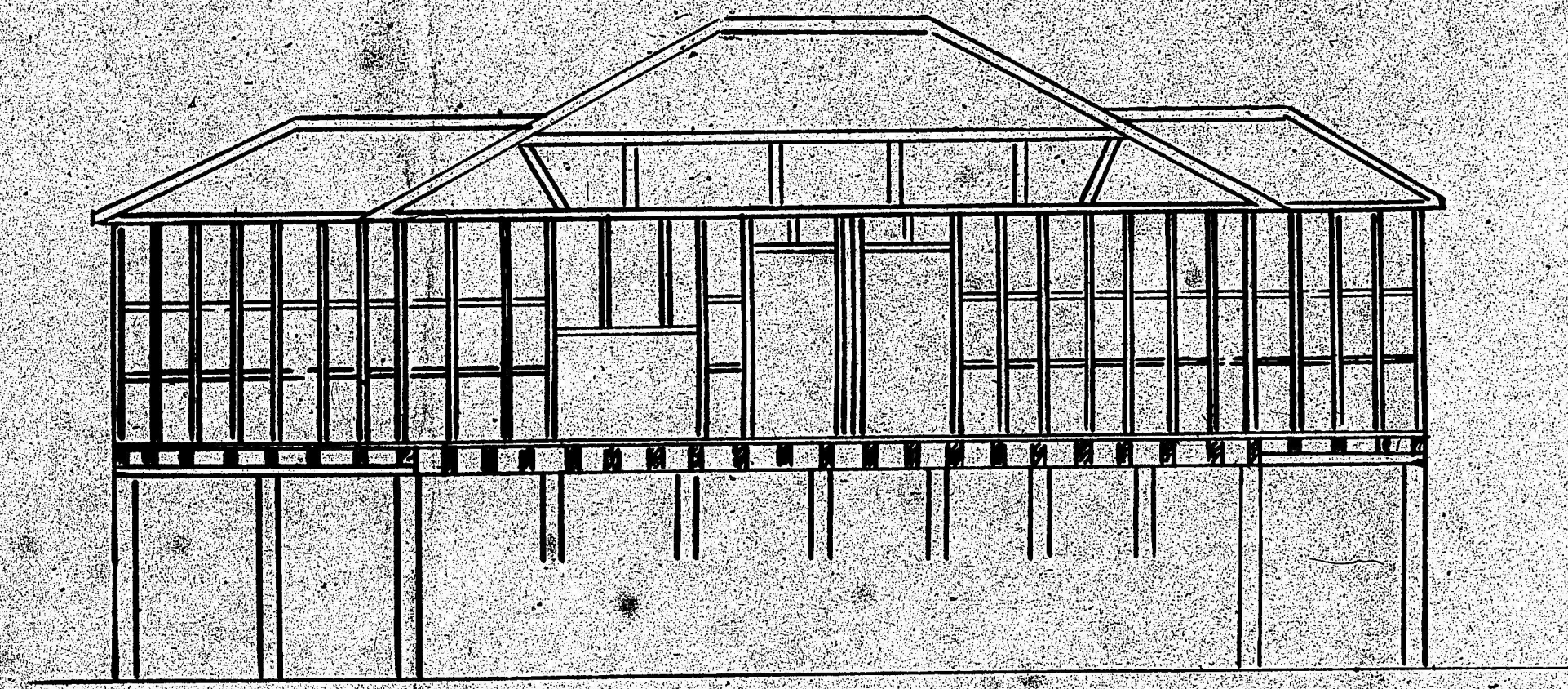
SITE PLAN



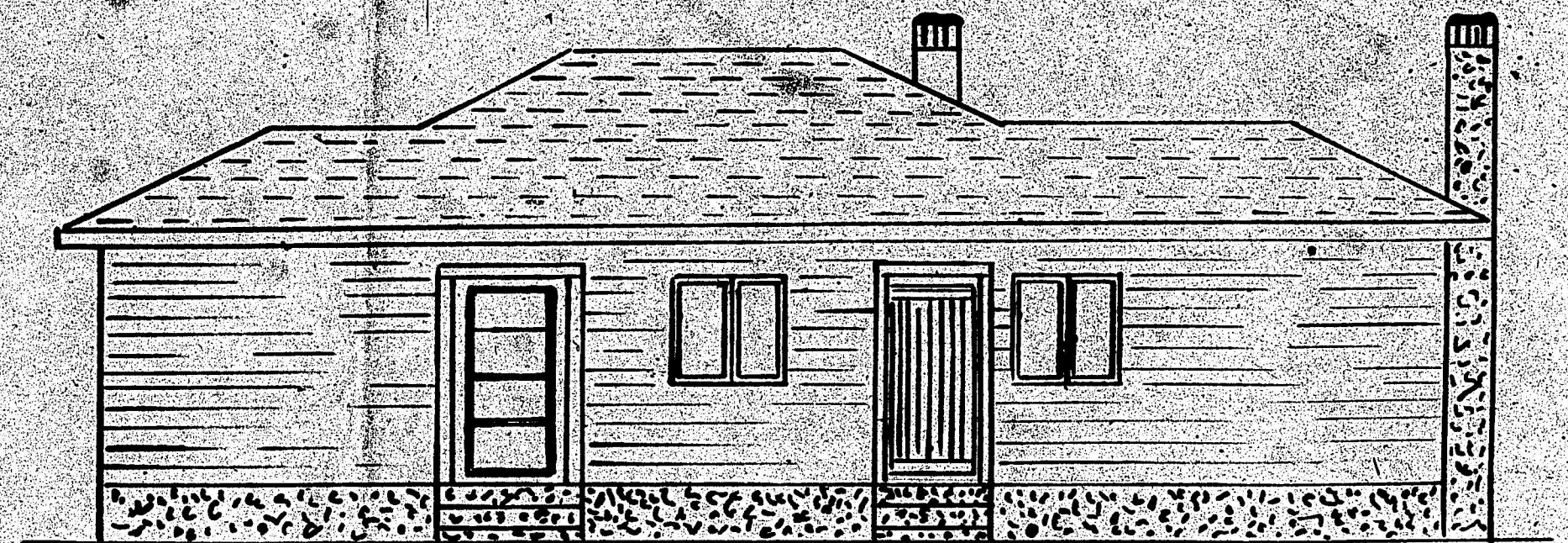
PLAN



FRONT ELEVATION



SECTION A A



