

Dunedin City Council Land Information Memorandum

98852

**Issued in accordance with Section 44A of the Local Government Official
Information and Meetings Act 1987**

**Should you require further clarification of any of the information listed
in this report, please phone our Customer Services Agency on
03 477 4000.**

This Land Information Memoranda (LIM) has been prepared in accordance with Section 44A of the Local Government Official Information and Meetings Act 1987. It contains only information obtained from the records held by the Dunedin City Council as at **20 November 2024**

The Dunedin City Council has not carried out an inspection of the land and/or buildings for the purposes of preparing this LIM. The Dunedin City Council records may not show illegal or unauthorised buildings or works on the land. Accordingly this report may not necessarily reflect the current status of the property. Examples of situations which affect the property but are not recorded in this report include: unauthorised work not known to Council and breaches of Consents or Licences that are not the subject of a formal Requisition or Notice.

The applicant is solely responsible for ensuring that the land or any building or works on the land is suitable for a particular purpose. The applicant should check the Records of Title as this report may not include information that is registered on the Records of Title. The Records of Title may record further information or obligations relating to the land.

Further information about this property may be available from other agencies such as the Otago Regional Council, Nova Gas, Telecom New Zealand (Chorus) or Delta Utility Services Limited.

PROPERTY ADDRESS

35 Brownville Crescent Dunedin

**LIM Applicant
Print Date**

Juliet Angela Meldrum
20-Nov-2024

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PROPERTY DETAILS

Property ID 5016327
Address 35 Brownville Crescent Dunedin
Parcels PT LOT 13 BLK II DP 67

Rubbish Day Tuesday

RATES DETAILS

Rate Account 2016327

Address 35 Brownville Crescent Dunedin

Valuation Number 26860-07000

Latest Valuation Details

Capital Value \$690,000
Land Value \$450,000
Value of Improvements \$240,000
Area (Hectares) 0.043HA
Units of Use 1

Current Rates

Current Rating Year Starting 01-Jul-2024
Dunedin City Council Rates \$3,769.13

Rates Outstanding for Year \$2,826.85

For further explanation on the rate account, or to enquire about information referred to on this page, please contact Rates Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

BUILDING, PLUMBING AND DRAINAGE

Minimum Floor Levels

Clause E1.3.2 of the New Zealand Building Code requires that surface water, resulting from an event having a 2% probability of occurring annually, shall not enter buildings. This requirement applies to Housing, Communal Housing, Communal Residential and Communal non-residential buildings. For guidance when establishing minimum floor levels please refer to : <https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels> and for links to specific areas: <https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels/mfl-guidance>

Public Sewer sheets.

WARNING. Please note that public sewer reticulation sheets are scaled in either Imperial feet or Metric metres. Please check with the Duty Drainage Inspector if in doubt.

Dunedin City Council Private Drainage plans incomplete.

WARNING. The Dunedin City Council's private drainage records (plans) prior to 1 January 1993 may be incomplete or not clearly recorded. Owners therefore are advised to carry out work with due care to avoid damage to any private drain not detailed because of the lack of information filed in the Council's records.

Building and Drainage Information

Seepage

A seepage incident has been lodged on this property.

Seepage Incident 52103 – 15/06/2000– Completed

Water courses.

There are water courses (open and piped), which pass through this land. A plan of these is attached.

Form 5 (building consent) copy

This property contains building consent application/s where a copy of the building consent (Form 5) is not able to be provided.

This may be due to the age of the consent and/or processes that were in place at the time.

Council Foul Sewers within land.

There is Council Foul Sewers within this land. A plan of these is attached.

Council Stormwater & Foul Sewer Connections available.

There is Council Stormwater outfalls and Foul Sewer Connections adjacent to this land, to which buildings within this land may connect. A plan of these is attached.

Private Stormwater Drains servicing existing buildings

There are Private Stormwater drains servicing existing buildings on this land.

Drainage Plan indicates Private Stormwater Drain discharges to Street Channel.

Private Foul Drains servicing existing buildings

There are Private Foul drains servicing existing buildings on this land.

Drainage Plan indicates Private Foul Drain connects to Council Foul Sewer in Section.

Building and Drainage Comments

Brownville Crescent was part originally Water Street, and the balance originally Well Street, was renamed Angle Street in 1916, later the same year renamed Brownville Crescent.

Building and Drainage Consents

The following consents are recorded for this property:

Status Key:	BC	-	Building Consent Issued
	CCC	-	Code Compliance Certificate Issued
	Archived	-	In accordance with section 93(2)(b) of the Building Act, the consent
	/CCC		was reviewed for code compliance after two years. Compliance with
	Refused		the Building Code could not be established and therefore the Code
			Compliance Certificate has been refused.
	Lapsed	-	Work has not commenced and no extension of time applied for within
			12 months of date of consent issue. Consent is of no further effect

NOTE: This is not a comprehensive list of all building consent statuses

[ABA-1994-324945](#) Building Consent - Alter & Add to Dwelling, Plumbing & Drainage, Install Heater - Jetmaster 850

Lodgement Date 18-Feb-1994
Decision Granted
Decision Date 13-May-1994
Current Status **CCC Issued**
Previous Number ABA940511
(Applications before 2007)

[ABA-2009-948](#) Building Consent - Install Heater - Ecomax Pellet Boiler

Lodgement Date 26-May-2009
Decision Granted
Decision Date 29-May-2009
Current Status **CCC Issued**
Previous Number
(Applications before 2007)

[ABA-2020-2848](#) Building Consent - Extend and Alter Internal Layout of Dwelling, Install Metro Tiny Rad Heater

Lodgement Date 22-Dec-2020
Decision Lapsed
Decision Date 18-Apr-2023
Current Status **Consent Lapsed**
Previous Number
(Applications before 2007)

Building and Drainage Permits

Building Permits were issued prior to the introduction of the Building Act 1992. Code Compliance Certificates were not required or issued for permits.

[H-1984-94959](#) AAB19840340

8216 - Alter Dwelling (Welch). The permit was lodged on 12-Dec-1984.

[H-1912-124340](#) AAD19121120

A1567 - Drainage (Wylie). The permit was lodged on 14-Oct-1912.

[H-1947-163002](#) AAD19470555

E3455 - Add Inside Toilet and Extend Drainage (Willis). The permit was lodged on 25-Jul-1947.

[H-1953-170780](#) AAD19530589

F1541 - Plumbing, No Plan (Rolls). The permit was lodged on 09-Mar-1953.

[H-1985-219558](#) AAD19850837
K8923 - Alter Drainage (Welch). The permit was lodged on 19-Nov-1985.

