

SHEET TITLE

| | |
|----|-----------------------|
| | COVER SHEET |
| 1 | SITE PLAN |
| 2 | FLOOR PLAN |
| 3 | ELEVATIONS |
| 4 | FOUNDATION PLAN |
| 5 | ROOF FRAMING PLAN |
| 6 | SECTIONS AA BB CC |
| 7 | SECTIONS DD EE FF |
| 8 | STO PLASTER DETAILS 1 |
| 9 | STO PLASTER DETAILS 2 |
| 10 | STO PLASTER DETAILS 3 |
| 11 | STO PLASTER DETAILS 4 |
| 12 | CEDAR DETAILS 1 |
| 13 | CEDAR DETAILS 2 |
| 14 | CEDAR DETAILS 3 |
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| 16 | BRACING PLAN |
| 17 | BRACING DETAILS |
| 18 | WET AREA DETAILS |



PROPOSED DWELLING
FOR J BOUSIE
AT LOT 3 AWA TORU DRIVE,
FAIRFIELD, DUNEDIN

DATE: OCT 2015
DESIGN: PJMURRAY
DRAWN: PJMURRAY
SCALE: AS SHOWN SHEET

SANITARY PLUMBING TO AS/NZS 3500.2:2003
IO's REQUIRED AT:

- OUTSIDE BUILDING WHERE WC CONNECTED TO BRANCH DRAIN
- MAXIMUM INTERVAL OF 30m
- CONNECTION TO PUBLIC SYSTEM UNLESS PROVIDED BY UTILITY OPERATOR
- DOWNSTREAM END OF ANY DRAIN PASSING UNDER A BUILDING EXCEPT WHERE WASTE FIXTURES ONLY ARE CONNECTED
- IMMEDIATELY AT OR UPSTREAM OF THE UPPER BEND OF A JUMP-UP
- EVERY CHANGE IN HORIZONTAL DIRECTION OR GRADIENT >45°

| Pipe sizes | Gradient |
|------------------|------------|
| sink, shwr, bath | 40mm 1:40 |
| vanity | 32mm 1:20 |
| back vent | 40mm 1:40 |
| terminal vent | 80mm 1:60 |
| sewer | 100mm 1:60 |
| stormwater | 100mm 1:60 |
| downpipes | 80mm |

Min pipe size under slab 65mm

DETERMINE EXACT LEVELS ON SITE AFTER CAREFUL INSPECTION. CONFIRM WITH DESIGNER BEFORE DEVIATING FROM FLOOR LEVEL SPECIFIED.

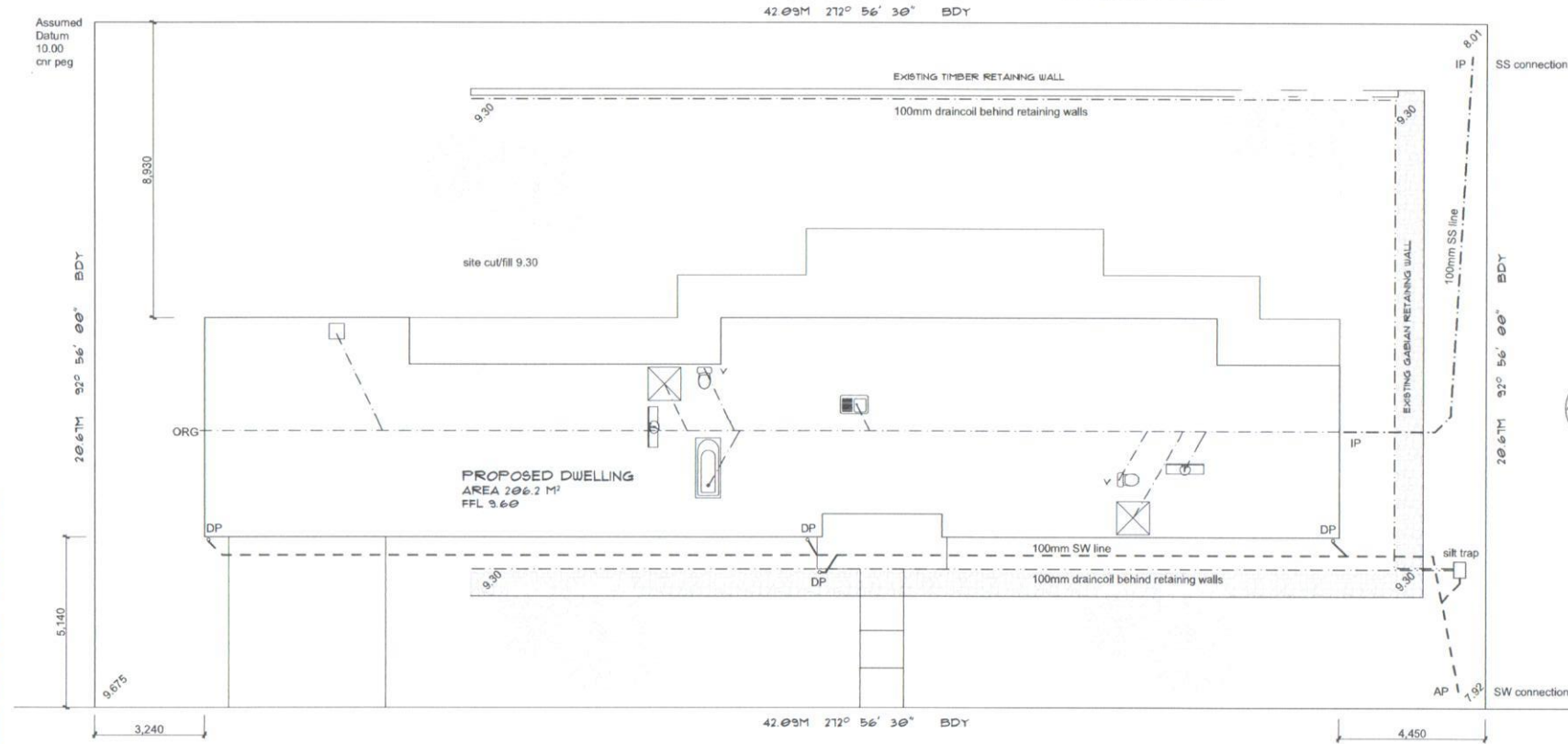
DETERMINE EXACT ROUTE OF SANITARY DRAINAGE ON SITE AFTER CAREFUL INSPECTION.

ENSURE ALL DRAINAGE EXCAVATION POSITIONS & DEPTHS DO NOT INFLUENCE FOUNDATION SYSTEM.

CONFIRM LOCATIONS & DEPTHS OF EXTG. PUBLIC DRAINS PRIOR TO COMMENCEMENT.



LOCALITY PLAN



LEGAL
 LOT 3
 DP 478754
 CT 665937
 AREA 870 M²
 COVERAGE 24.0 %
 CUT/FILL 32 M² / 163 M³



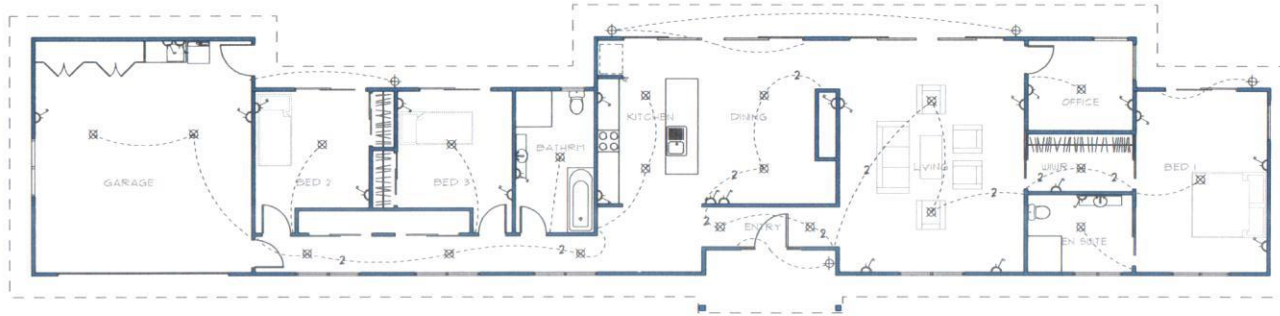
PROPOSED DWELLING FOR J BOUSIE AT LOT 3 AWA TORU DRIVE, FAIRFIELD, DUNEDIN

DATE: OCT 2015
 DESIGN: FJ MURRAY
 DRAWN: FJ MURRAY
 SCALE: AS SHOWN

PH / Fax (03) 483 4331 Call (03) 58 9757 Email plan-it@tra.co.nz

SITE PLAN 1:100

AWA TORU DRIVE



ELECTRICAL PLAN 1:100

- ⌘ DOUBLE SWITCHED SOCKET
- ⊗ CEILING MTD PENDANT LIGHT
- ⊕ EXTERIOR WALL MTD LIGHT

FLOOR COVERINGS:

LIVING / KITCHEN / DINING
8MM QUICKSTEP WOOD

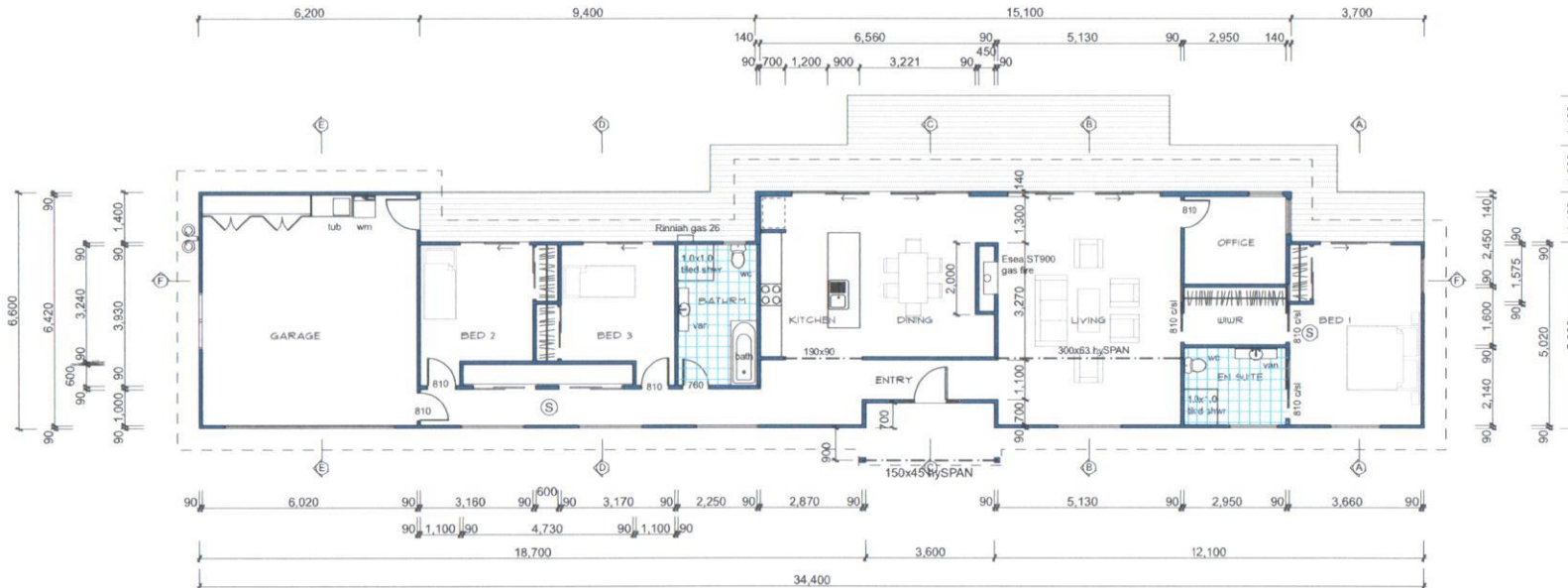
BEDROOMS / WUVR
CARPET

BATHROOM / EN SUITE
TILED FLOORS ON ARDEX WPM092 MEMBRANE
FALL SHOWER 25MM TO 50MM WIDE CHANNEL
CHANNEL TO HAVE 25MM FALL TO DRAIN

GARAGE
COVER FLOOR WITH NEEDLE PUNCH CARPET

GENERAL NOTES

- ALL CONSTRUCTION TO NZBC AND APPROVED DOCUMENTS INCLUDING NZS 3604:2011
- PROVIDE WATER STORAGE HEATER WITH SEISMIC RESTRAINT AND TEMPERING VALVE TO NZBC G17
- PROVIDE EQUIPOTENTIAL BONDING TO NZBC G12
- PROVIDE TOP PLATES IN ACCORDANCE WITH NZS 3604:2011 TABLE B.16
- FABRICATORS SHALL CONFIRM ALL DIMENSIONS PRIOR TO COMMENCEMENT. DISCREPANCIES SHALL BE BROUGHT TO THE DESIGNER'S ATTENTION. DO NOT SCALE FROM DRAWING. IF IN DOUBT, ASK.
- OBTUSE GLAZING
- (S) SMOKE ALARM
- REFER ELEVATIONS FOR WINDOW OPENINGS
- CONCRETE TO HAVE 28 DAY STRENGTH OF 20MPA FOR ZONE C ACCORDING TO NZS3604:2011 SECTIONS 2 & 4