BACK ELEVATION

2/1/55
DUNEDIN DRAINAGE AND SEWERAGE BOARD

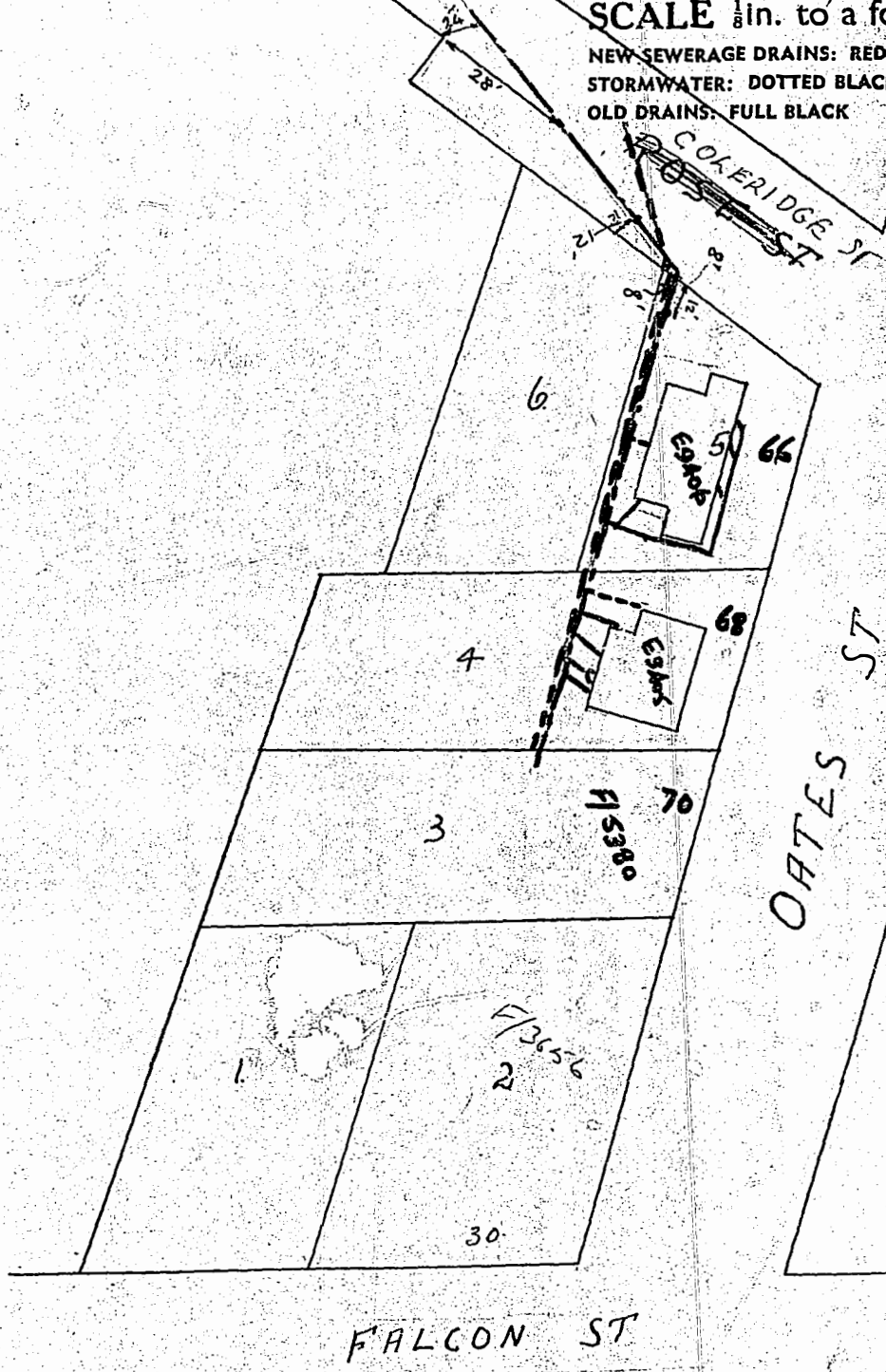
House Connection Plan

APPLICATION No.