Additional Building Information

For further explanation on the current status of any consent, or to enquire about information referred to on this page, please contact Building Control Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

HAZARDS

SITE HAZARDS

No records were found of land instability, potential erosion, avulsion, falling debris, subsidence, slippage, alluvion or inundation.

The Otago Regional Council has produced a number of reports for the Dunedin City District which outline areas affected by natural hazards including slippage, flooding, subsidence and inundation.

These reports are publicly available and can be accessed here:

<https://www.orc.govt.nz/plans-policies-reports/reports-and-publications/natural-hazards>

These reports do not provide property specific information, and may not describe all natural hazards that affect the land that is the subject of this LIM report. We recommend that in addition to reading these reports, that you seek independent advice about how this property may be affected by natural hazards including natural hazards that are not described in the reports produced by the Otago Regional Council.

Otago Regional Council - Natural Hazards Database

The characteristics of general natural hazards in the vicinity of this property are also available on the Otago Regional Council's Natural Hazards Database.

<https://www.orc.govt.nz/managing-our-environment/natural-hazards/otago-natural-hazards-database>

HAZARDOUS SUBSTANCES

WARNING – Change in legislation and management of hazardous substances

On 1 April 2004, all Dunedin City Council Dangerous Goods Licences expired. From this date they became the responsibility of the Environmental Protection Authority (EPA) under the Hazardous Substances and New Organisms Act 1996. All new licences for hazardous substances were issued by independent Test Certifiers approved by the EPA. The Council no longer holds current information on the use of hazardous substances at these premises and hazardous substances may be present without the Council's knowledge. The Council was advised by the EPA in 2016 that Worksafe had taken over responsibility for managing Location Test certificates under the Hazardous Substances and New Organisms Act 1996. The EPA no longer holds any information in relation to Location Test Certificates. If you have any questions, please contact Worksafe.

Contaminated Site, Hazardous Substances and Dangerous Goods Information

No information

ENVIRONMENTAL HEALTH

No records were found of Environmental Health involvement with this property.

LICENSING

Health Licensing

There are no records of any Health Licences for this property.

Liquor Licensing

There are no records of any Liquor Licences for this property.

CITY PLANNING

The information provided with this LIM on District Plan requirements and resource consents has been verified by City Planning in relation to the subject property only. All information included in relation to other land surrounding the site is indicative.

Accuracy of Boundaries

Knowing the true location of the property boundaries on the ground is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. Please note that the Council's aerial photographs may not accurately depict the extent of the property. The Record of Title for the site should be checked in the first instance. A surveyor may need to be consulted to establish the true location of the title boundaries on the ground.

Access to Site

The legality of any access to the site is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. It is recommended that the Record of Title and/or a lawyer be consulted regarding the legality of any legal and/or physical access to the site (and the maintenance thereof).

Heritage New Zealand Pouhere Taonga Act 2014

The Heritage New Zealand Pouhere Taonga Act 2014 applies in addition to any protection provided to a building or site by the District Plan. The Heritage New Zealand Pouhere Taonga Act 2014 makes it unlawful for any person to destroy, or modify the whole or any part of an archaeological site, whether or not the land on which the site is located is designated, or a resource or building consent has been issued, without the prior authority of Heritage New Zealand. The Heritage New Zealand Pouhere Taonga Act 2014 defines

an archaeological site as a place associated with pre-1900 activity, where there may be evidence relating to the history of New Zealand. Pre-1900 buildings are considered archaeological sites under the Heritage New Zealand Pouhere Taonga Act 2014 and are also often associated with subsurface archaeological remains that provide evidence of pre-existing use of the site. Council records may not necessarily identify the precise date upon which an existing building was constructed. Contact the Dunedin office of Heritage New Zealand for further information: infodeepsouth@heritage.org.nz ; 03 477 9871.

Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011

The Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011 came into force on 1 January 2012. The National Environmental Standard applies to any piece of land on which an activity or industry described in the current edition of the Hazardous Activities and Industries List (HAIL) is being undertaken, has been undertaken or is more likely than not to have been undertaken. (The current edition of the HAIL is available on the Ministry for the Environment website at www.mfe.govt.nz.) Activities on HAIL sites may need to comply with permitted activity conditions specified in the National Environmental Standard and/or might require resource consent. (The Otago Regional Council should also be consulted for any rules in might have in regards to the use or development of contaminated sites.)

If a person wishes to establish whether a piece of land has had hazardous activities or industries conducted on it, and thus whether activities on that land are controlled by the National Environmental Standard, then the person must pay for a review of the information about the land held by the Council, or pay for a suitably qualified and experienced practitioner to undertake a preliminary site inspection. Formal confirmation from the Council that resource consent is not required under the National Environmental Standard can only be given through a certificate of compliance application.

Consent Notices

There are no Consent Notices recorded for this property. It is recommended that the applicant check the Record of Title for any notices or covenants that may affect the property.

District Plan Information

Dunedin currently has two district plans, and as at 19th August 2024, the partially operative Dunedin City Second Generation District Plan ("The 2GP") almost completely superceded the 2006 version of the District Plan. The exceptions where the 2GP has not yet replaced the 2006 Plan relate to two specific provisions and several areas still subject to appeal.

As a general principle, rules in the 2GP must be considered along with the rules of the Operative District Plan 2006, until such time as the rules of the 2GP become operative, or are treated as operative. The policies and objectives of both plans should also be considered.

The schedule of original appeals on the 2GP can be viewed at <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan/appeals-received-on-the-2gp>.

The schedule of appeals on Variation 2 can be viewed at <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan/plan-change-dis-2021-1-variation-2>

The 2GP is subject to change at any time. Plan Change 1 (Minor Improvements) to the 2GP was notified on Wednesday 20 November 2024. Rules that protect areas of significant indigenous vegetation or habitats of indigenous fauna, and that protect historic heritage, have immediate legal effect from notification of Plan Change 1. Once the initial submission

period ends on 18 December 2024, rules that do not have submissions in opposition to them will be deemed operative. Please refer to our website for more information on Plan Change 1 at <http://www.dunedin.govt.nz/2gp-plan-change-1>.

You should check with the Council whether any changes have occurred since the date this LIM report was issued. **The information provided with this LIM on district plan requirements is applicable as at the date this LIM is issued:** there may be changes to the district plan rules following the release of this LIM that may affect this site and surrounding properties.

You should ensure that you consult the information and relevant planning maps in the Operative District Plan which can be found on our website at <https://www.dunedin.govt.nz/council/district-plan/district-plan-2006> and the 2GP which can be found on our website at <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan> as well as at all Dunedin City Council service centres and libraries.