FLOOR PLAN 1:100
FLOOR AREA 206.2 M²



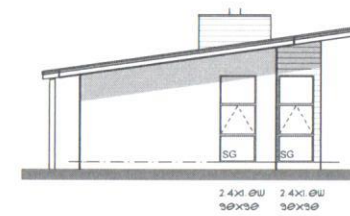
PROPOSED DWELLING FOR J BOUSIE AT LOT 3 AWA TORU DRIVE, FAIRFIELD, DUNEDIN

DATE: OCT 2015
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SHEET **2**



ONE

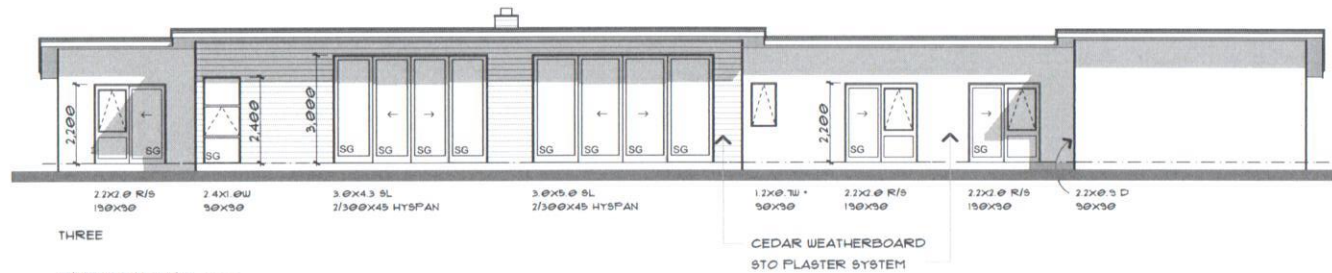


TWO

| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|---------------|------------|
| All Elevations | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | Low risk | 0 |
| Roof/wall intersection design | High risk | 3 |
| Eaves width | Low risk | 0 |
| Envelope complexity | Medium risk | 1 |
| Deck design | Low risk | 0 |
| Total Risk Score: | | 5 |

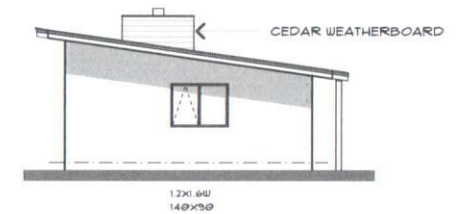
- ROOF : LONGRUN COLORSTEEL
- FASCIA : TIMBER
- GUTTER : COLORSTEEL
- WALL : STG PLASTER SYSTEM / CEDAR WBOARD
- JOINERY : ALUMINIUM
- FLOOR : RIBRAFT CONC SLAB
- SG : SAFETY GLASS
- * OBSCURE GLAZING

- COLOURS:
- ROOF / FASCIA / GUTTER : WINDSOR GREY
- PLASTER / SOFFITS : NARROW NECK 1/4
- WINDOW JOINERY : PALLADIUM SILVER
- GARAGE DOOR : SANDSTONE GREY
- ENTRY DOOR : WAIOEKA



THREE

ELEVATIONS 1100



FOUR



FOR CONCEPTUAL PURPOSES ONLY



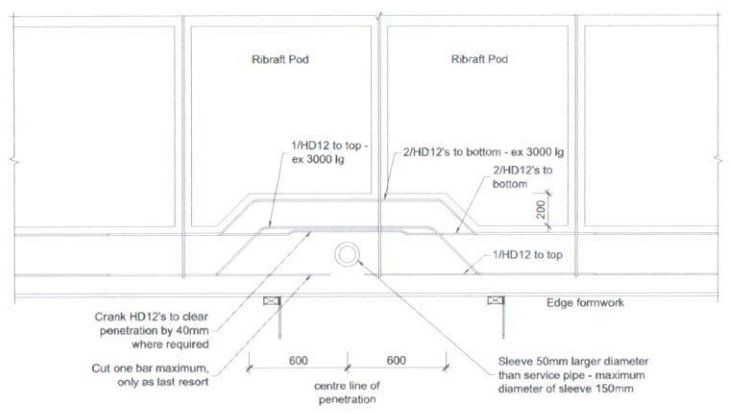


Figure 13 Localised increase in width at edge beam where vertical services up to 100mm diameter are required

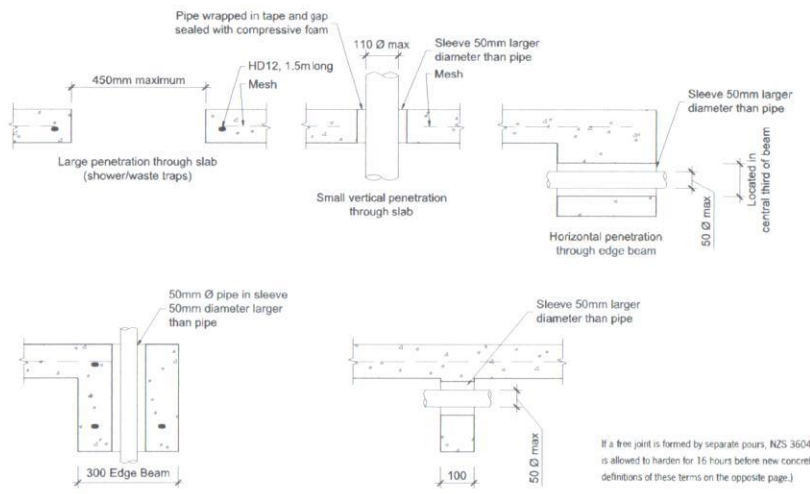


Figure 12 Example of detailing requirements for services

If a free joint is formed by separate pours, NZS 3604 requires that the concrete on one side of the free joint is allowed to harden for 16 hours before new concrete can be placed on the other side of the joint. (See the definitions of these terms on the opposite page.)

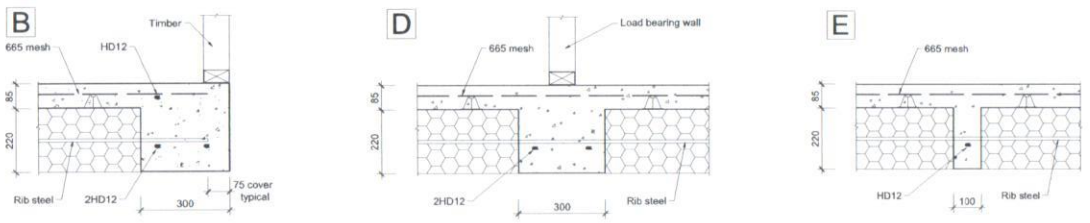
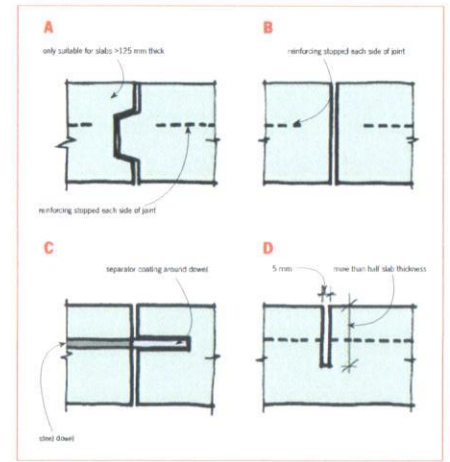
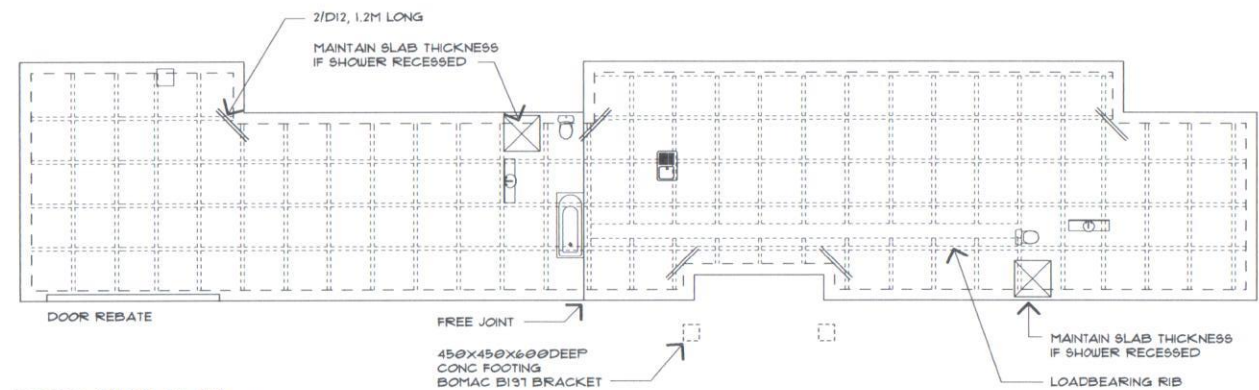


Figure 5 Standard RibRaft Construction Details

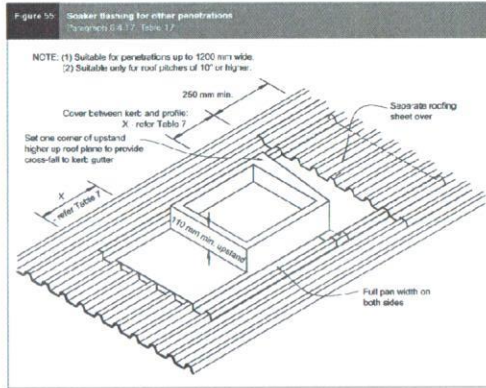


Methods of forming free joints

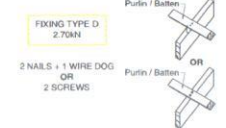
Examples A, B and C above show free joint options that require separate concrete pours. Example D is an alternative method of creating a free joint where the concrete floor is laid in one pour, then the concrete is saw cut to at least one half of the thickness of the floor (making sure the saw cut is deep enough so that any reinforcing passing through the joint is cut through). This method allows the placing of concrete for a complete floor area in one operation. Cutting the concrete must be done no later than 24 hours after pouring for ambient temperatures above 20°C and no later than 48 hours for average ambient temperatures below 20°C.



FOUNDATION PLAN
 CONCRETE TO HAVE 28 DAY STRENGTH OF 20MPa FOR ZONE C ACCORDING TO NZS3604:2011 SECTIONS 2 & 4

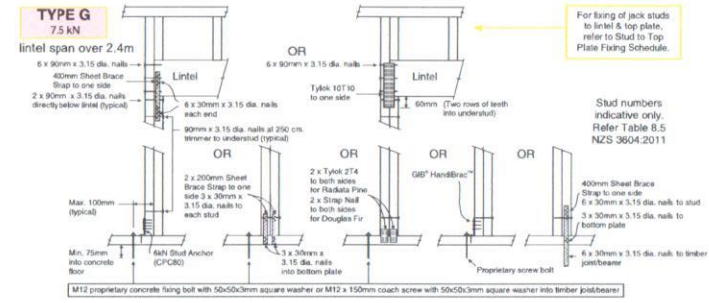
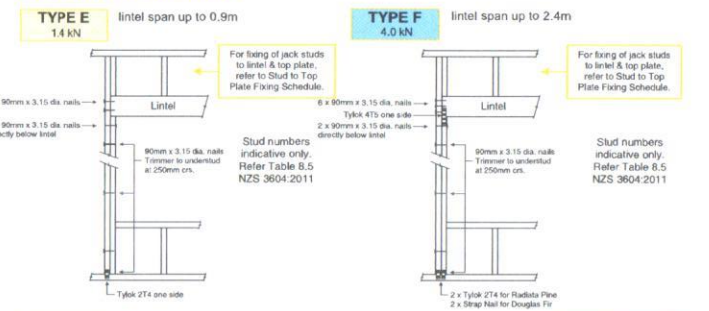


FIXING DEFINITIONS
NAIL = Either 90mm x 3.15 dia. power driven or 100mm x 3.75 dia. hand driven
SCREW = 80mm x 10 gauge LUMBERLOK BLUE SCREW
WIREDOG = Either left hand or right hand LUMBERLOK Wire Dog

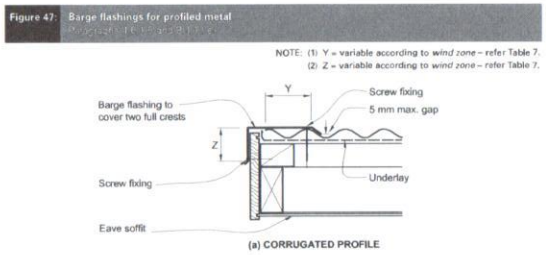
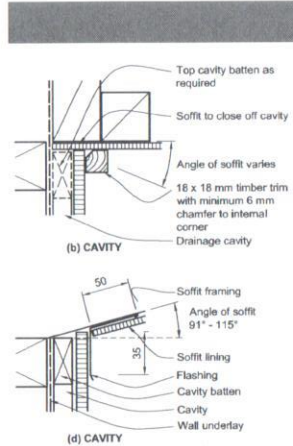
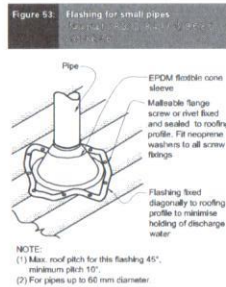


LUMBERLOK PURLIN FIXING

LINTEL FIXING OPTIONS

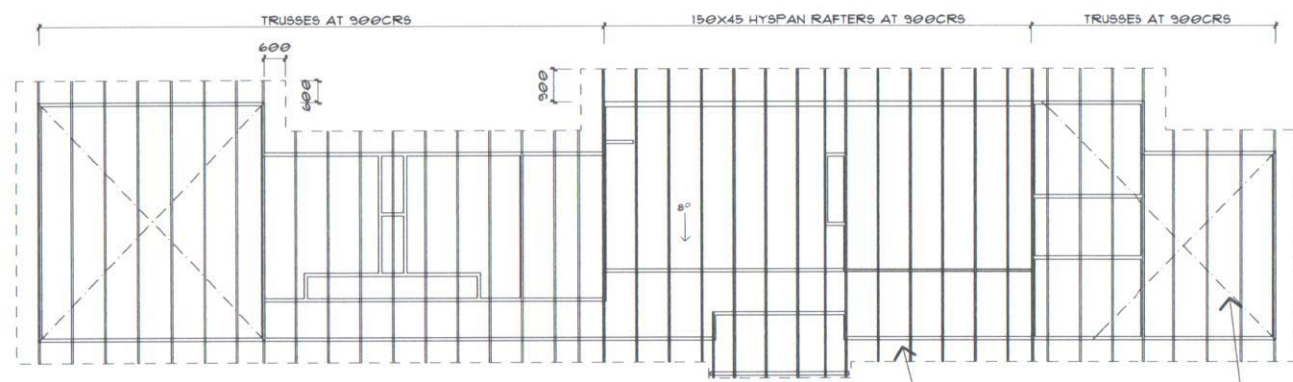
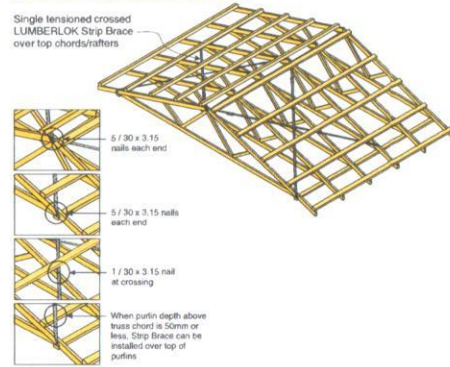