E/94044
8/10/51

SCALE $\frac{1}{8}$ in. to a foot

NEW SEWERAGE DRAINS: RED
STORMWATER: DOTTED BLACK
OLD DRAINS: FULL BLACK

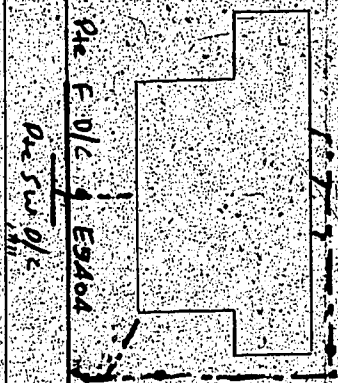


Owner	DTAGD CONSTRUCTION COY.	Block	SUNNYSIDE.
Street	OATES & ROSE ST.	Section	
Locality	ROSLYN	Allotment	3-4-5 PLAN 6376.
Signature of Drainer		<i>[Signature]</i>	

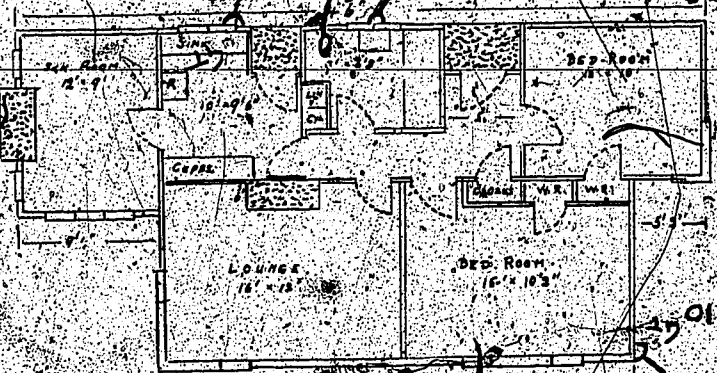
Binding Margin to be left Blank

PROPOSED PLAN OF
RESIDENCE AT OATES ST.
TOWNSHIP OF SUNNYSIDE

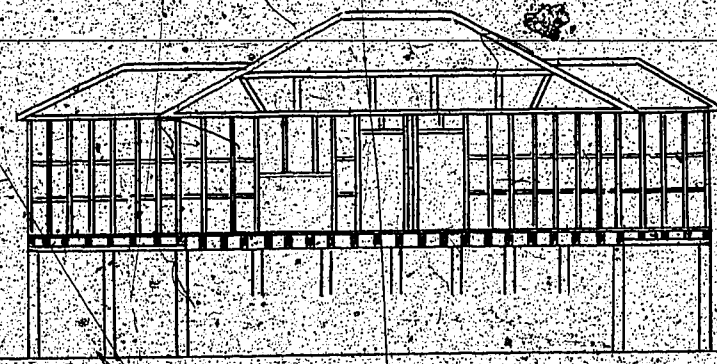
COLLIERIDGE ST.



SITE PLAN



PLAN



SECTION A A

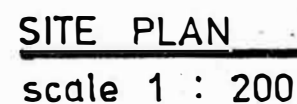


FRONT ELEVATION



BACK ELEVATION

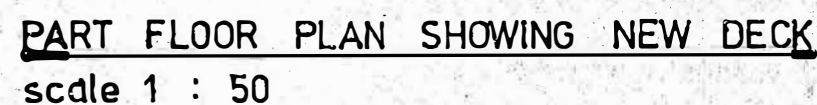
9046/3



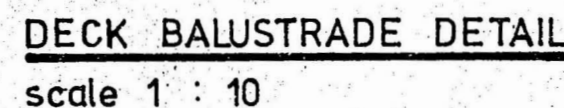
DATE 5-11-85
[Signature] FOR CITY ENGINEER

check position of deck
on site before beginning
construction to ensure
that no part of deck
overhangs the existing
concrete path and steps

50x50 balusters at 150 mm
c/s max between 100x50
posts



SECTION A-A
scale 1 : 20



all timber posts to be corsican
pine or pinus radiata
tanalised to TPA specification
C2B and embedded in
concrete to minimum cover
as shown top end of posts
to be min diameter of 150mm

General: the main contractor must check all dimensions on site before beginning construction local body by-laws, government laws and regulations apply to all trades obtain all permits & pay all fees.

Insurance the owners shall insure the work including builders all risk insurance during the time required to complete the works and shall pay premiums thereon. the main contractor shall carry his own public liability insurance of \$200,000 min.

Concrete all concrete shall be ready-mixed
certified or site mixed to 20 M.Pa strength
after 28 days, use within 15 minutes of
mixing keep damp for 7 days

Timber all deck timbers.
except round
timber posts.

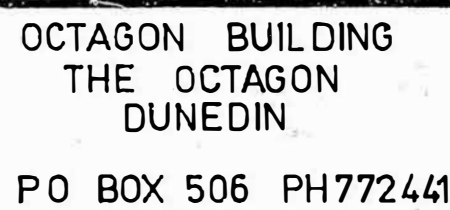
No 1 framing grade
Pinus Radiata
treated to TPA C7
specification

Round timber poles
tanalised to T.P.A.
c2 B specification

Metalwork all exterior metal fastenings & fittings of steel are to be galvanised including nuts, bolts, washers, nails screws & proprietary connectors.