OPERATIVE DISTRICT PLAN INFORMATION

Zoning

This property is zoned as follows in the District Plan.

Zone

RESIDENTIAL 1

Noise

This property is located in a Noise Area where the noise limits outlined below apply. Rule 21.5.1(i)(b) also specifies a maximum noise limit of 75 dBA L_{max} between 9.00 pm on any night and 7.00 am the following day measured at the boundary of the site or within any other site. Note that some activities have a resource consent or existing use rights that allow these limits to be exceeded. Some activities are also exempted from noise limits. Furthermore, the actual limits that apply will also depend on whether this site adjoins a Noise Area Boundary and whether there are Special Audible Characteristics. Refer to Section 21.5 of the District Plan for further details. Every occupier of land is also under a general duty to adopt the best practicable option to ensure that the emission of noise from land does not exceed a reasonable level.

Noise Zone

50Dt/40Nt dBA, 45SP dBA

SECOND GENERATION PLAN INFORMATION

Zoning

- General Residential 2 (refer Section 15, Residential)

Scheduled Items

- Nil

Overlay Zones

- Nil

Mapped Areas

- Variation 2 Mapped Area
- Stormwater Open Watercourses Mapped Area (part only)

[Please note that some of the items above may only extend over part of the property. If there are multiple designations over the property, these may overlap.]

Resource Consents

The following Resource Consents are recorded for this property.

RMA-1994-356714	Resource Management Act (Historical Data)
Description	ERECT 1ST STORY BALCONY AT REAR OF DWELLING
Lodgement Date	07-Mar-1994
Decision	Granted
Decision Date	17-Mar-1994
Current Status	Consent Issued

RESOURCE CONSENTS WITHIN 50 METRES OF 35 BROWNVILLE CRESCENT DUNEDIN

5016248 43 Cannington Road Dunedin

[RMA-2006-370051](#) Resource Management Act (Historical Data) SUBDIVIDE SUBJECT PROPERTY (Non-Notified - Non Complying). The outcome was Granted on 21/04/2006.
[POL-2006-350419](#) Planning Other Legislation REMOVAL OF BUILDING LINE RESTRICTION. The outcome was Granted on 21/04/2006.

5016249 45 Cannington Road Dunedin

[RMA-2006-370051](#) Resource Management Act (Historical Data) SUBDIVIDE SUBJECT PROPERTY (Non-Notified - Non Complying). The outcome was Granted on 21/04/2006.
[POL-2006-350419](#) Planning Other Legislation REMOVAL OF BUILDING LINE RESTRICTION. The outcome was Granted on 21/04/2006.

5016250 47 Cannington Road Dunedin

[RMA-2005-369415](#) Resource Management Act (Historical Data) TECHNICAL NON-COMPLIANCE ARISING FROM BOUNDARY ADJUSTMENT (Non-Notified - Non Complying). The outcome was Granted on 27/09/2005.
[RMA-2005-369414](#) Resource Management Act (Historical Data) BOUNDARY ADJUSTMENT (Non-Notified - Non Complying). The outcome was Granted on 27/09/2005.

5016253 51 Cannington Road Dunedin

[RMA-2001-365345](#) Resource Management Act (Historical Data) RESIDENTIAL ACTIVITY AS A CONSEQUENCE OF TECHNICAL NON-COMPLIANCE ARISING FROM RMA 20010583 (Non-Notified - Non Complying). This consent has since Lapsed.
[RMA-2001-365344](#) Resource Management Act (Historical Data) TO CREATE AN ADDITIONAL ALLOTMENT FROM CERTIFICATE OF TITLE OT 190/253 AND OT 303/145 (Non-Notified - Non Complying). This consent has since Lapsed.

5016257 59 Cannington Road Dunedin

[SUB-2012-107](#) Subdivision Consent boundary adjustment subdivision. The outcome was Granted on 07/02/2013.

5016258 61 Cannington Road Dunedin

[LUC-2009-39](#) Land Use Consent construct a carport in the front and side yard. The outcome was Granted on 18/02/2009.

5016305 62 Passmore Crescent Dunedin

[LUC-2022-127](#) Land Use Consent An entry porch roof structure breaching height and setback standards. The outcome was Granted on 10/05/2022.

5016321 23 Brownville Crescent Dunedin

[RMA-2003-366867](#) Resource Management Act (Historical Data) LAND USE CONSENT TO BUILD DWELLING ON LOT 2 RMA20030654 (Non-Notified - Restricted Discretionary). This consent has since Lapsed.

[RMA-2003-366866](#) Resource Management Act (Historical Data) BOUNDARY ADJUSTMENT SUBDIVISION INVOLVING OT216/243 AND OT2D/869 (Non-Notified - Restricted Discretionary). This consent has since Lapsed.

[RMA-1994-356778](#) Resource Management Act (Historical Data) FIRST STOREY DECK ADDITION TO DWELLING Ownr:M THOMAS / App: M THOMAS 23 BROWNVILLE CRES (Non-Notified - Non Complying). The outcome was Granted on 11/05/1994.

[5016322](#) 25 Brownville Crescent Dunedin

[LUC-2022-456](#) Land Use Consent The establishment and use of a second vehicle crossing and onsite parking area, and the establishment and use of an attached deck and ramp structure located to within approximately 0.179m of the road boundary. The outcome was Granted on 16/11/2022.

[RMA-2003-366867](#) Resource Management Act (Historical Data) LAND USE CONSENT TO BUILD DWELLING ON LOT 2 RMA20030654 (Non-Notified - Restricted Discretionary). This consent has since Lapsed.

[RMA-2003-366866](#) Resource Management Act (Historical Data) BOUNDARY ADJUSTMENT SUBDIVISION INVOLVING OT216/243 AND OT2D/869 (Non-Notified - Restricted Discretionary). This consent has since Lapsed.

[5016329](#) 39 Brownville Crescent Dunedin

[LUC-2007-222](#) Land Use Consent Maintenance or emergency works on significant tree T236. The outcome was Granted on 30/04/2007.

[5016330](#) 45 Brownville Crescent Dunedin

[RMA-1996-359401](#) Resource Management Act (Historical Data) ERECT CARPORT (Non-Notified - Restricted Discretionary). The outcome was Granted on 20/03/1996.

[5016340](#) 30 Brownville Crescent Dunedin

[RMA-2004-368355](#) Resource Management Act (Historical Data) CONSENT TO ERECT A CONSERVATORY AS AN ADDITION TO THE EXISTING HOUSE, SITED WITHIN THE 2M SIDE YARD AND PROTRUDING THROUGH THE HEIGHT PLANE ANGLE. (Non-Notified - Restricted Discretionary). The outcome was Granted on 09/11/2004.