LINTEL TIEDOWN



ROOF FLASHINGS

Roof Plane Brace & Installation



25x100MM ROOF PLANE BRACING

TRUSSES / RAFTERS (43) AT 900CRS
 FIX TO TOP PLATE WITH 2/90x3.15 SKEWED NAILS + 2 WIRE DOGS

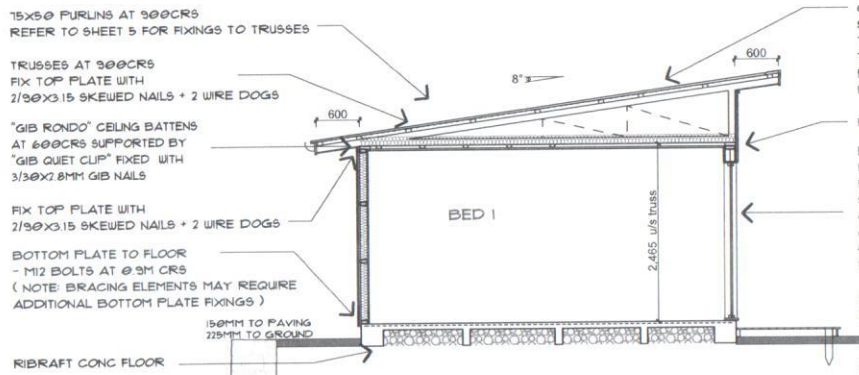
75x50 PURLINS AT 900CRS
 FIX TO TRUSS WITH 1/10G SELF-DRILLING SCREW, 801MM LONG (OR 2.4KN FIXING)

ROOF FRAMING PLAN
 1:100



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 SCALE: AS SHOWN



SECTION A-A
1:50

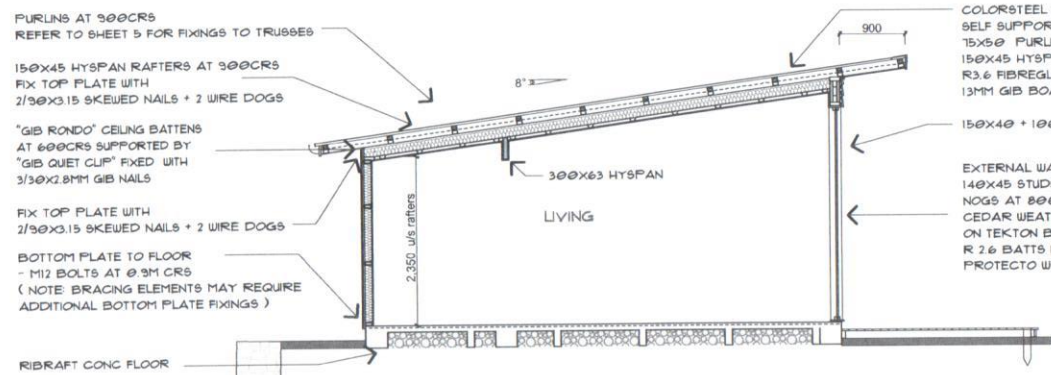
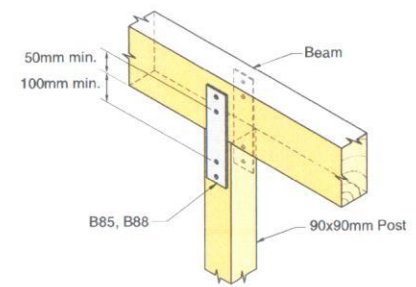
COLORSTEEL LONGRUN ROOFING
SELF SUPPORTING BUILDING PAPER
15x50 PURLINS AT 900CRS
TRUSSES AT 900CRS (43)
R3.6 FIBREGLASS INSULATION MIN
13MM GIB BOARD CEILING

150x40 + 100x50 TOP PLATE MIN

EXTERNAL WALLS
100x45 STUDS AT 600CRS,
NOGS AT 800CRS
50 PLASTER SYSTEM WITH 50MM POLY
ON 20MM CAVITY BATTENS
ON TEKTON BUILDING WRAP
R 2.6 BATTIS INSULATION MIN
PROTECTO WRAP TO ALL OPENINGS

HARDWOOD DECKING ON
EX 100x50 FRAMING (45) AT 450 CRS

INTERNAL WALLS
90x45 STUDS AT 600CRS,
NOGS AT 900CRS
10MM GIB BOARD LINING

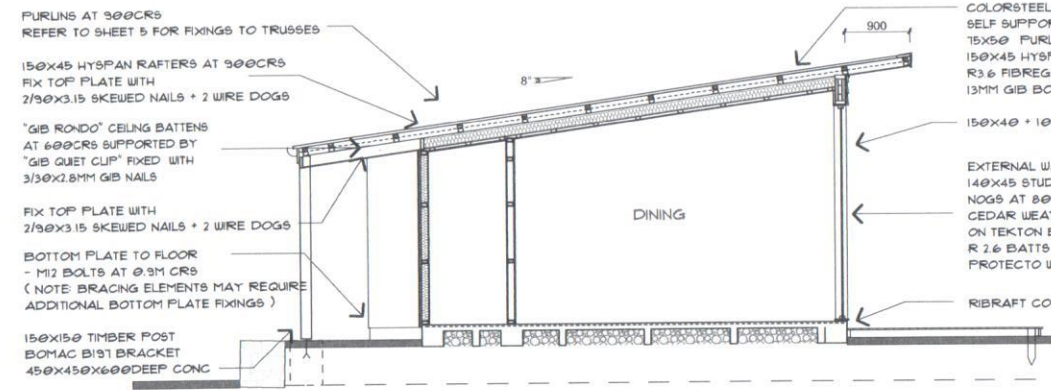
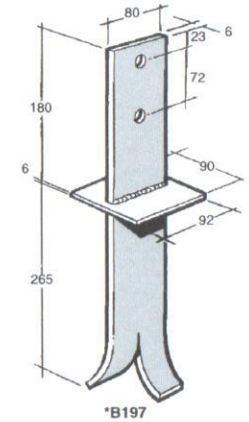


SECTION B-B
1:50

COLORSTEEL LONGRUN ROOFING
SELF SUPPORTING BUILDING PAPER
15x50 PURLINS AT 900CRS
150x45 HYSPAN RAFTERS AT 900CRS (43)
R3.6 FIBREGLASS INSULATION MIN
13MM GIB BOARD CEILING

150x40 + 100x50 TOP PLATE MIN

EXTERNAL WALLS
140x45 STUDS AT 600CRS,
NOGS AT 800CRS
CEDAR WEATHERBOARD
ON TEKTON BUILDING WRAP
R 2.6 BATTIS INSULATION MIN
PROTECTO WRAP TO ALL OPENINGS



SECTION C-C
1:50

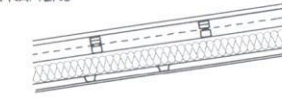
COLORSTEEL LONGRUN ROOFING
SELF SUPPORTING BUILDING PAPER
15x50 PURLINS AT 900CRS
150x45 HYSPAN RAFTERS AT 900CRS (43)
R3.6 FIBREGLASS INSULATION MIN
13MM GIB BOARD CEILING

150x40 + 100x50 TOP PLATE MIN

EXTERNAL WALLS
140x45 STUDS AT 600CRS,
NOGS AT 800CRS
CEDAR WEATHERBOARD
ON TEKTON BUILDING WRAP
R 2.6 BATTIS INSULATION MIN
PROTECTO WRAP TO ALL OPENINGS

150x150 TIMBER POST
BOMAC B191 BRACKET
450x450x600 DEEP CONG

LONGRUN ROOFING
CAVIBAT PURLINS
BUILDING PAPER
15x50 TIMBER PURLINS
HYSPAN RAFTERS

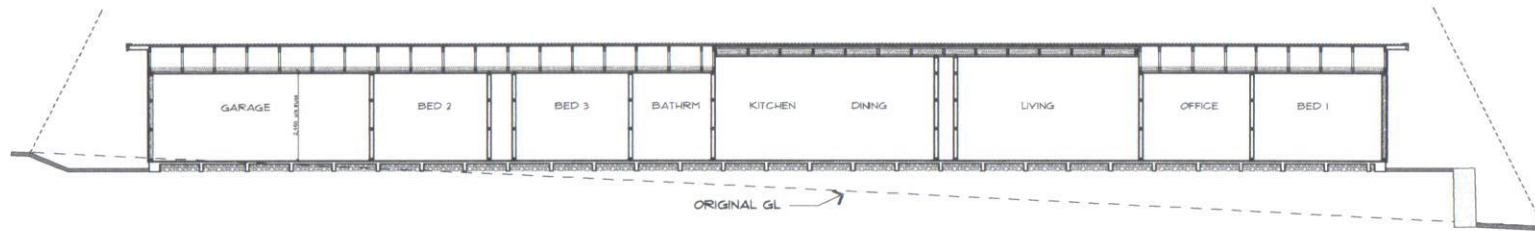
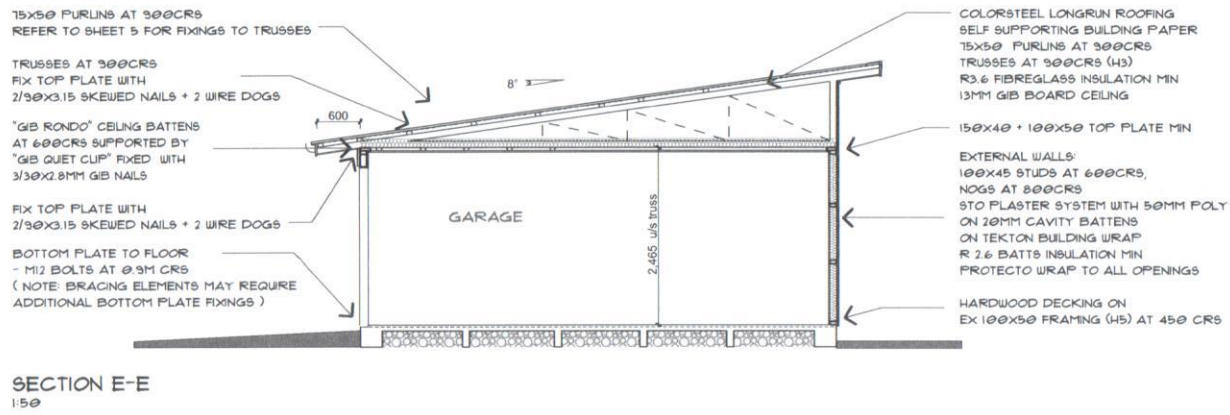
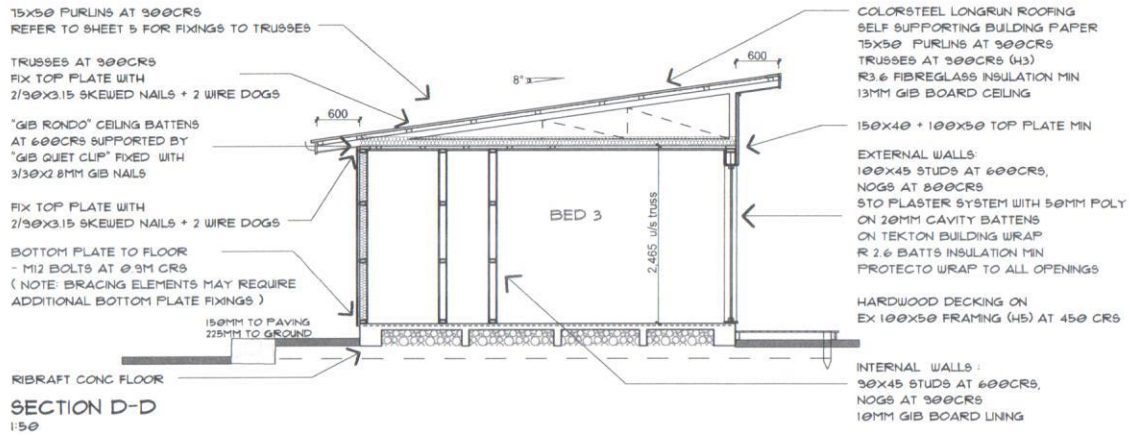


SKILLION ROOF DETAIL
PROVIDE EAVE AND RIDGE VENTS



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FOR J BOUSIE
AT LOT 3 AWA TORU DRIVE,
FAIRFIELD, DUNEDIN**

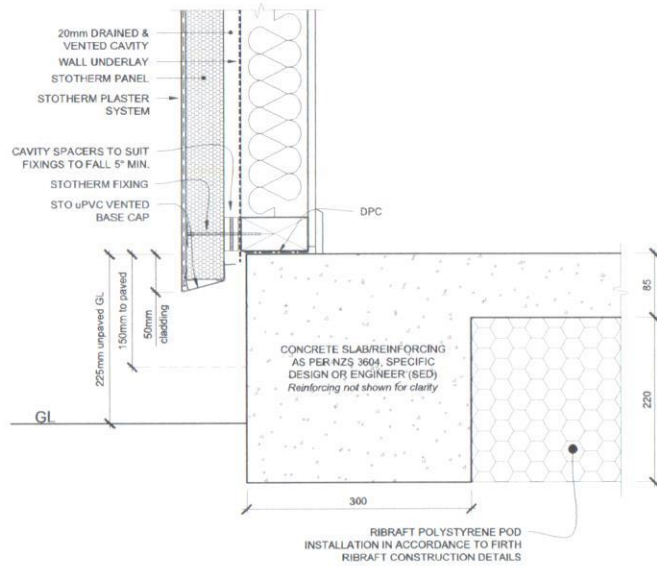
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DESIGN: P.J. MURRAY
DRAWN: P.J. MURRAY
SCALE: AS SHOWN SHEET