DPC between all faces of framing timber in contact with concrete, place a full length and width of damp proof course of three ply bituminous fabric or approved equal

LEGAL DESCRIPTION of SITE Lot 5 D.P. 6376
and being Part sections 5 and 6 Block IV
Kaikōral District and also being all that land
contained in C.T. 356/135



PROPOSED ADDITION TO WJ & DJ GARTH RESIDENCE 65 OATES
STREET ROSLYN DUNEDIN

DRAWING
SITE PLAN, FLOOR PLAN SECTION A-A
& DETAIL

DRAWN <i>M W 78</i>	CHECKED <i>M W 78</i>	SCALES	SERIES OF 1
TRACED <i>M W 78</i>	DATE OCT 1985	AS SHOWN	REF JOB No 174

23 OCT 1965

CODE COMPLIANCE CERTIFICATE

Section 43(3), Building Act 1991

ISSUED BY:



DUNEDIN CITY COUNCIL

Telephone No:	477-4000	CCC No:	ABA 349	Reference No:	5019484
---------------	----------	---------	---------	---------------	---------

(Insert a cross in each applicable box. Attach relevant documents).

PROJECT LOCATION	PROJECT
Name and Mailing Address: DENNISON, FREDERICK TAYLOR C/O T & T CONTRACTING P O BOX 13052 GREEN ISLAND DUNEDIN 9030	All <input checked="" type="checkbox"/> Stage No of an intended stages New Building <input type="checkbox"/> Alteration <input checked="" type="checkbox"/> Intended Use(s) in detail: PLB & DGE/NEW S/W DIC Intended Life: Indefinite, not less than 50 years <input checked="" type="checkbox"/> Specified as years Demolition <input type="checkbox"/>
LEGAL DESCRIPTION	
Property Number: 5019484 Valuation Roll No: 26970 54000 Street Address: 4 COLERIDGE STREET, DUNEDIN 9001 Legal Description: LOT 6 DP 6376	

This is:

- ☒ A final code compliance issued in respect of all of the building work under the above building consent.
- ☐ An interim code compliance certificate in respect of part only, as specified in the attached particulars, of the building work under the above building consent.
- ☐ This certificate is issued subject to the conditions specified in the attached page(s) headed "Conditions of Code Compliance Certificate No:....." (being this certificate).

The Council charges payable on the uplifting of this code compliance, in accordance with the attached details are: \$
Receipt No:

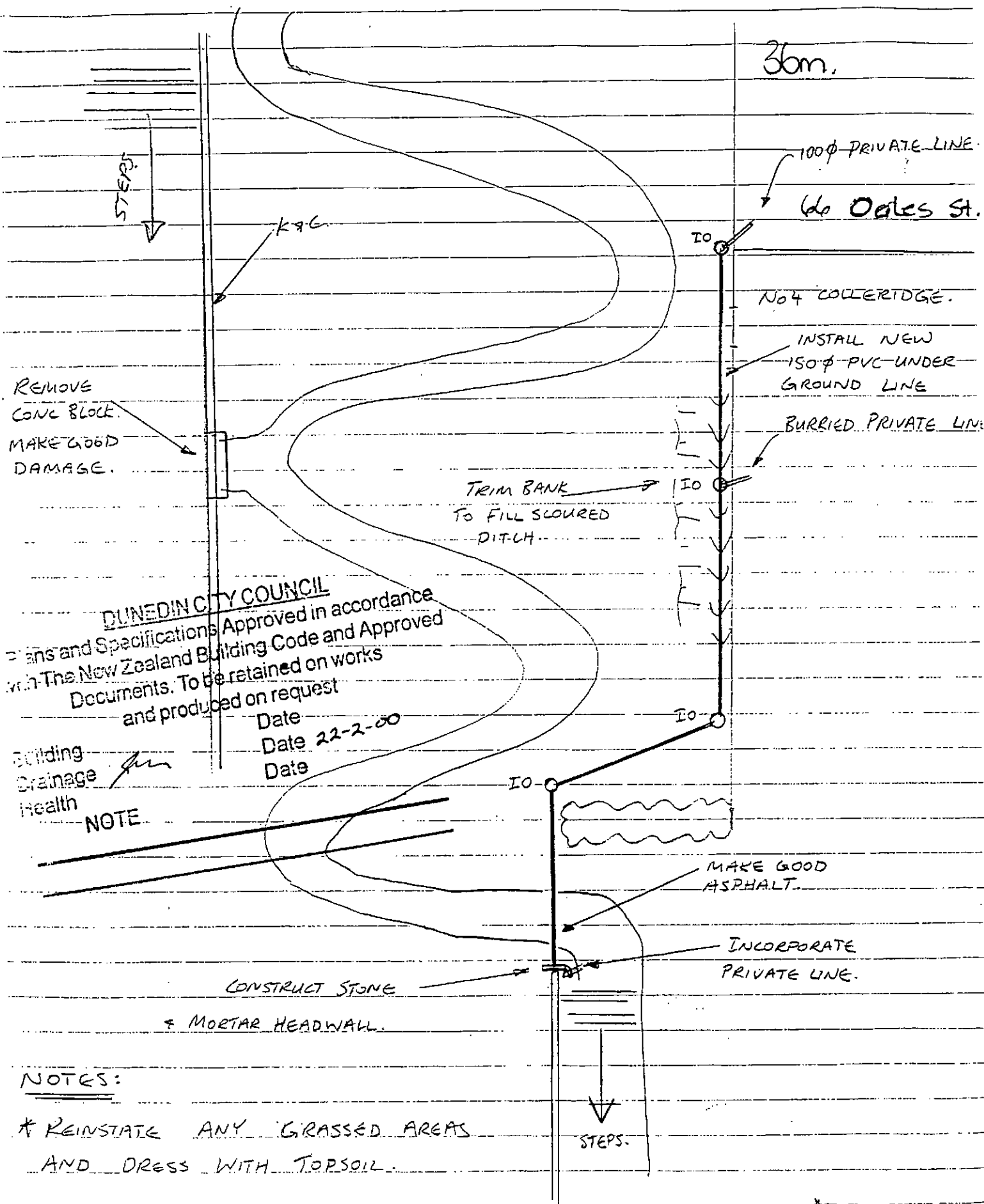
Signed for and on behalf of the Council:

Name:

Position: AUTHORISED OFFICER

Date: 02/03/2000

COLLIERIDGE ST



NOTES:

* REINSTATE ANY GRASSED AREAS AND DRESS WITH TOPSOIL.

* DRAINAGE WORKS MUST BE PERMITTED BY DRAIN LAYER.

Consent \$349.

CODE COMPLIANCE CERTIFICATE

Section 43(3), Building Act 1991

ISSUED BY:



Telephone No:	477-4000	CCC No:	ABA 13020	Reference No:	5019527
---------------	----------	---------	-----------	---------------	---------

(Insert a cross in each applicable box. Attach relevant documents).

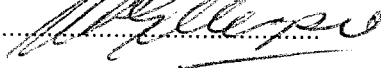
PROJECT LOCATION	PROJECT
Name and Mailing Address: CAIN, BARRY THOMAS 66 OATES STREET DUNEDIN 9001	All <input type="checkbox"/> Stage Noof an intendedstages New Building <input type="checkbox"/> Alteration <input type="checkbox"/>
LEGAL DESCRIPTION	Intended Use(s) in detail: ALTER DWG/REMOVE WALL/YUNCA QEWB
Property Number: 5019527 Valuation Roll No: 26970 56902 Street Address: 66 OATES STREET, DUNEDIN 9001 Legal Description: LOT 5 DP 6376	Intended Life: Indefinite, not less than 50 years <input type="checkbox"/> Specified as years Demolition <input type="checkbox"/>

This is:

- ☐ A final code compliance issued in respect of all of the building work under the above building consent.
- ☐ An interim code compliance certificate in respect of part only, as specified in the attached particulars, of the building work under the above building consent.
- ☐ This certificate is issued subject to the conditions specified in the attached page(s) headed "Conditions of Code Compliance Certificate No:....." (being this certificate).

The Council charges payable on the uplifting of this code compliance, in accordance with the attached details are: \$
Receipt No:

Signed for and on behalf of the Council:

Name:.....