[RMA-1995-359158](#) Resource Management Act (Historical Data) ERECT DWG (Non-Notified - Restricted Discretionary). The outcome was Granted on 12/12/1995.

[5016343](#) 24 Brownville Crescent Dunedin

[RMA-2000-363849](#) Resource Management Act (Historical Data) TO ERECT A NEW DWELLING ON THE SUBJECT PROPERTY (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 16/03/2000.

[RMA-1998-362360](#) Resource Management Act (Historical Data) LAND USE CONSENT ARISING FROM SUBDIVISION RMA980832 (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 19/10/1998.

[RMA-1998-362358](#) Resource Management Act (Historical Data) SUBDIVIDE AN EXISTING PARCEL OF LAND CONTAINING TWO HOUSEHOLD UNITS INTO TWO SEPARATE LOTS (Non-Notified - Non Complying). The outcome was Granted on 19/10/1998.

[RMA-1999-363108](#) Resource Management Act (Historical Data) NEW DWELLING THAT FAILS TO COMPLY WITH SITE COVERAGE AND YARD REQUIREMENTS (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 28/07/1999.

[5107046](#) 43 Brownville Crescent Dunedin

[POL-2007-350541](#) Planning Other Legislation Proposed removal of a building line restriction at 43 Brownville Crescent, Maori Hill. The outcome was Granted on 16/08/2007.

[5107047](#) 41D Brownville Crescent Dunedin

[LUC-2013-75](#) Land Use Consent land use consequential to a subdivision consent. The outcome was Granted on 22/03/2013.

[SUB-2013-11](#) Subdivision Consent boundary adjustment subdivision. The outcome was Granted on 22/03/2013.

[RMA-2006-370051](#) Resource Management Act (Historical Data) SUBDIVIDE SUBJECT PROPERTY (Non-Notified - Non Complying). The outcome was Granted on 21/04/2006.

[POL-2006-350419](#) Planning Other Legislation REMOVAL OF BUILDING LINE RESTRICTION. The outcome was Granted on 21/04/2006.

5107048 41C Brownville Crescent Dunedin

[RMA-2005-369415](#) Resource Management Act (Historical Data) TECHNICAL NON-COMPLIANCE ARISING FROM BOUNDARY ADJUSTMENT (Non-Notified - Non Complying). The outcome was Granted on 27/09/2005.

[RMA-2005-369414](#) Resource Management Act (Historical Data) BOUNDARY ADJUSTMENT (Non-Notified - Non Complying). The outcome was Granted on 27/09/2005.

[RMA-2006-370721](#) Resource Management Act (Historical Data) LAND USE CONSENT TO CONSTRUCT CARPORT IN FRONT YARD AND COVERED WALKWAY IN SIDE YARD. The outcome was Granted on 14/11/2006.

[RMA-2003-366881](#) Resource Management Act (Historical Data) Addition to existing dwelling (Non-Notified - Restricted Discretionary). The outcome was Granted on 08/08/2003.

[RMA-2001-365313](#) Resource Management Act (Historical Data) ERECT A NEW DWELLING THAT ENCROACHES THE HEIGHT PLANE ANGLE (Non-Notified - Restricted Discretionary). The outcome was Granted on 21/12/2001.

[POL-2001-349986](#) Planning Other Legislation REMOVE BUILDING LINE RESTRICTION (Other). The outcome was Granted on 05/12/2001.

5107049 41B Brownville Crescent Dunedin

[RMA-2001-365345](#) Resource Management Act (Historical Data) RESIDENTIAL ACTIVITY AS A CONSEQUENCE OF TECHNICAL NON-COMPLIANCE ARISING FROM RMA 20010583 (Non-Notified - Non Complying). This consent has since Lapsed.

[RMA-2001-365344](#) Resource Management Act (Historical Data) TO CREATE AN ADDITIONAL ALLOTMENT FROM CERTIFICATE OF TITLE OT 190/253 AND OT 303/145 (Non-Notified - Non Complying). This consent has since Lapsed.

5107050 41A Brownville Crescent Dunedin

[RMA-2001-365345](#) Resource Management Act (Historical Data) RESIDENTIAL ACTIVITY AS A CONSEQUENCE OF TECHNICAL NON-COMPLIANCE ARISING FROM RMA 20010583 (Non-Notified - Non Complying). This consent has since Lapsed.

[RMA-2001-365344](#) Resource Management Act (Historical Data) TO CREATE AN ADDITIONAL ALLOTMENT FROM CERTIFICATE OF TITLE OT 190/253 AND OT 303/145 (Non-Notified - Non Complying). This consent has since Lapsed.

5112473 47 Cannington Road Dunedin

[RMA-2005-369415](#) Resource Management Act (Historical Data) TECHNICAL NON-COMPLIANCE ARISING FROM BOUNDARY ADJUSTMENT (Non-Notified - Non Complying). The outcome was Granted on 27/09/2005.

[RMA-2005-369414](#) Resource Management Act (Historical Data) BOUNDARY ADJUSTMENT (Non-Notified - Non Complying). The outcome was Granted on 27/09/2005.

5112474 41C Brownville Crescent Dunedin

[RMA-2005-369415](#) Resource Management Act (Historical Data) TECHNICAL NON-COMPLIANCE ARISING FROM BOUNDARY ADJUSTMENT (Non-Notified - Non Complying). The outcome was Granted on 27/09/2005.

[RMA-2005-369414](#) Resource Management Act (Historical Data) BOUNDARY ADJUSTMENT (Non-Notified - Non Complying). The outcome was Granted on 27/09/2005.

[RMA-2006-370721](#) Resource Management Act (Historical Data) LAND USE CONSENT TO CONSTRUCT CARPORT IN FRONT YARD AND COVERED WALKWAY IN SIDE YARD. The outcome was Granted on 14/11/2006.

[RMA-2003-366881](#) Resource Management Act (Historical Data) Addition to existing dwelling (Non-Notified - Restricted Discretionary). The outcome was Granted on 08/08/2003.

[RMA-2001-365313](#) Resource Management Act (Historical Data) ERECT A NEW DWELLING THAT ENCROACHES THE HEIGHT PLANE ANGLE (Non-Notified - Restricted Discretionary). The outcome was Granted on 21/12/2001.

[POL-2001-349986](#) Planning Other Legislation REMOVE BUILDING LINE RESTRICTION

(Other). The outcome was Granted on 05/12/2001.