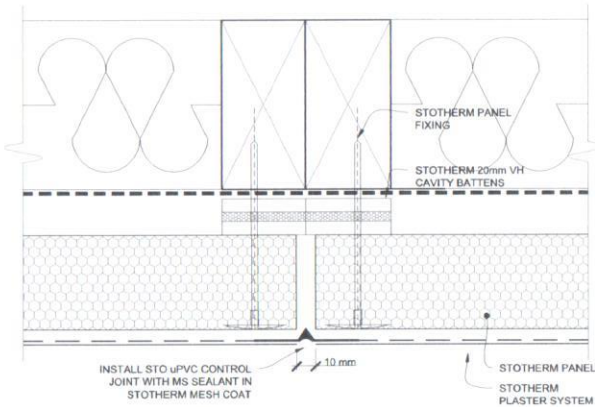
PROPOSED DWELLING
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DESIGN: PJMURRAY
DRAWN: PJMURRAY
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7
SHEET

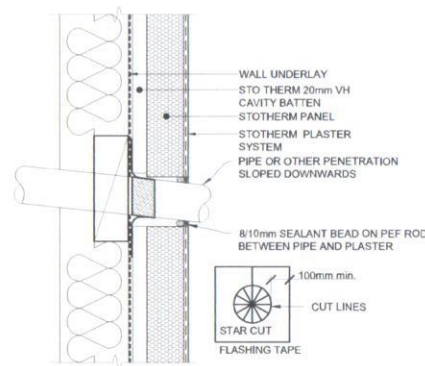


| | | |
|-----------------|--|----------------|
| STOTHERM SYSTEM | STOTHERM CONSTRUCTION SYSTEM RIBRAFT FLOOR SYSTEM / EDGE DETAIL | SCALE 1:5 |
| | | ST 212 2014 |



NOTE: STOTHERM VERTICAL CONTROL JOINTS ARE REQUIRED AT 20 LINEAL METERS MAX. OR AT ENGINEERED FRAMING EXPANSION JOINTS and DISSIMILAR MATERIAL JUNCTIONS

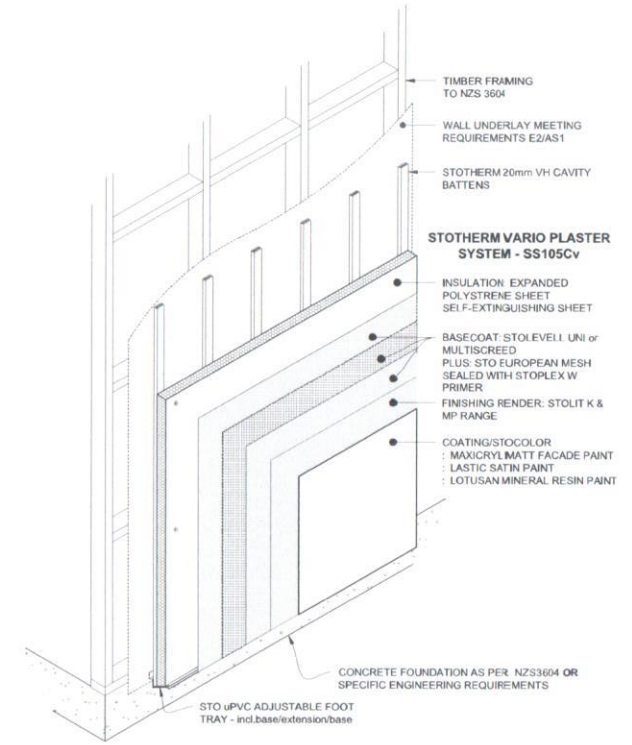
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| STOTHERM SYSTEM | STOTHERM CONSTRUCTION SYSTEM VERTICAL CONTROL JOINT | SCALE 1:2 |
| | | ST 302 2014 |



NOTE: INSTALL FLASHING TAPE WITH 100mm CLEARANCE AROUND PIPE ONTO WALL UNDERLAY AND WRAP 25mm ROUND PIPE.

WHERE MIN 75mm BLOCKING SUPPORTS THE WALL UNDERLAY AROUND THE PENETRATION THE FLASHING TAPE CAN BE OMITTED BUT A FACE FIXED EXTERIOR FLANGE WITH SEALANT IS REQUIRED AS PER E2AS1 FIG.68

| | | |
|-----------------|---|--------|
| STOTHERM SYSTEM | STOTHERM CONSTRUCTION SYSTEM PIPE PENETRATION DETAIL | ST 350 |
| | | 2014 |



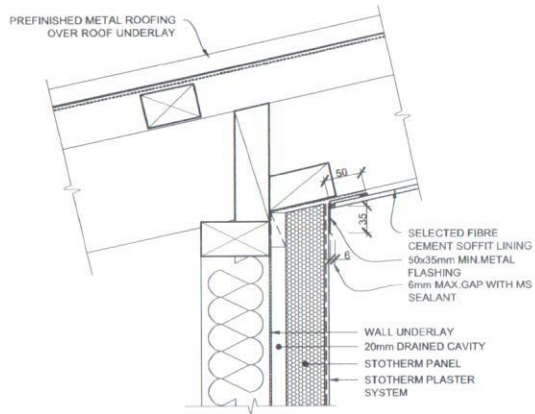
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| STOTHERM SYSTEM | STOTHERM CONSTRUCTION SYSTEM SS105 STOTHERM VARIO PLASTER SYSTEM - ISOMETRIC | ST 101 |
| | | 2014 |



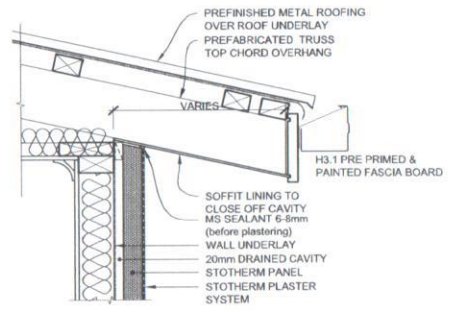
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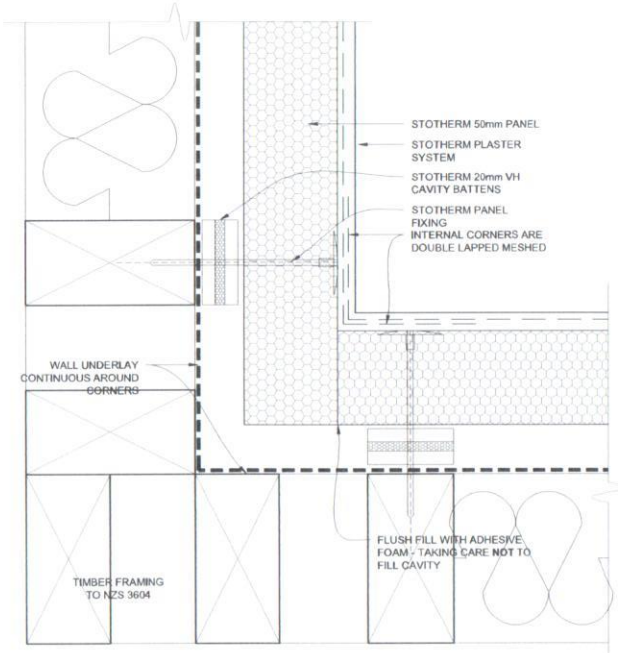
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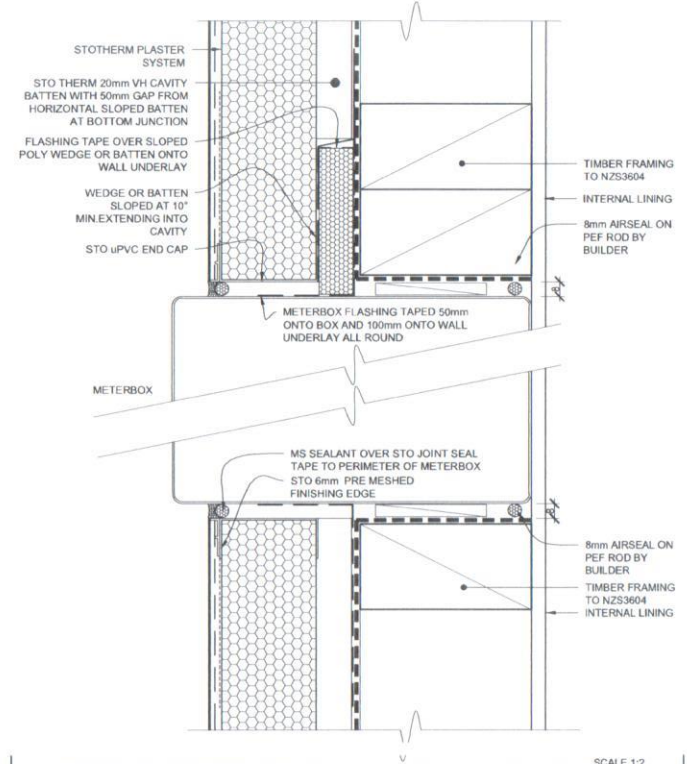
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| | | SCALE 1:5 |
| STOTHERM SYSTEM | STOTHERM CONSTRUCTION SYSTEM | ST 603 |
| | RAKING SOFFIT (REVERSED) | 2014 |



| | | |
|-----------------|------------------------------|------------|
| | | SCALE 1:10 |
| STOTHERM SYSTEM | STOTHERM CONSTRUCTION SYSTEM | ST 601 |
| | RAKING SOFFIT/WALL JUNCTION | 2014 |



| | | |
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| | | SCALE 1:2 |
| STOTHERM SYSTEM | STOTHERM CONSTRUCTION SYSTEM | ST 301 |
| | INTERNAL CORNER | 2014 |



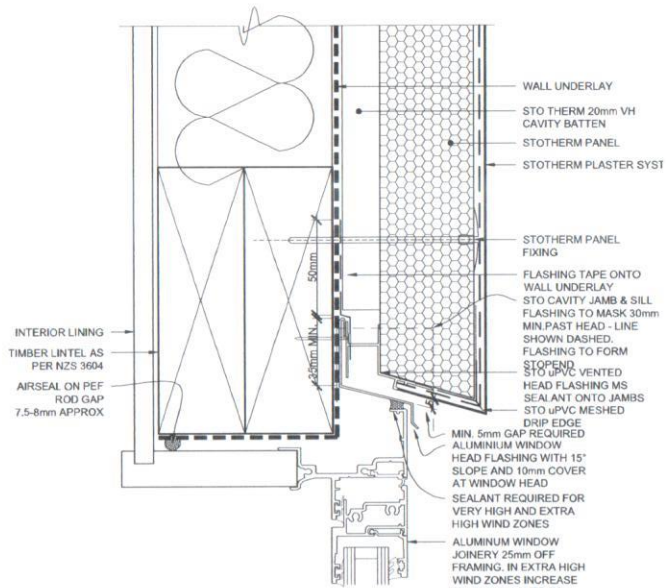
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| | | SCALE 1:2 |
| STOTHERM SYSTEM | STOTHERM CONSTRUCTION SYSTEM | ST 355 |
| | METERBOX - CROSS SECTION | 2014 |

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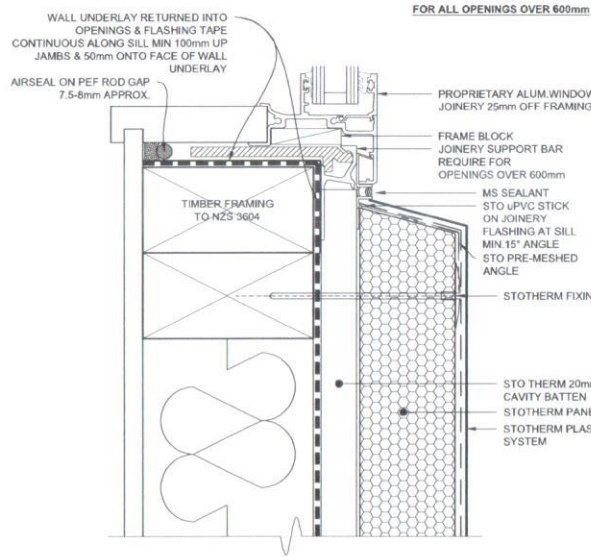


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1. FLASHING TAPE SYSTEM TO BE INSTALLED AROUND JOINERY OPENINGS AS PER E2/AS1 DETAILS.
2. THE ALUMINIUM WINDOW HEAD FLASHING BUTTS INTO THE STO CAVITY JAMB TO PROVIDE STOPENDS, AFTER REMOVING THE JAMB TAB AND FITTING WINDOW HEAD FLASHING TIGHT AND SEAL JUNCTIONS WITH MS SEALANT

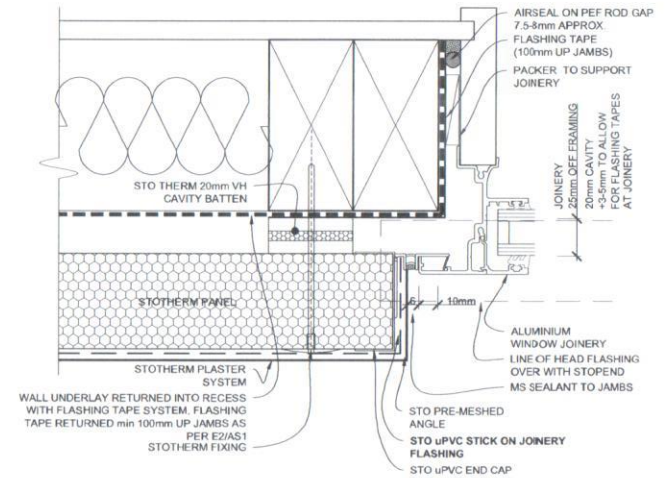


NOTE: OPENINGS OVER 600mm REQUIRE JOINERY SUPPORT BAR
STO uPVC STICK ON JOINERY FLASHING REQUIRED WITH JOINERY SUPPORT BAR

JOINERY SUPPORT MUST BE CUT 15mm SHORT OF JOINERY JAMBS TO ALLOW FOR STO uPVC FLASHINGS

1. SEALANT IS APPLIED TO THE SILL AND JAMB FLASHINGS
2. WINDOW HEADS ARE LEFT OPEN
3. FLEXIBLE FLASHING TAPE SYSTEM TO BE INSTALLED AROUND JOINERY OPENINGS AS PER E2/AS1 DETAILS

WARNING: SOME BRANDS OF ALUMINIUM JOINERY HAVE DRAINAGE VENTS IN THE BOTTOM EDGE OF THE SILL FLANGE. ENSURE DRAINAGE VENTS REMAIN CLEAR.