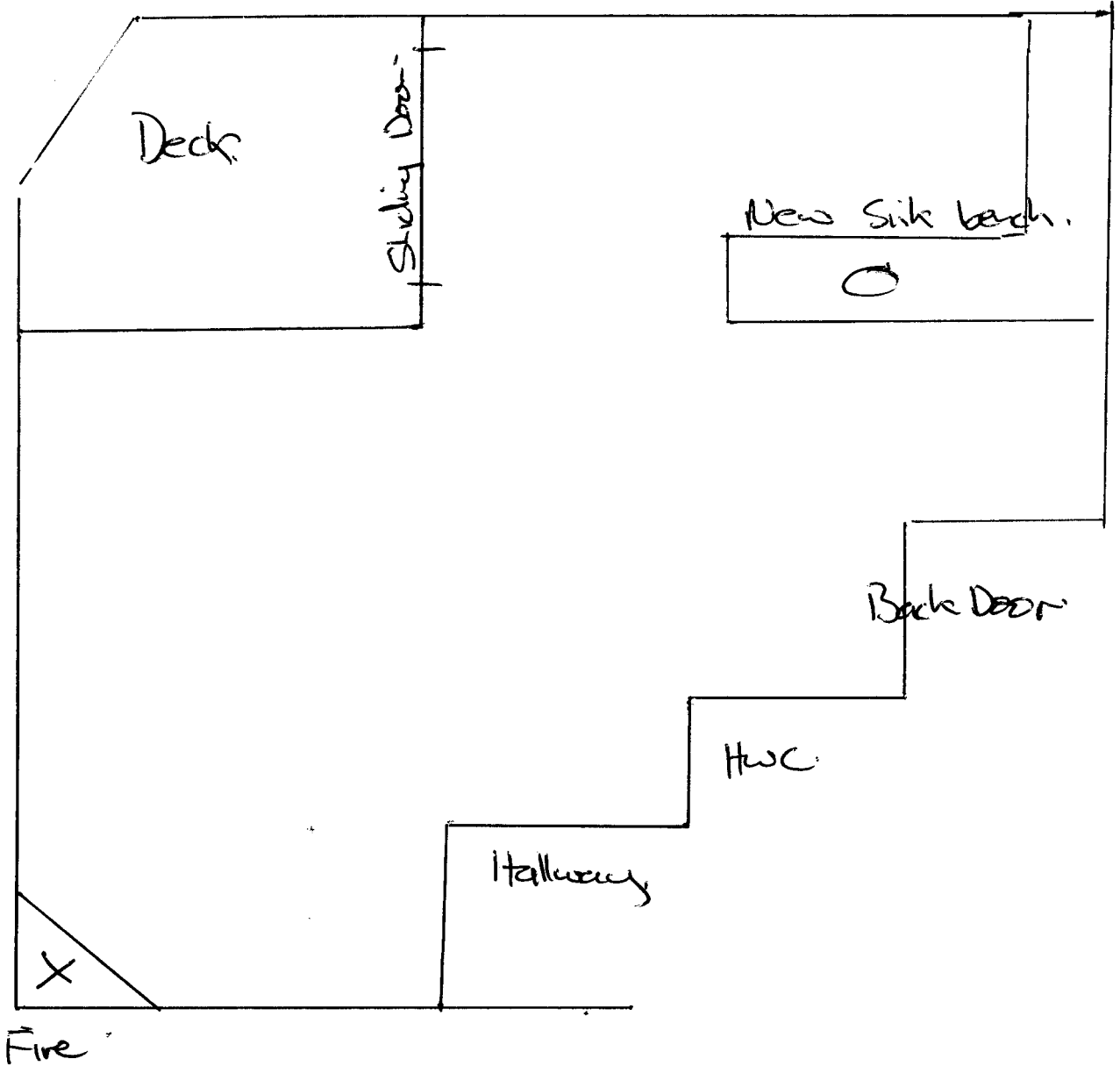
Position: AUTHORISED OFFICER

Date: 21/10/2004

ABA 13020

As built floor plan

66 Cates st.



Amended Plan and/or Specification Received	
By	JPE
Date	20/10/04



YUNCA

A division of Terry Young Ltd.

QEWB 2000

October 2000

INSTALLATION INSTRUCTIONS QEWB 2000 FREESTANDING WOOD BURNER AND MULTIFUEL TESTED TO NZS 7421-1990

- A. Manufacturer recommends all installations be carried out by competent trades persons, e.g. (Space Heater Installer) to obtain maximum performance and maintenance free heating.
- B. A permit is normally required and we suggest you check with your local building inspectors as by-laws can vary from area to area. Also notify your Insurance Company that a space heater has been installed.
- C. Hearth-
1. Must extend at least 300mm Multi Fuel (200mm Wood) in front of heater Door.
 2. Must extend at least 100mm on each side of heater.
 3. Spill Ash hearth must be constructed of non-combustible material.
- D. Manufacturers recommend minimum clearances from combustible walls

COAL RESEARCH tested to NZS 7421-1990	Multi-Fuel	Wood
Rear Clearance (with YUNCA flue guard fitted)	220mm	*100mm
Side Clearance (with YUNCA flue guard fitted)	500mm	*200mm
Rear Clearance (with 1/4 round flue guard fitted)	250mm	*150mm
Side Clearance (with 1/4 round flue guard fitted)	500mm	*200mm
Corner Clearance (with YUNCA flue guard fitted)	100mm	*40mm
Corner Clearance (with 1/4 round flue guard fitted)	100mm	*40mm

* ADDITIONAL QEWB 2000 WOOD FIRE HEAT SHIELD REQUIRED

E. FLUE KIT

1. 3.6 m x 150 mm stainless steel flue
2. 1 x weather cap & cowl
3. 2 x 900 mm 250mm galvanised liner
4. 2 x spider brackets
5. 1 x ceiling tile
6. 1 x secondary shield

Wood Fire Only Requires: Qewb 2000 Wood Fire Heat Shield and Brackets.

NOTE: All joints must be sealed with flue sealing compound & screwed or riveted together, including the first length of flue being screwed to flue spigot.

F. HALF ROUND GUARD KIT

1. 1200mm stainless steel back
2. 900mm stainless steel back

G. YUNCA FLUE GUARD KIT (Accessory kits also available)

1. 1 x 1200mm length back guard
2. 1 x 1200mm perf. front guard
3. 1 x 900mm back guard

66 Oates St

13020

TYPICAL FLUE INSTALLATION

25 mm. BETWEEN LINER & ANY TIMBER

Directional Cowl

5mm Max

LINER POSITIONED BY SPIDER BRACKETS, TOP/BOTTOM

FLUE

600 mm ABOVE THE RIDGE LINE (MM)

FLASHING

25MM BETWEEN LINER AND ANY TIMBER.

TIMBER RAILS.

SUPPORT ANGLES

300 sq. TIMBER FRAME

LOOSE FILL BOUNDARY (SECONDARY) SHIELD

CEILING

CUT CEILING MATERIAL BACK 25mm CLEAR OF BOUNDARY SHIELD.

CEILING PLATE

ENLARGMENT OF CEILING ASSEMBLY

300mm Sq. TIMBER FRAME

900mm ADJUSTABLE BACK GUARD

600mm FRONT EXTENSION

1200mm BACK GUARD

1200mm FRONT GUARD

HALF FLUE GUARD

65mm MAX.