5118870 57 Cannington Road Dunedin

SUB-2012-107 Subdivision Consent boundary adjustment subdivision. The outcome was Granted on 07/02/2013.

5118871 59 Cannington Road Dunedin

SUB-2012-107 Subdivision Consent boundary adjustment subdivision. The outcome was Granted on 07/02/2013.

5119027 41 Cannington Road Dunedin

POL-2013-13 Planning Other Legislation Cancellation of a BLR. The outcome was Granted on 22/03/2013.

LUC-2013-75 Land Use Consent land use consequential to a subdivision consent. The outcome was Granted on 22/03/2013.

SUB-2013-11 Subdivision Consent boundary adjustment subdivision. The outcome was Granted on 22/03/2013.

RMA-1981-354168 Resource Management Act (Historical Data) SECOND DWELLING UNIT (Notified - Non Complying). The outcome was Granted on 29/07/1981.

5119028 41D Brownville Crescent Dunedin

LUC-2014-186 Land Use Consent construct a dwelling with attached garage. The outcome was Granted on 26/05/2014.

POL-2013-13 Planning Other Legislation Cancellation of a BLR. The outcome was Granted on 22/03/2013.

LUC-2013-75 Land Use Consent land use consequential to a subdivision consent. The outcome was Granted on 22/03/2013.

SUB-2013-11 Subdivision Consent boundary adjustment subdivision. The outcome was Granted on 22/03/2013.

If you would like a copy of any Resource Consent decision or advice on the current status and relevance of any planning matter referred to in the LIM, enquiries may be made at the Planning Enquiries desk on the Ground Floor of the Civic Centre, 50 The Octagon, or by phoning 477 4000 and asking for the Duty Planner. Planners are available at the Planning Enquiries desk to answer your enquiries between 8:30am and 5:00pm weekdays.

TRANSPORT

Transport is aware of the following information related to this property:

08/02/2019 – Enquiry regarding new vehicle entrance, property owners were advised that there did not appear to be sufficient space to have a parked vehicle within the property. They were advised to demonstrate to DCC planning if there was a suitable parking location within the property.

As of the 24th April 2015, the Transport Group no longer inspects the site as part of a LIM. Only the electronic records since 2002 have been examined for Transport information in relation to the property.

For further explanations on property owner obligations in regard to local road encroachments, vehicle entrances, vegetation management or retaining structures please refer to the Dunedin City Council website at <http://www.dunedin.govt.nz/services/roads-and-footpaths> or contact Transport on 477 4000.

For properties abutting the state highway, Waka Kotahi NZ Transport Agency is the Road

Controlling Authority.

3 WATERS

WATER

Urban water supply area – Connected

This property is connected to the Dunedin City Council's urban (on-demand) water supply. Indicative water pressures are available to view at www.dunedin.govt.nz/water-pressure, and flows available to the property can be provided on request. Any change in water use (e.g. for a new commercial activity) requires a new application to be made to the Council. It is recommended that the applicant check the property for the location and suitability of the water service.

Terms and conditions of supply

All new and existing connections to the Dunedin City Council's water supply network are subject to the terms and conditions of the Dunedin City Council Water Bylaw 2011. The bylaw is available to view at www.dunedin.govt.nz/water-bylaw.

Water pressure

Indicative network water pressure to the property is shown on maps available at www.dunedin.govt.nz/water-pressure. Specific detail is available on request.

Water reticulation maps

A copy of the water reticulation map of Dunedin City Council infrastructure in the vicinity of the subject property is attached. These show the location of the water main in the road. It may or may not show the water service to the property. It is recommended that the applicant check the property

FOUL SEWER AND WASTE WATER

Drainage Reticulation Plans

A copy of the Dunedin City Council's drainage infrastructure in the vicinity of the subject property is attached. Public foul sewers are shown in red and stormwater sewers in green. All public drainage services are available to receive connections from the property and limited flows of stormwater may also be discharged to the street channel or an approved outfall.

Knowledge of Watercourses

A watercourse is a channel through which water flows or collects. It may be natural, modified or artificial, or be piped or open. Watercourses are the responsibility of the property owner from the point of boundary entry to the point of boundary exit. Not all watercourses are recorded or known to the Dunedin City Council. Therefore it is recommended that the applicant inspect the local site of interest to determine whether there are any watercourses located within the boundary of the particular property. For further information in respect of any watercourse it is recommended the applicant read the Watercourse Information Sheet, available at www.dunedin.govt.nz/watercourseinfo

Restrictions near Council infrastructure

There is Dunedin City Council water infrastructure located within the boundaries of this property, as shown on the attached reticulation plans.

Relevant deposited plans, certificates of title and memoranda of transfer at Land

Information New Zealand (www.linz.govt.nz) should be reviewed for information relating to any existing registered easements. However, as the Local Government Act 2002 (LGA) provides statutory rights for public infrastructure, easements are not always registered.

No building or structure shall be constructed within 2.5 metres of any Council-owned underground infrastructure, or as specified on any registered easement, without the written approval of the Council.

Infrastructure shall not be damaged or otherwise interfered with. Prior to commencing any works within the subject property, all Council-owned structures, mains and service pipes, and associated fittings are to be located on-site and, if necessary, protected.

The Council can enter the land to inspect, alter, renew, repair or clean its infrastructure under the LGA. For planned works, reasonable notice will be given.

Within new land subdivisions the Council requires an easement in gross over public water supply infrastructure. The easement in gross must be a minimum of 3 metres wide, centred on the as-built position, and made in accordance with the Dunedin Code of Subdivision and Development 2010: Section 6.3.10.3 (Water).

Planting near infrastructure should be avoided, particularly large trees or other species whose roots could cause damage.

Stormwater/Sewer Separation - Compliant

The Dunedin City Council requires the foul sewer and storm water being discharged from a property to be directed to the separate foul sewer and storm water networks, respectively. This property is in an area where inspections have been undertaken to ensure compliance with this requirement. This property was certified as complying with Council's requirements for storm water separation at the time of inspection on **4th September 1992**.

No comment is made with regard to this property's compliance with the requirement for storm water separation after the date of inspection.

Information Regarding Watercourses

The controlling authority for all water and waterbodies in Dunedin City is the Otago Regional Council. The Regional Plan: Water addresses water take and use, diversions, damming, discharges and bed alteration under the Resource Management Act 1991. They are also responsible for the Flood Protection Management Bylaw 2012.

The controlling authority for watercourses in relation to stormwater drainage, and removal of obstructions in accordance with Local Government Act 1974 is the Dunedin City Council. The Council also issues building and resource consents for certain works around watercourses.