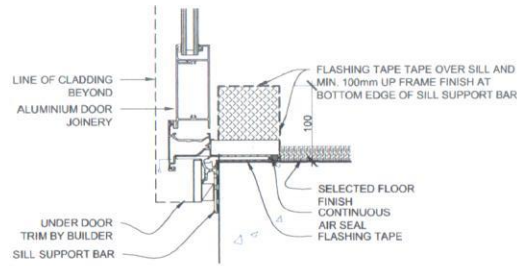


NOTE: INSTALL STOTHERM uPVC FLASHINGS DURING STOTHERM PANEL CONSTRUCTION

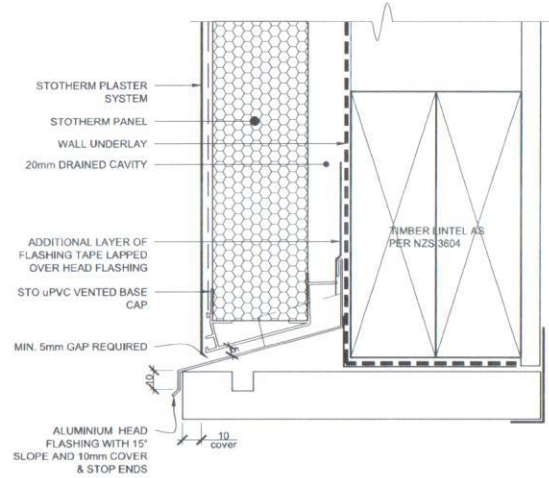
| | | |
|-----------------|---|----------------|
| STOTHERM SYSTEM | STOTHERM CONSTRUCTION SYSTEM ALUMINIUM JOINERY - HEAD DETAIL - OPT 2 | SCALE 1:2 |
| | | ST 401 2014 |

| | | |
|-----------------|---|----------------|
| STOTHERM SYSTEM | STOTHERM CONSTRUCTION SYSTEM ALUMINIUM JOINERY - SILL DETAIL - OPT 1 | SCALE 1:2 |
| | | ST 402 2014 |

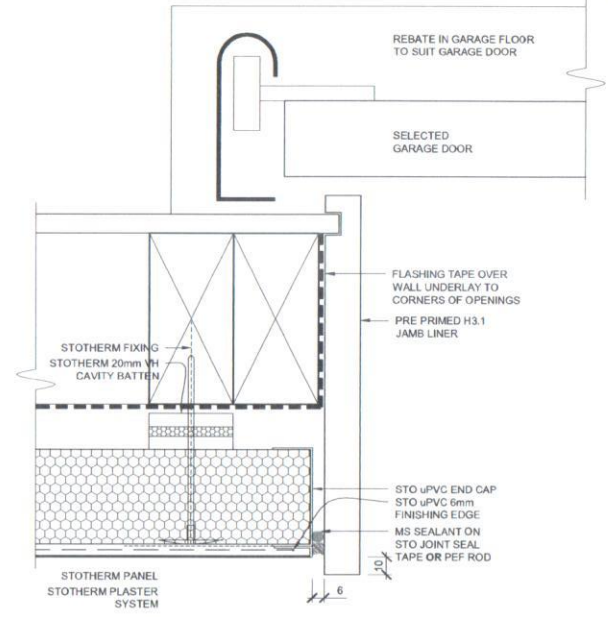
| | | |
|-----------------|---|----------------|
| STOTHERM SYSTEM | STOTHERM CONSTRUCTION SYSTEM ALUMINIUM JOINERY - JAMB DETAIL - OPT 2 | SCALE 1:2 |
| | | ST 405 2014 |



REFER TO E2/AS1 FIG. 17 A,B,C & D INCLUDING SECTION 9.1.10.
GROUND LEVELS 150mm MIN FROM TOP OF FINISHED FLOOR COVERING TO PAVED GROUND



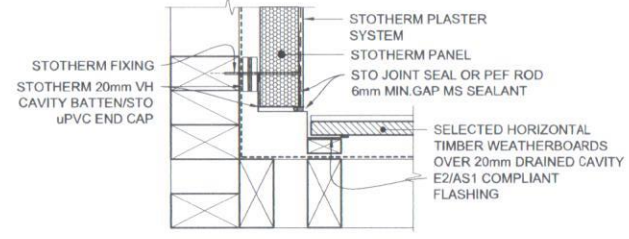
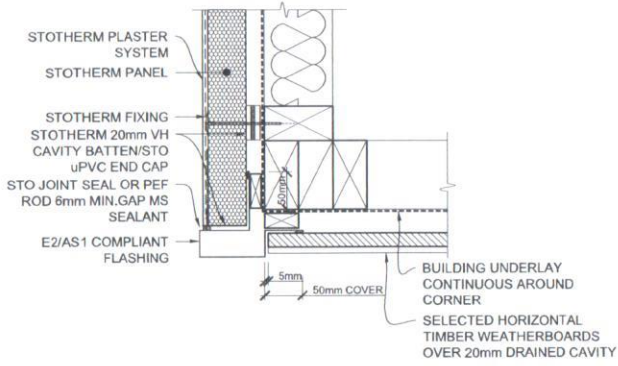
1. CHECK GARAGE DOOR SPECIFICATIONS FOR INTERNAL CORNER REQUIREMENTS
2. SEAL FLASHING FOR VERY HIGH or EXTRA HIGH WIND ZONES
3. IN EXTRA HIGH WIND ZONE INCREASE FLASHING COVER TO 60mm MIN AND USE A RIGID UNDERLAY



| | | | |
|-----------------|---|-----------|--------|
| STOTHERM SYSTEM | STOTHERM CONSTRUCTION SYSTEM ENTRY DOOR THRESHOLD DETAIL | SCALE 1:5 | ST 409 |
| | | | 2014 |

| | | | |
|-----------------|---|-----------|--------|
| STOTHERM SYSTEM | STOTHERM CONSTRUCTION SYSTEM GARAGE DOOR - TIMBER HEAD | SCALE 1:2 | ST 413 |
| | | | 2014 |

| | | | |
|-----------------|---|-----------|--------|
| STOTHERM SYSTEM | STOTHERM CONSTRUCTION SYSTEM GARAGE DOOR TIMBER JAMB | SCALE 1:2 | ST 414 |
| | | | 2014 |



| | | | |
|-----------------|---|-----------|----------|
| STOTHERM SYSTEM | STOTHERM CONSTRUCTION SYSTEM WEATHERBOARD/STOTHERM EXT.CNR - OPT 2 | SCALE 1:5 | ST 800-2 |
| | | | 2014 |

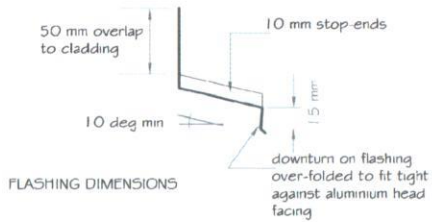
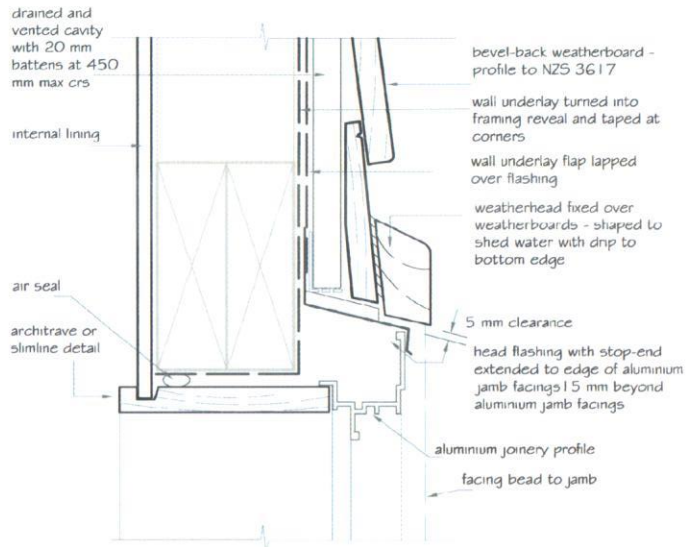
| | | | |
|-----------------|---|-----------|----------|
| STOTHERM SYSTEM | STOTHERM CONSTRUCTION SYSTEM WEATHERBOARD/STOTHERM INT.CNR - OPT 1 | SCALE 1:5 | ST 802-1 |
| | | | 2014 |



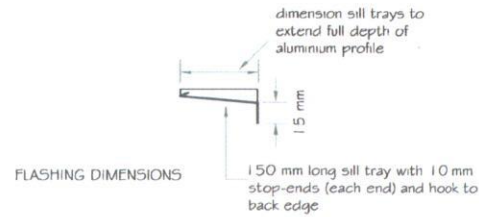
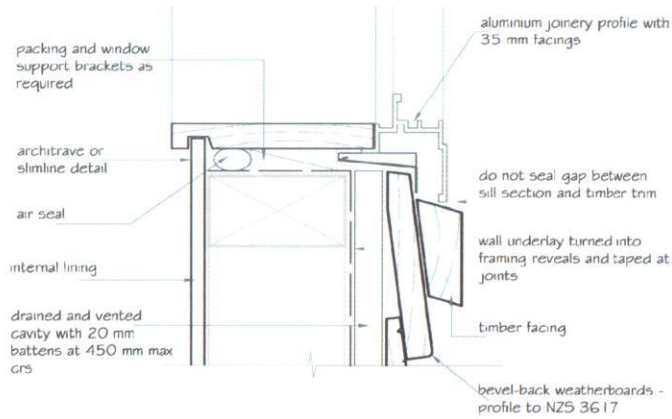
PROPOSED DWELLING
FOR J BOUSIE
AT LOT 3 AWA TORU DRIVE,
FAIRFIELD, DUNEDIN

DATE: OCT 2015
DESIGN: PJMURRAY
DRAWN: PJMURRAY
SCALE: AS SHOWN

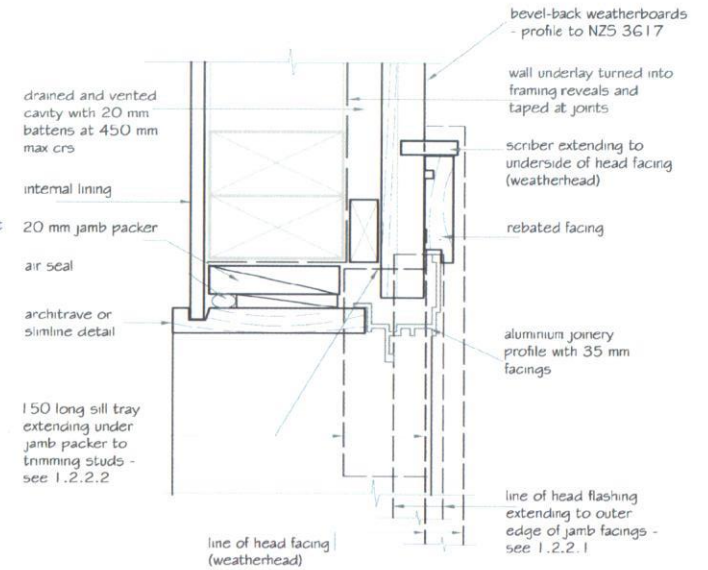




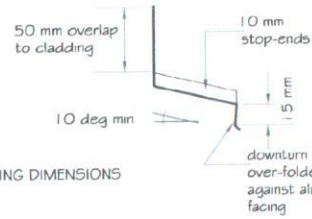
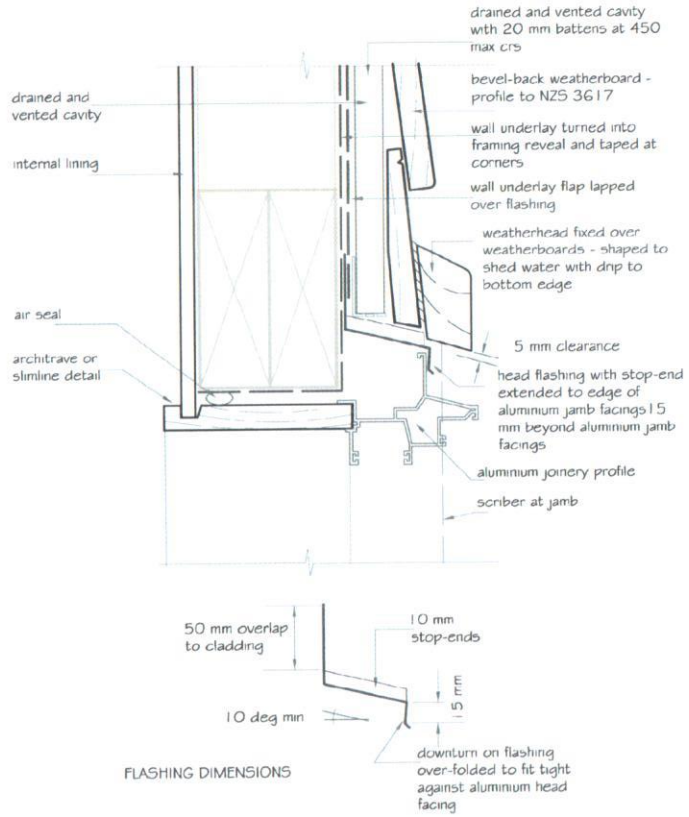
1.2.2.4 Horizontal bevel-back timber weatherboards - aluminium window head (all wind zones/exposures)