CEILING

300 sq. TIMBER FRAME

SUPPORT ANGLES

LINER POSITIONED BY SPIDER BRACKETS TOP AND BOTTOM

25mm BETWEEN LINER & ANY TIMBER

STANDARD GUARD ASSEMBLY

QEWB 2000 WOOD FIRE HEAT SHIELD

STD. FLUE GUARD (FOR WOOD ONLY) additional QEWB 2000 WOOD FIRE HEAT SHIELD REQUIRED DOUBLE SKIN GUARD 1200 LONG WITH 900mm HALF GUARD BACK EXTENSION

15mm

THREE TYPES OF YUNCA FLUE GUARD AVAILABLE FROM YOUR LOCAL AGENT.

CONDITIONS FOR CHIMNEYS

- The chimney shall extend to:
 - (a) in the case of a pitched roof, not less than 600mm above the highest point on the roof.
 - (b) in the case of a flat roof (ie any roof with a pitch of less than 30 Deg), not less than 1500mm above the highest point of the roof.
 In some situations the Council may vary the above requirements. In any case the length of the flue shall not be less than the minimum recommended by the manufacturer.
- All parts of the chimney exposed to the outside air shall be suitably insulated in accordance with the manufacturer's recommendations.

When loose fill insulation is used in the adjacent ceiling space, maintain clearance between the secondary shield and the loose-fill insulation by provision of a boundary extending 200mm above the ceiling top surface. This non combustible boundary shield shall be capable of preventing accidental migration of the loose-fill by any action of wind or by persons moving in the ceiling space.

Note: All dimensions are in millimeters.

Note: All dimensions are in millimeters.

Fig 1. Front View.

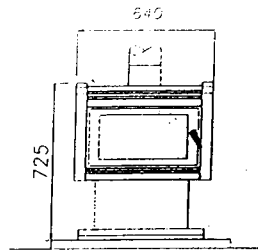


Fig 2. Water Booster connection.

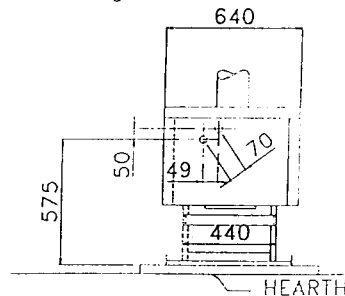


Fig 3:

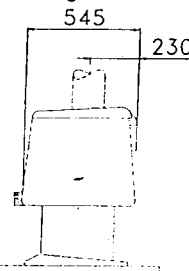
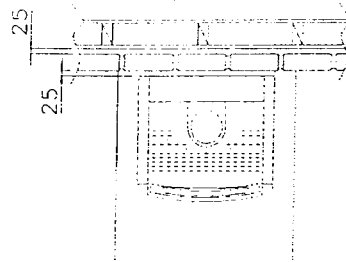


Fig 4. BRICK WALL (WITH STD. FLUE GUARD FITTED).



Brick lining from floor to within 25mm of ceiling leaving air vents at bottom to allow air flow in the cavity. Full height brick screen is required to be on a concrete or massonary foundation taken to solid bearing.

SEISMIC RESTRAINT

Secure base to hearth with 8mm Dynabolts or similar.

FOLLOW LOCAL COUNCIL'S SPECIFICATIONS.

ASH HEARTH.

WOOD MIN. 840mm x 840mm wide with Flue Guard and Qewb 2000 Wood Fire Heat Shield

MULTI-FUEL MIN. 1045mm x 840mm wide with Flue Guard.

640 x 545

Fig 5. Combustible Wall

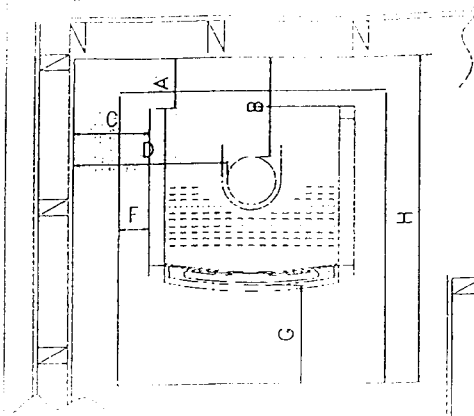
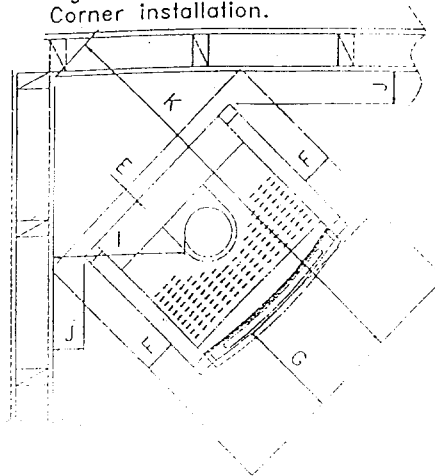


Fig 6. Combustible Wall Corner installation.



All Dimensions in mm.