Not all watercourses within Dunedin City are recorded or known to the Council, therefore it is recommended that the applicant inspect the property for watercourses.

For further information on watercourses it is recommended the applicant read the Watercourse Information Sheet. A copy of this document is available on request or for download from the Dunedin City Council website www.dunedin.govt.nz

APPENDIX

Glossary of terms and abbreviations

The following are abbreviations and terms that may appear as a part of a LIM.

Consent, Permit, Licence & Complaint types

- AAB DCC Building permit
- AAD DCC Drainage permit
- AAG Green Island drainage permit
- AAH Hyde permit
- AAK St Kilda permit
- AAM Mosgiel permit
- AAP Port Chalmers permit
- AAS Silverpeaks permit
- AAT Maniototo permit
- ABA Application Building Act 1991
- AMD Amendment to a Building Consent
- BC Building Consent
- BCC Building Compliance Certificate - Sale of Liquor Act
- BCM Building Complaint
- CER Certifier
- COA Certificate of Acceptance
- DGL Dangerous Goods Licensing
- ENV Health complaint
- HTH Health licence
- LIQ Liquor licence
- NTF Notice to Fix
- NTR Notice to Rectify
- PIM Project Information Memorandum
- POL Planning Other Legislation
- RMA Resource Management Act - Resource consent
- RMC Resource consent complaint
- WOF Building Warrant of Fitness

Terms used in Permits & Consents

- ALT Alteration
- ADD Addition
- BD D/C Board drain in common
- BLD Building
- BLDNG Building
- BT Boundary trap
- B/T Boiler tube
- CCC Code Compliance Certificate
- DAP Drainage from adjacent property
- DGE Drainage
- DIC Drain in common
- DR Drainage
- DWG Dwelling
- FS Foul sewer
- HEA Heater
- ICC Interim Code Compliance
- MH Manhole
- PL Plumbing
- PLB Plumbing
- PTE Private
- SIS Sewer in section
- WC Water course
- WT Water table
- SW Stormwater

General terms

- RDMS Records and Document Management System



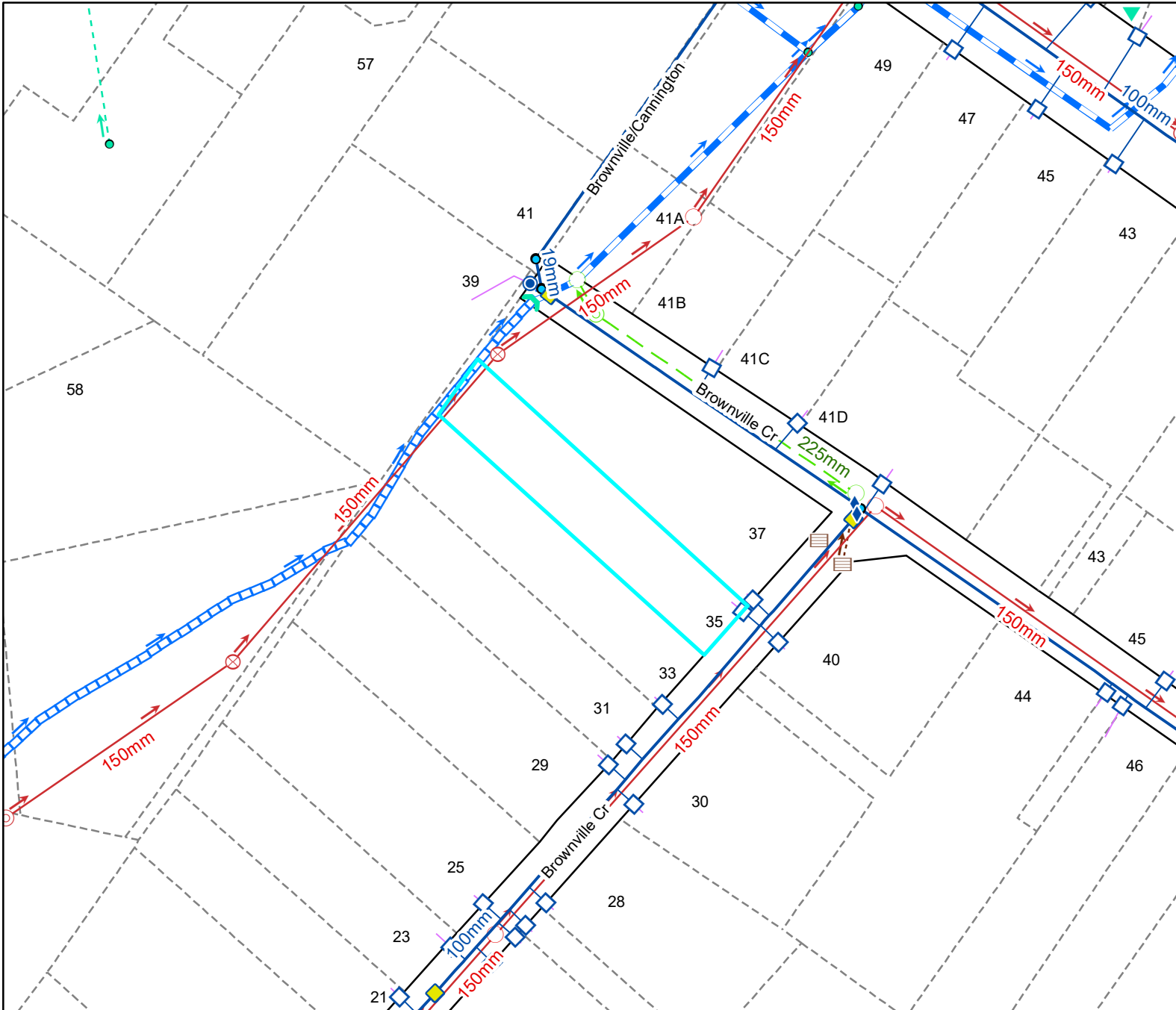
Photographic Map

Scale at A4:
1:750
19/11/2024
8:01:40 PM



PARCEL LINES CAN VARY FROM
LEGAL PARCEL BOUNDARIES
This map is for illustration purposes only
and is not accurate to surveying, engineering
or orthographic standards. Every effort
has been made to ensure correctness and
timeliness of the information presented.

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Ltd. Rural, ORC/Aerial Surveys Ltd. CC BY 4.0 NZ
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copyright NZAM. Rural photography March
2006, copyright Terralink International Ltd.