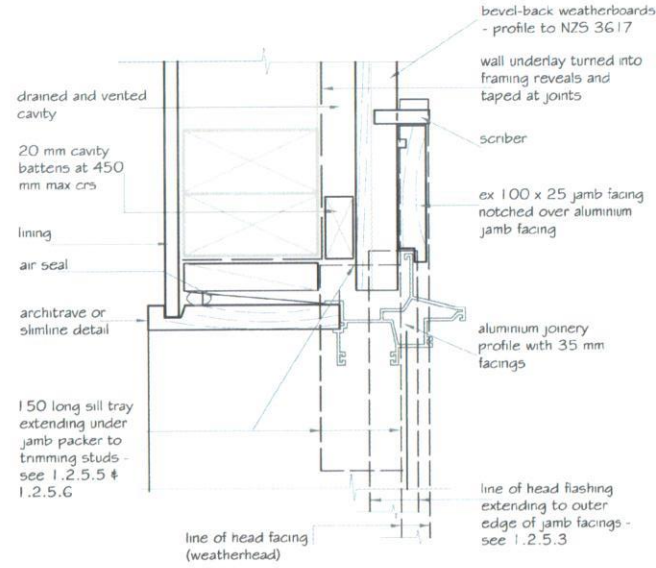
1.2.2.5 Horizontal bevel-back timber weatherboards - aluminium window sill (all wind zones/exposures)



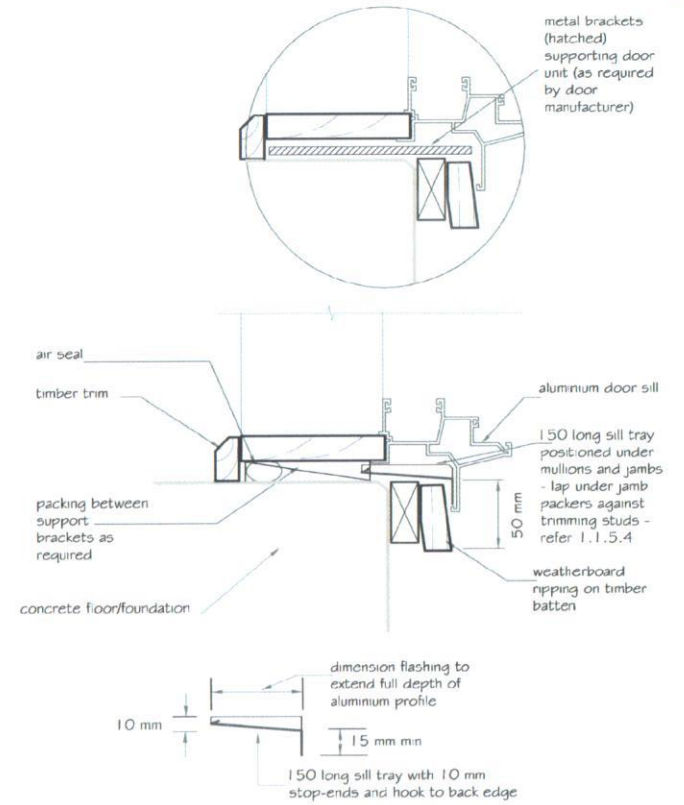
1.2.2.6 Horizontal bevel-back timber weatherboards - aluminium window jamb (all wind zones/exposures)



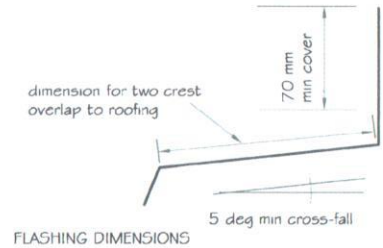
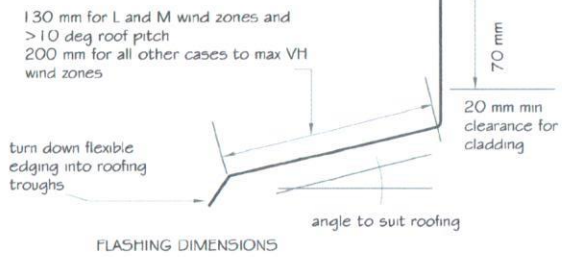
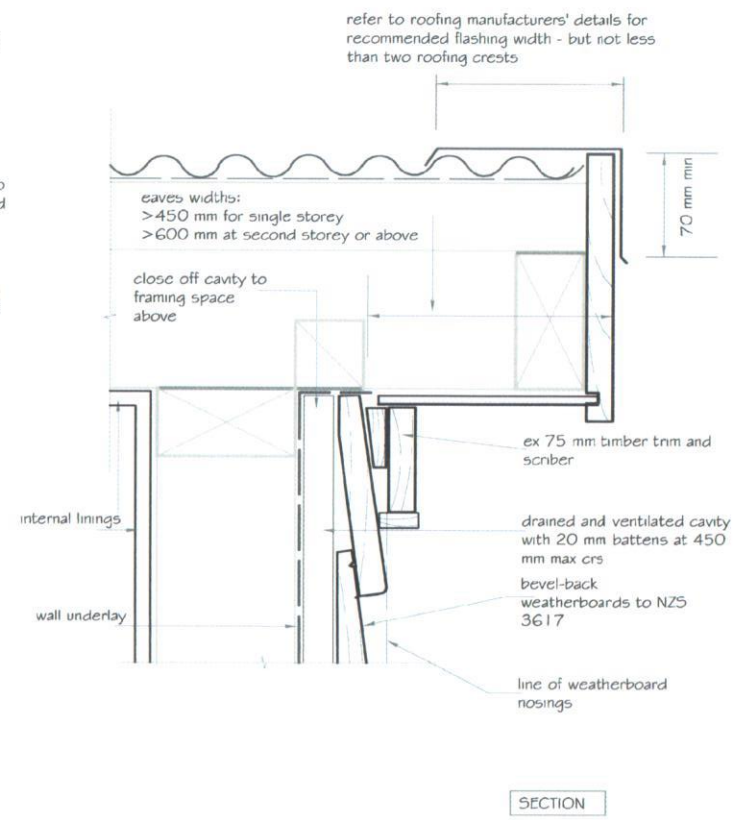
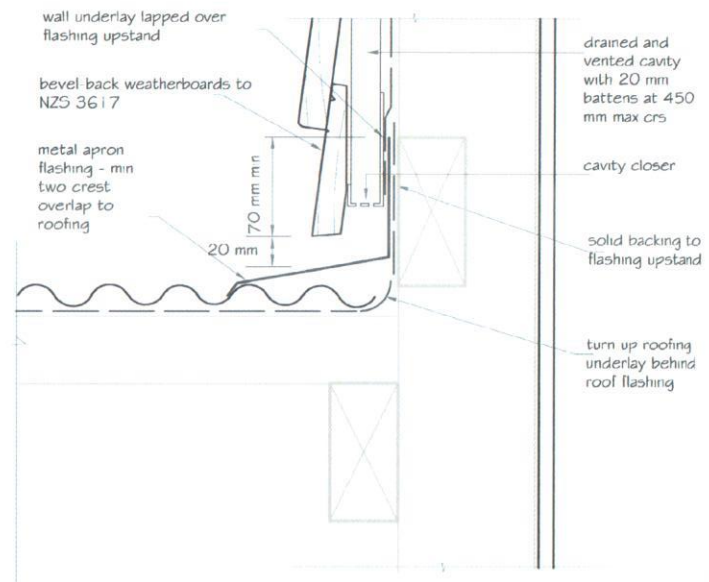
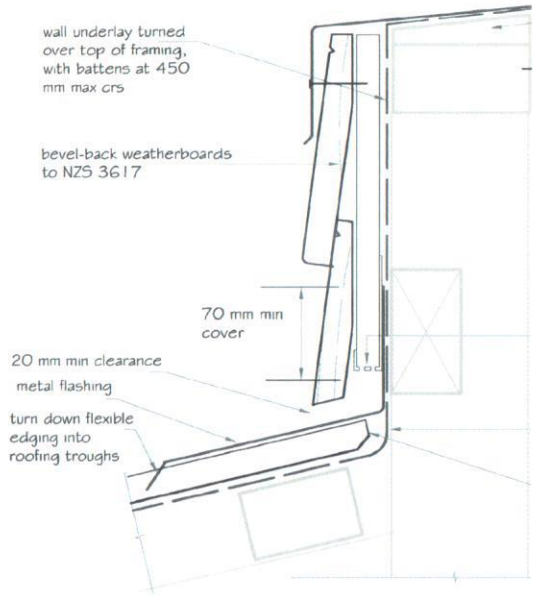
1.2.5.3 Horizontal bevel-back timber weatherboards - aluminium slider head (all wind zones/exposures)



1.2.5.4 Horizontal bevel-back weatherboards - aluminium slider jamb (all wind zones/exposures)



1.2.5.6 Horizontal bevel-back timber weatherboards - aluminium slider sill - concrete floor (all wind zones/exposures)

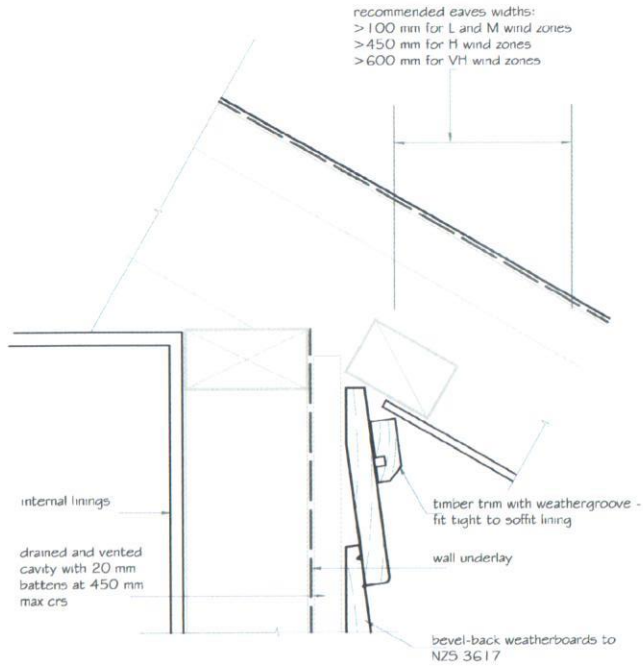


1.2.6.2 Horizontal bevel-back timber weatherboards - parapet to roof (all wind zones/exposures)

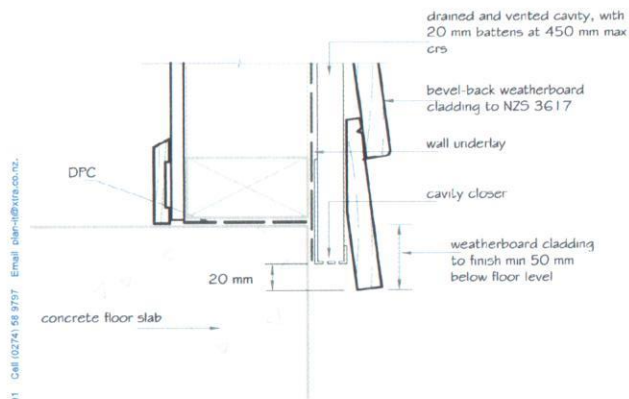
1.2.6.4 Horizontal bevel-back timber weatherboards - roof/wall junction (all wind zones/exposures)

1.2.7.2 Horizontal bevel-back timber weatherboards - barge with overhang (all wind zones/exposures)

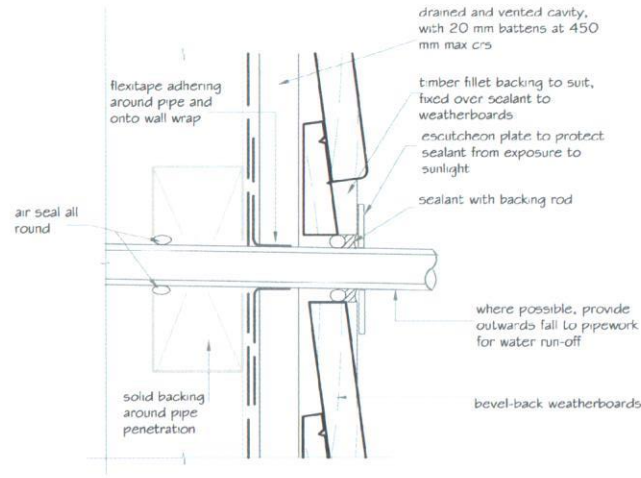
Ph / Fax (03) 445 4391 Cell (0274) 55 9797 Email plan-it@tra.co.nz