Multi-Fuel

MINIMUM COMBUSTION WALL CLEARANCES WITH STANDARD FLUE GUARD

	A	B	C	D	E	F	G	H	I	J	K
M/Fuel	220	375	500	745	0	100	300	1045	420	100	1215

MINIMUM COMBUSTIBLE WALL CLEARANCES WITH HALF ROUND FLUE GUARD

M/Fuel	250	425	500	745	0	100	300	1095	420	100	1215
--------	-----	-----	-----	-----	---	-----	-----	------	-----	-----	------

MINIMUM COMBUSTIBLE WALL CLEARANCES WITH NO FLUE GUARD

M/Fuel	370	525	600	845	0	150	300	1195	470	150	1340
--------	-----	-----	-----	-----	---	-----	-----	------	-----	-----	------

Wood Fire

MINIMUM COMBUSTION WALL CLEARANCES WITH STANDARD FLUE GUARD with QEWB 2000 WOOD FIRE HEAT SHIELD

	A	B	C	D	E	F	G	H	I	J	K
Wood	100	255	200	445	0	100	200	840	360	40	1025

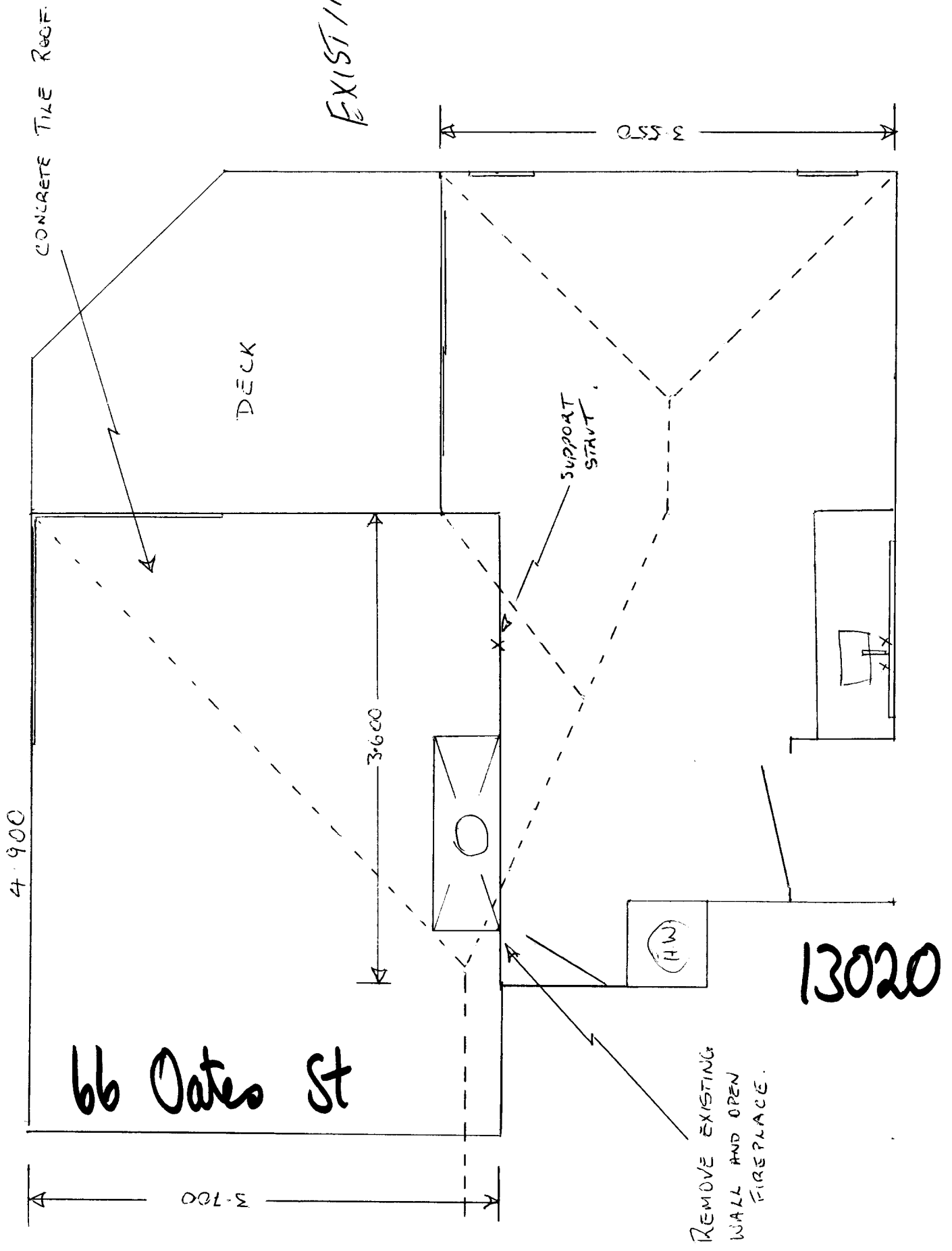
MINIMUM COMBUSTIBLE WALL CLEARANCES WITH HALF ROUND FLUE GUARD

Wood	150	305	200	445	0	100	200	840	360	40	1025
------	-----	-----	-----	-----	---	-----	-----	-----	-----	----	------

MINIMUM COMBUSTIBLE WALL CLEARANCES WITH NO FLUE GUARD

Wood	250	505	300	545	0	150	200	840	410	90	1095
------	-----	-----	-----	-----	---	-----	-----	-----	-----	----	------

EXISTING.



PROPOSED
ACTS

LIFT KITCHEN SINK
UNIT

DUNEDIN CITY COUNCIL

Plans and Specifications Approved in accordance
with The New Zealand Building Code and Approved
Documents. To be retained on works
and produced on request

Building
Drainage
Health

Date 20.12.2001
Date
Date

NOTE

Fit 300x100

3.6m

INSTALL QEW 3 2000
WOOD BURNER



13020

66 Oates St