Legend

Water Supply

	Manifold Box		Water Non-Return Valve
	Water Meter		Water Pump Station
	Toby		Water Bore
	Meter without manifold box		Water Treatment Plant
	Retic Flow Meter		Water Storage Tank
	Combination Meter		Supply Main
	Manifold Box With Restrictor		Trunk Main
	Water Valve - Zone		Disused
	Non Return Valve		Reticulation
	Water Valve - Gate		Scour
	Water Valve - Sluice		Water Service Lateral
	Water Hydrant		Water Fire Service Lateral
	Water Backflow Preventor - RPZ		Water Critical Service Lateral
			Water Zone Boundary
			Water Reservoir
			Redundant Water Main

NOTE:
Private water services have the same symbols as those above, however they are coloured pink.

Foul Sewerage

	Standard Manhole		Pump Station
	Valve Chamber (pressurised)		Treatment Plant
	Boundary Kit		Vent
	Non-Return Valve		Foul Sewer Node
	Pump Station Domestic		Foul Drains in Common (public)
	Drop Manhole		Sewer
	Inspection Manhole		Trunk Sewer
	Inspection Opening		Vent Line
	Lamphole		Rising Main
	Outlet		Redundant Foul Sewer Pipe

NOTE:
Private foul drains have the same symbols as those above, however they are coloured orange.

Stormwater

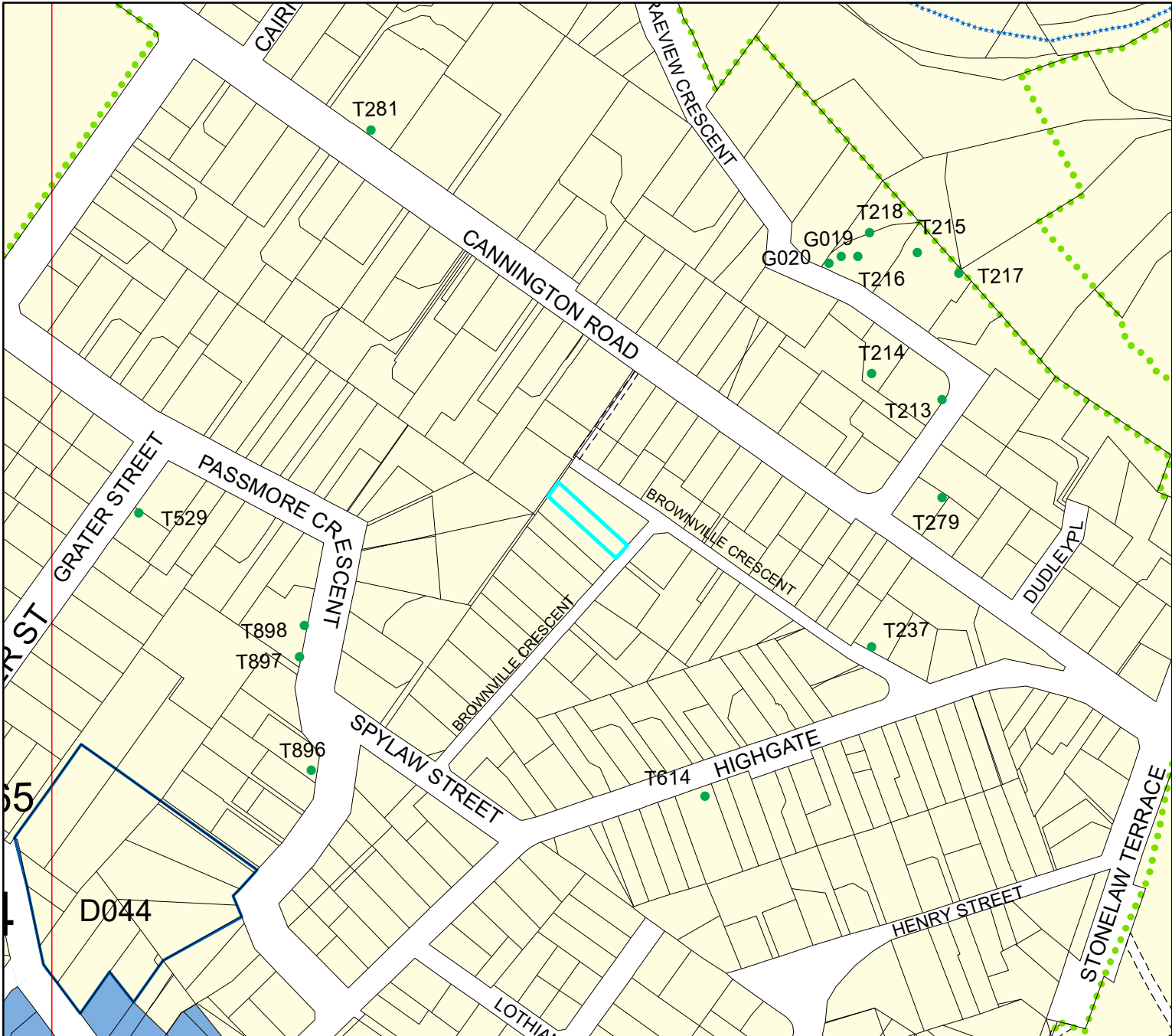
	SW Bubble-up Tank		Roading Bubble-Up Tank
	SW Drop Manhole		Roading Mudtank
	SW Insp Chamber and Grating Inlet		Stormwater Main
	SW Inspection Manhole		Stormwater Trunk Main
	SW Inspection Opening		DCC Open Channel
	SW Lamphole		Piped WC
	SW Mudtank Inlet		Open WC
	SW Outlet		Culvert
	SW Pipe Inlet		Stormwater Mudtank Pipe
	SW Pressure Manhole		Redundant Stormwater Main
	SW Standard Manhole		SW Sump
	SW Stormwater Node		SW Pump Station

NOTE:
Private stormwater drains have the same symbols as those above, however they are coloured light green.