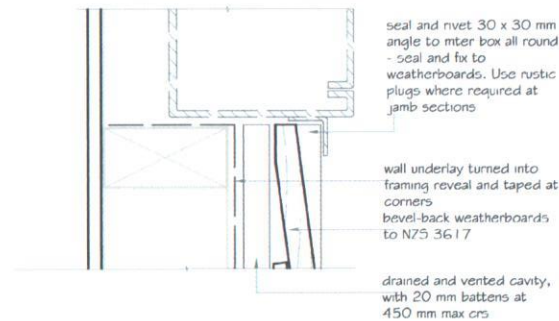
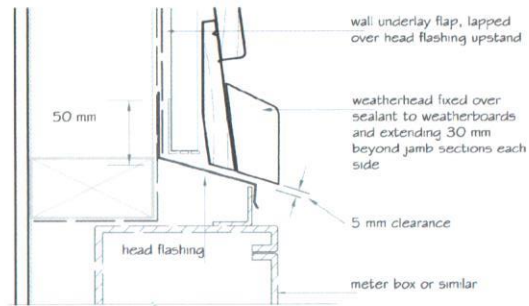
1.2.7.4 Horizontal bevel-back timber weatherboards - eaves with overhang (all wind zones/exposures)



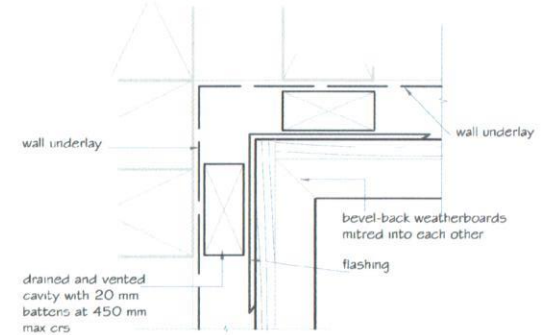
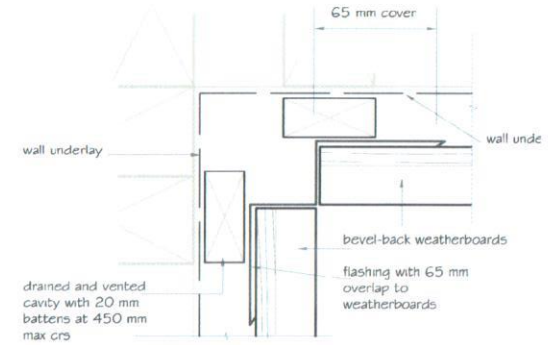
1.2.8.1 Horizontal bevel-back timber weatherboards - concrete floor (all wind zones/exposures)



1.2.17.1 Horizontal rusticated timber weatherboard - 20 mm pipe penetration (limited wind zones/exposures)

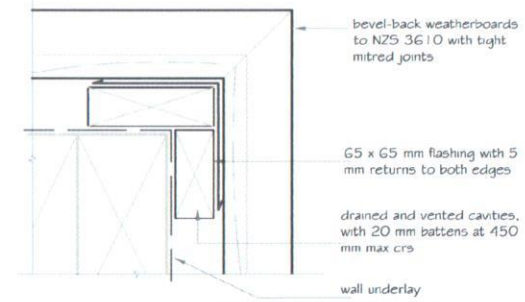


1.2.17.4 Horizontal rusticated timber weatherboards - meter box (limited wind zones/exposures)



ALTERNATIVE DETAILS

1.2.10.1 Horizontal bevel-back timber weatherboards - internal corner (all wind zones/exposures)



1.2.10.3 Horizontal bevel-back timber weatherboards - external corner (all wind zones/exposures)

GIB EzyBrace® 2011 Software

Demand Calculation Sheet single storey V06/11

Job Details

Name: Bousie
 Street and Number: Howorth Rd
 Lot and DP Number: Lot 3
 City/Town/District: Dunedin
 Designer: PJMurray
 Company Name: Plan-It Architecture Ltd
 Date: 22/01/2016



Building Specification

Select Lining Option: 10 or 13 mm GIB® Plasterboard

Number of storeys: single
 Floor Loading: 2kPa
 Foundation Type: slab

Single Floor
 Cladding Weight: light
 Roof Weight: light
 Room in Roof Space: no
 Roof Pitch (degrees): 8
 Roof height above eaves (m): 1.2
 Building height to apex (m): 4.0
 Ground to lower floor level (m): 0.3

Complete Single Floor Column only
 Roof Pitch (degrees): 25
 Roof height above eaves (m): 1.0
 Stud Height (m): 2.4
 Building Length (m): 34.4
 Building Width (m): 6.6
 Building Plan Area (m2): 206

Building Location

Wind Zone: High
 Earthquake Zone: 1
 Soil Type: D&E (deep to very soft)
 Annual exceedance probability: 1/500 (NZS3604:2011 default)

Wind Region: Preference selected
 Lee Zone: Preference selected
 Ground Roughness: Preference selected
 Site Exposure: Preference selected
 Topographic Class: Preference selected

| Bracing Units required for Wind | | Bracing Units required for Earthquake | |
|---------------------------------|------|---------------------------------------|-----|
| Demand W (BU) | | Demand along / across E (BU) | |
| along | slab | Walls single | |
| across | slab | 276 | |
| | | slab | 520 |
| | | 1200 | |

GIB EzyBrace® 2011 Software

SINGLE OR UPPER STOREY WALLS ALONG V06/11

| Lines | | Bracing Elements | | | | | | Bracing Units Achieved | |
|------------------|------------|---------------------|-----------------------------|---------------------------------|----------------------|--------------|----------|------------------------|-----|
| 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 |
| Line Total Check | Line Label | Bracing Element No. | Available Wall Length L (m) | Angle to Bracing line (degrees) | Element Height H (m) | Bracing Type | Supplier | W | E |
| 288 | A | 1 | 2.4 | | 2.4 | GS1-N | GIB® | 166 | 144 |
| | | 2 | 2.4 | | 2.4 | GS1-N | GIB® | 166 | 144 |
| 288 | B | 3 | 2.4 | | 2.4 | GS1-N | GIB® | 166 | 144 |
| | | 4 | 2.4 | | 2.4 | GS1-N | GIB® | 166 | 144 |
| 180 | C | 5 | 1.8 | | 2.4 | GS1-N | GIB® | 124 | 108 |
| | | 6 | 1.2 | | 2.4 | GS1-N | GIB® | 83 | 72 |

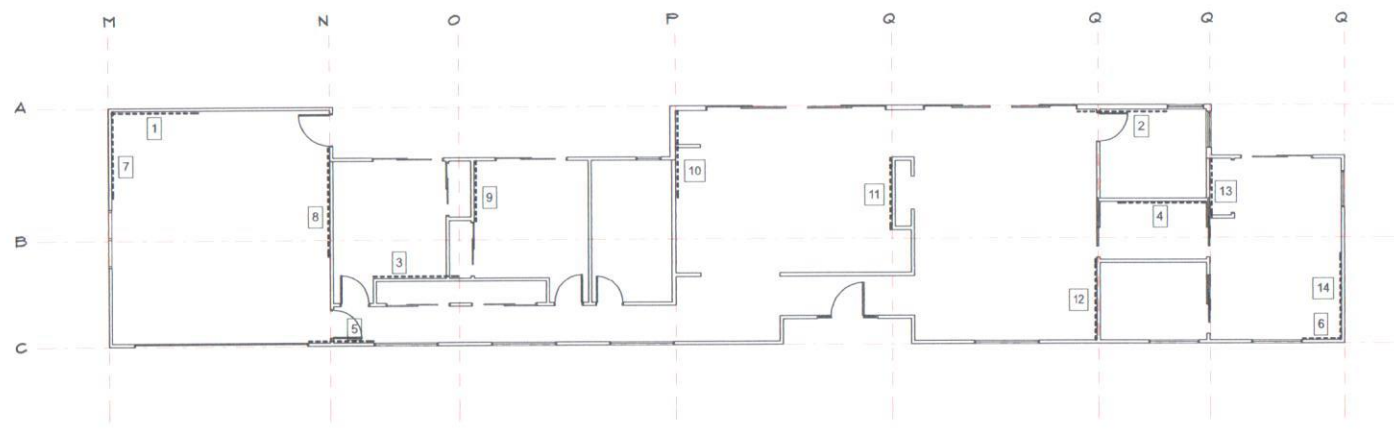
| Totals Achieved | | W | 315% | EQ | 145% | Wind | Earthq. |
|-------------------------------|--|---|------|----|------|------|---------|
| Concrete Slab | | | | | | 869 | 756 |
| Totals Required (from Demand) | | | | | | 276 | 520 |

GIB EzyBrace® 2011 Software

SINGLE OR UPPER STOREY WALLS ACROSS V06/11

| Lines | | Bracing Elements | | | | | | Bracing Units Achieved | |
|------------------|------------|---------------------|-----------------------------|---------------------------------|----------------------|--------------|----------|------------------------|-----|
| 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 |
| Line Total Check | Line Label | Bracing Element No. | Available Wall Length L (m) | Angle to Bracing line (degrees) | Element Height H (m) | Bracing Type | Supplier | W | E |
| 144 | M | 7 | 2.4 | | 2.4 | GS1-N | GIB® | 166 | 144 |
| 180 | N | 8 | 3 | | 2.4 | GS1-N | GIB® | 207 | 180 |
| 102 | O | 9 | 1.7 | | 2.4 | GS1-N | GIB® | 117 | 102 |
| 144 | P | 10 | 2.4 | | 2.4 | GS1-N | GIB® | 166 | 144 |
| 120 | Q | 11 | 2 | | 2.4 | GS1-N | GIB® | 138 | 120 |
| 138 | R | 12 | 2.3 | | 2.4 | GS1-N | GIB® | 159 | 138 |
| 102 | S | 13 | 1.7 | | 2.4 | GS1-N | GIB® | 117 | 102 |
| 180 | T | 14 | 3 | | 2.4 | GS1-N | GIB® | 207 | 180 |

| Totals Achieved | | W | 106% | EQ | 213% | Wind | Earthq. |
|-------------------------------|--|---|------|----|------|------|---------|
| Concrete Slab | | | | | | 1277 | 1110 |
| Totals Required (from Demand) | | | | | | 1200 | 520 |



BRACING PLAN
1:100



PROPOSED DWELLING
 FOR J BOUSIE
 AT LOT 3 AWA TORU DRIVE,
 FAIRFIELD, DUNEDIN

DATE: OCT 2015
 DESIGN: PJMURRAY
 DRAWN: PJMURRAY
 SCALE: AS SHOWN

16
SHEET

Ph / Fax (03) 443 4391 Call (0274) 88 3797 Email plan@pita.co.nz

GIB GIB EzyBrace® System Specification – GS1-N JUNE 2011

| Specification Code | Minimum Length (m) | Lining requirement |
|--------------------|--------------------|--|
| GS1-N | 0.4 | Any 10mm or 13mm GIB® Standard Plasterboard to one side only |

WALL FRAMING
 Wall framing to comply with;
 • NZBC B1 - Structure; AS1 Clause 3 Timber (NZS 3604:2011)
 • NZBC B2 - Durability AS1 Clause 3.2 Timber (NZS 3602)
 Framing dimensions and height as determined by NZS 3604 stud and top plate tables for load bearing and non-bearing walls. The use of kiln dried stress graded timber is recommended.

BOTTOM PLATE FIXING
Timber Floor
 Pairs of hand driven 100 x 3.75mm nails at 600mm centres;
 or
 Three power driven 90 x 3.15 nails at 600mm centres.

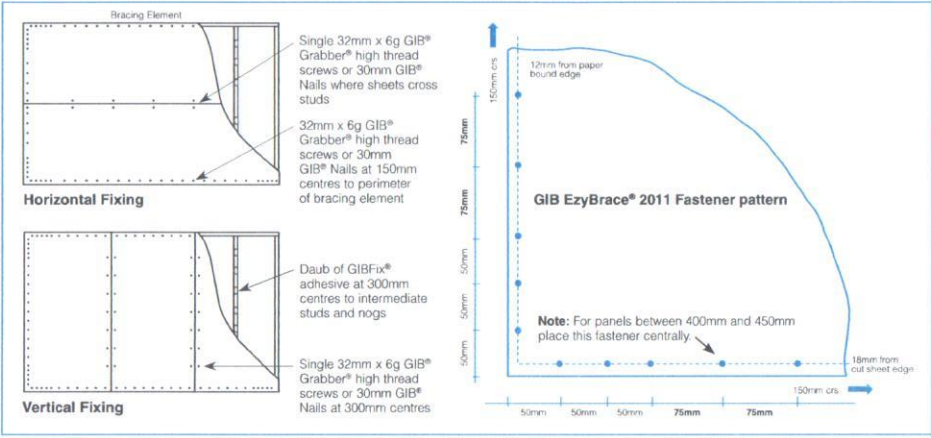
Concrete floor
INTERNAL WALL BRACING LINES
 In accordance with the requirements of NZS 3604:2011 for internal wall plate fixing or 75 x 3.8mm shot fired fasteners with 16mm discs spaced at 150mm and 300mm from end studs and 600mm centres thereafter.
EXTERNAL WALL BRACING LINES
 In accordance with the requirements of NZS 3604 for external plate fixing.

WALL LINING
 Any 10mm or 13mm GIB® Plasterboard lining. Sheets can be fixed vertically or horizontally. Sheet joints shall be touch fitted. Use full length sheets where possible.

PERMITTED SUBSTITUTION
 For permitted GIB® Plasterboard substitutions refer to Page 21 in GIB Ezybrace® Systems 2011.

FASTENING THE LINING
Fasteners
 32mm x 6g GIB® Grabber® high thread screws; or 30mm GIB® Nails.
Fastener centres
 50, 100, 150, 225, 300mm from each corner and 150mm thereafter around the perimeter of the bracing element.
 For vertically fixed sheets place fasteners at 300mm centres to intermediate sheet joints.
 For horizontally fixed sheets place single fasteners to the sheet edge where it crosses the stud.
 Use daubs of GIB Fix® adhesive at 300mm centres to intermediate studs.
 Place fasteners no closer than 12mm from paper bound sheet edges and 18mm from any sheet end or cut edge.

JOINTING
 All fastener heads stopped and all sheet joints paper tape reinforced and stopped in accordance with the GIB® Site Guide.



PH / Fax (03) 443 4391 Call (0274) 56 9197 Email plan@nra.co.nz

BRACING DETAILS

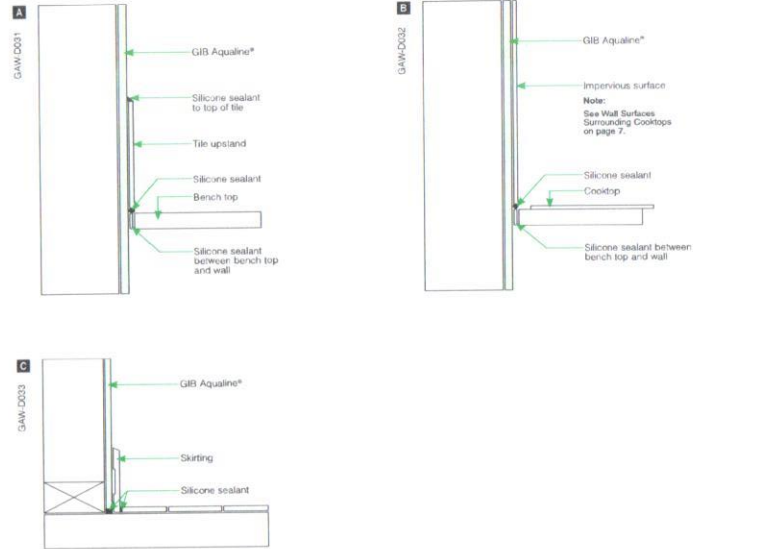


PROPOSED DWELLING FOR J BOUSIE
 AT LOT 3 AWA TORU DRIVE,
 FAIRFIELD, DUNEDIN

DATE: OCT 2015
 DESIGN: PJMURRAY
 DRAWN: PJMURRAY
 SCALE: AS SHOWN

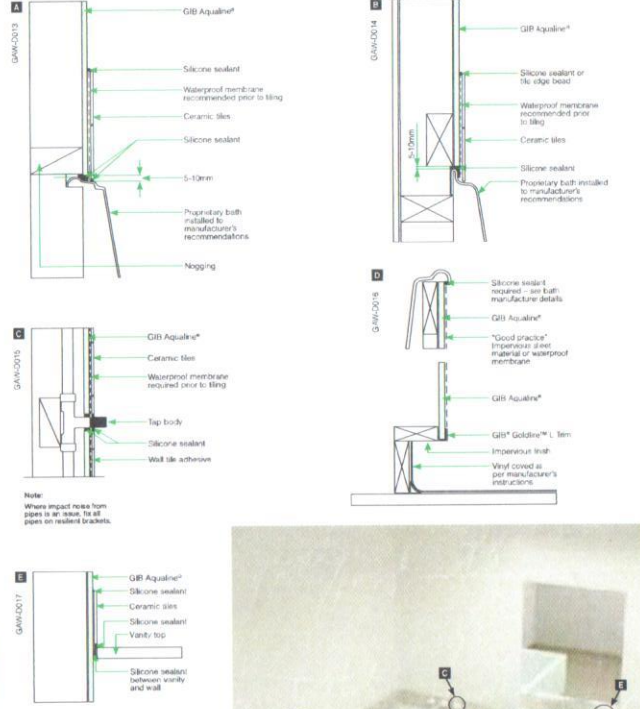
GIB AQUALINE® WET AREA SYSTEMS – TYPICAL DETAILS

Kitchen and Laundry



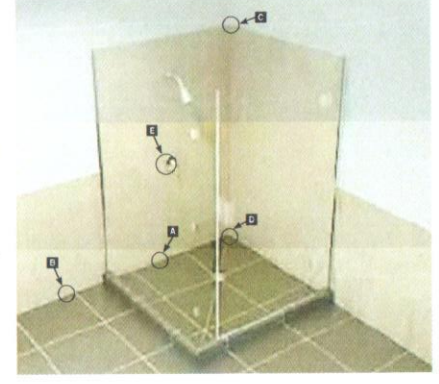
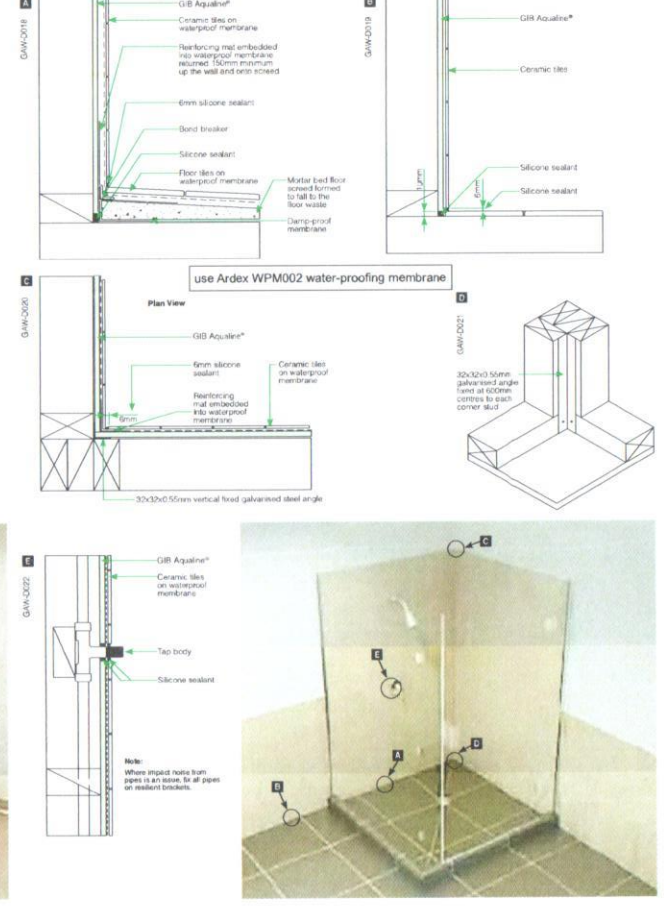
GIB AQUALINE® WET AREA SYSTEMS – TYPICAL DETAILS

Bath – Tiled Upstand



GIB AQUALINE® WET AREA SYSTEMS – TYPICAL DETAILS

Shower – Tiled Walls and Base



Awa Toru Drive Association

Guidelines 2025

The purposes of the Association

1. To maintain the beauty and high standard of the garden and road;
2. To protect and maintain shared infrastructure of the subdivision;
3. To provide a forum for all residents to meet and put forward suggestions for the points above.

Membership and meetings

Each lot owner of Awa Toru Drive (Street numbers 17 – 51 inclusive) is deemed to be a member of the Association. All residents of Awa Toru Drive are eligible to attend any meetings of the association.

Members are deemed to be financial if their Lot levies are fully paid at the date of the meeting. If there is a matter decided by ballot of members then each financial lot is eligible for one vote. Where a property is rented the owner has the vote. Tenants are not eligible to vote but are welcome to attend and make suggestions pertinent to the purposes of the Association.

The annual meeting of the Association will be held in October of each year to elect a maintenance manager and / or a maintenance committee and set the annual maintenance levy. Other meetings may be called during the year if required. Any member may call for a meeting by contacting the maintenance manager (or committee if there is one).

A quorum will be half those eligible to vote. Apologies and proxies shall count towards a quorum.

How the Association will meet its purposes

1. Operate a bank account **ANZ Mosgiel 06-0939-025651-00** to collect and hold levies, and pay costs associated with the Drive.
2. Employ a gardener on a contractual basis to weed and undertake minor trimming and pruning as required. This is likely to be seasonal.
3. Weed spraying as appropriate to control the spread of weeds.
4. Organise 'working-bees' of volunteers when labour intensive jobs arise such as spreading mulch or dead-heading flowering plants.
5. Employ appropriately qualified contractors to undertake repairs when required.
6. Arrange insurance cover for the sub-division's infrastructure.
7. Keep all lot holders informed of matters relating to the sub-division by email or personal contact as appropriate.

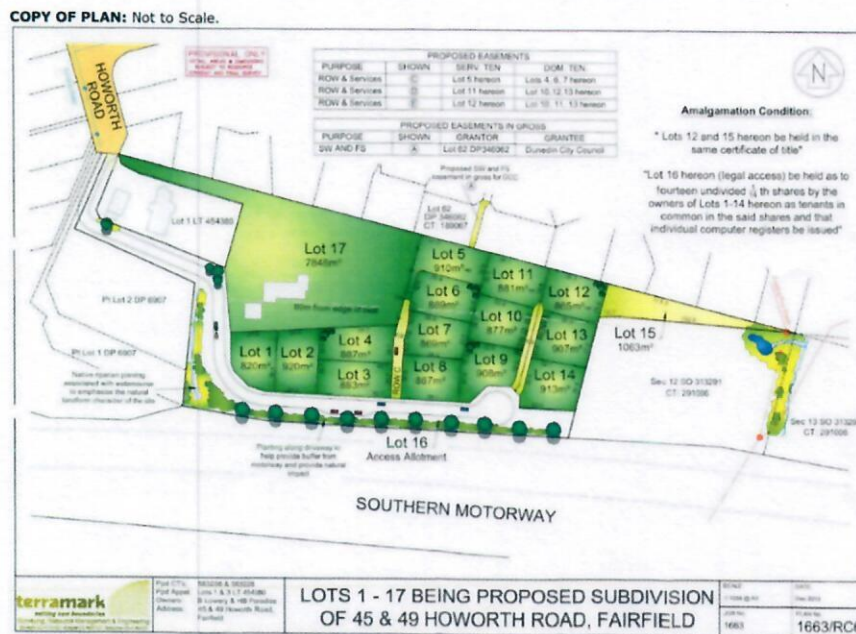
Some background

The Land Transfer Regulations (2002) Schedule 5, clause 11, were adopted and added to in 2015 creating guidelines for the original association. The Regulations annexed to the Land Transfer Act (updated 2018)

<https://www.legislation.govt.nz/regulation/public/2018/0193/latest/whole.html#LMS48802> provide for an association of owners to maintain and repair the street's facilities.

An association was established by the sub-division's developer, initially as the "Lot Holders Association" to be operated by HB Paradise Ltd until 31 December 2021. From 2015 the levy was set at \$500 per lot and it remained at that level until 1 January 2025 when it became clear rising costs required an increase in contributions. In 2024, following the resignation of HB Paradise Ltd as maintenance manager, a new bank account was established at the ANZ Mosgiel branch and a maintenance committee was formed. The name changed slightly to ***Awa Toru Drive Association***.

Original sub-division plan, showing the lots that share ownership of the street.



Lot 16 includes the access road and surrounding plantings. It includes the raised berm between us and the motorway. There is a fence line marking the boundary between us and the highway reserve land. Lot 16 covers more than just the paved road and paths.

Surveyed Lots 1-14 (now street numbers 17 – 43 inclusive) each own a 1/14 undivided share of the roadway, footpath and the land alongside the Drive.

Lot 16 does not include the 'lanes' servicing street numbers 23, 25, 27, 29, 35, 37, 39, or 41, nor any of the driveways beyond the large white gates leading to street numbers 45 – 51.

The owners of street numbers 17 – 43 have, at time of purchase, granted an easement over Lot 16 for street numbers 45 -51 for access, power, communications, water and drainage. The four properties beyond the gates contribute to the maintenance of Lot 16 at the same rate as the street's legal owners.

The current agreed levy is \$600 per calendar year per residence, payable from January 2025; plus a separate levy to cover the insurance premium when this amount is known – usually April. In 2024 the premium was approximately \$167 per residence although we must expect an increase when renewed in 2025.

Note that we are not currently paying any administration fees – this work being done voluntarily.

Water supply

A question has been asked about costs of repairing underground infrastructure, specifically the water supply. *What happens if a break or other failure occurs in a 'lane' that is not part of Lot 16?* This applies to houses at street numbers 23, 25, 27, 29, 35, 37, 39, 41, and also 45 – 51.

In the event of an earthquake our insurance will pay for major repairs. But a simple failure of a pipe or fitting is not an insurance matter – they regard this as wear-and-tear.

The DCC webmap <https://www.dunedin.govt.nz/dunedin-city/maps-and-photos/water-services-map-and-wws-work-in-progress> shows that our water supply leaves DCC liability at Holyport Close, between numbers 10 and 16 Holyport. The main pipe follows along the lane from 25 Awa Toru to meet Lot 16 – our shared access road. There it splits at a T-junction to serve all remaining properties. Each residence has a demarcation point – a manifold box below ground.

Anything happening on the house side of that box is the owner's responsibility. But what about the pipes and fittings which are part of the main or shared infrastructure?

In January 2025 residents were circulated with a proposal to clarify responsibility for the maintenance and repair of the reticulated water supply. The following is the agreed statement:

The Awa Toru Drive Association is responsible for the maintenance the of water supply pipes and fittings from the supply boundary with DCC water (Holyport Close) to the water meter junction at each residence (street numbers 17 – 51 inclusive). In the event that insurance is not applicable to a leak or breakage, and that the account (ANZ bank account 06-0939-025651-00) holds insufficient funds to pay for the repair, then members will meet to agree on a special levy to be collected from all Lot Holders to raise the required funds.

For the avoidance of doubt, any leak / break / failure on the house side of the demarcation point (the water manifold box) is the responsibility of the lot owner.

Note that the regulations are clear that if the damage (water supply or any shared property) / break / leak is the result of the actions of one or more parties (e.g. through digging a ditch, etc), even if the damage was caused by a visitor to your property, then the party causing the damage is personally responsible for the repair. The Association may undertake such a repair in an urgent case, but the money will be claimed (under law if necessary) from the person(s) who caused the problem. Regulations clause: *"Any repair or maintenance of the easement facility that is attributable solely to an act or omission by the grantor or the grantee must be promptly carried out by that grantor or grantee at their sole cost."*

Contacts

awatorudrive@gmail.com

Mailing address: c/- 17 Awa Toru Drive, Fairfield, Dunedin 9018

022 329 9625

Murray Smeaton, Maintenance manager 2025