General

	DCC Water & Waste Structure		Parcel		Road/Rail
	Railway Centreline		Hydro		Motorway Parcels
			Strata		Easment (where recorded)

Full legend can be viewed at <https://www.dunedin.govt.nz/council-online/webmaps/waterservices>



Legend

- Significant Trees
 - Transpower Structure
 - Transpower Lines
 - Heritage Structure
 - Heritage Facade
 - DP Archaeological Sites
 - Airport Fan Designation 274 bdy
 - Port Height Restrictions
 - DP Designations
 - Urban Landscape Conservation Area
 - DP Taiari Aerodrome
 - Restricted Water Supply Area
 - Ground Water Protection Zone A
 - Ground Water Protection Zone B
 - Public Roads not Legal
 - Unformed Legal Road
- ### Zones
- R1 - Residential 1 Zone
 - R2 - Residential 2 Zone
 - R3 - Residential 3 Zone
 - R4 - Residential 4 Zone
 - R5 - Residential 5 Zone
 - R6 - Residential 6 Zone
 - R6A
 - Campus Zone
 - Airport Zone
 - Stadium Zone
 - CA - Central Activity Zone
 - LSR - Large Scale Retail Zone
 - LA1 - Local Activity Zone 1
 - LA2 - Local Activity Zone 2
 - In1 - Industrial 1 Zone
 - In2 or SD - Industrial 2 or Special Development Zone
 - Port 1 Zone
 - Port 2 Zone
 - RR - Rural Residential Zone
 - Rural Zone
 - H - Harbourside
- ### Port & Airport Noise
- Air Noise Boundary
 - Airport Outer Control Boundary
 - Outer Port Control Boundary
 - Port Noise Boundary

Esplanade Requirement

- Esplanade Reserve Required
- Esplanade Strip Required

Landscape Management Boundary

- outside boundary
- boundary between areas
- prominency boundary

Townscape

- Townscape and Heritage Precinct Boundary - Internal
- Townscape and Heritage Precinct Boundary

Pedestrian Frontage

- Identified Pedestrian Crossing
- Verandah Required

Areas of Significant Conservation Value boundary

- ASCV Boundary
- ASCV Boundary - Internal
- Areas of Significant Conservation Value (Estuarine edge)
- Areas of Significant Conservation Value (Wetland)

Most detail not shown at scales smaller than 1:25,000
Optimal scale range is 1:2000 - 1:5000

This Planning Map is indicative.

The official Planning Maps are compiled within the District Plan (Volume 2). This map is a representation of the official maps. However, due to the ability to display these maps at different scales, and the dynamic nature of the underlying cadastre, some inconsistencies or misalignment of data may be depicted which is not visible on the official maps. Consult Dunedin City Council for any clarification.

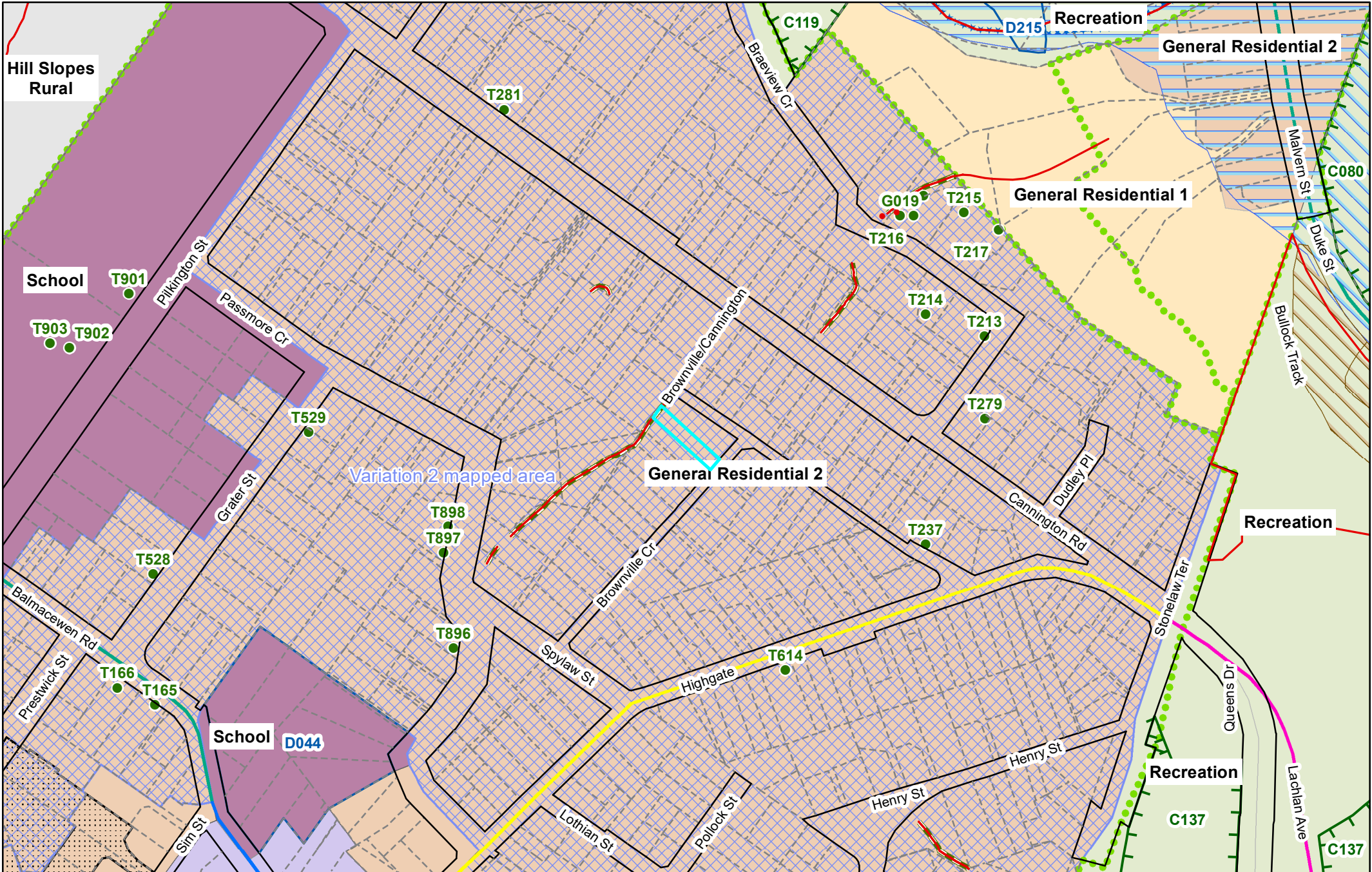


Operative District Plan Map

Scale at A4:
1:3,000
19/11/2024
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PARCEL LINES CAN VARY FROM
LEGAL PARCEL BOUNDARIES
This map is for illustration purposes only
and is not accurate to surveying, engineering
or orthophotographic standards. Every effort
has been made to ensure correctness and
timeliness of the information presented.



Dec 13 B:K 3 ² Maclellans
cyani Hill

DUNEDIN DRAINAGE AND SEWERAGE BOARD

House Connection Plan

APPLICATION NO. *E/3455*

DATE *23/7/47*

SCALE $\frac{1}{8}$ in. to a foot

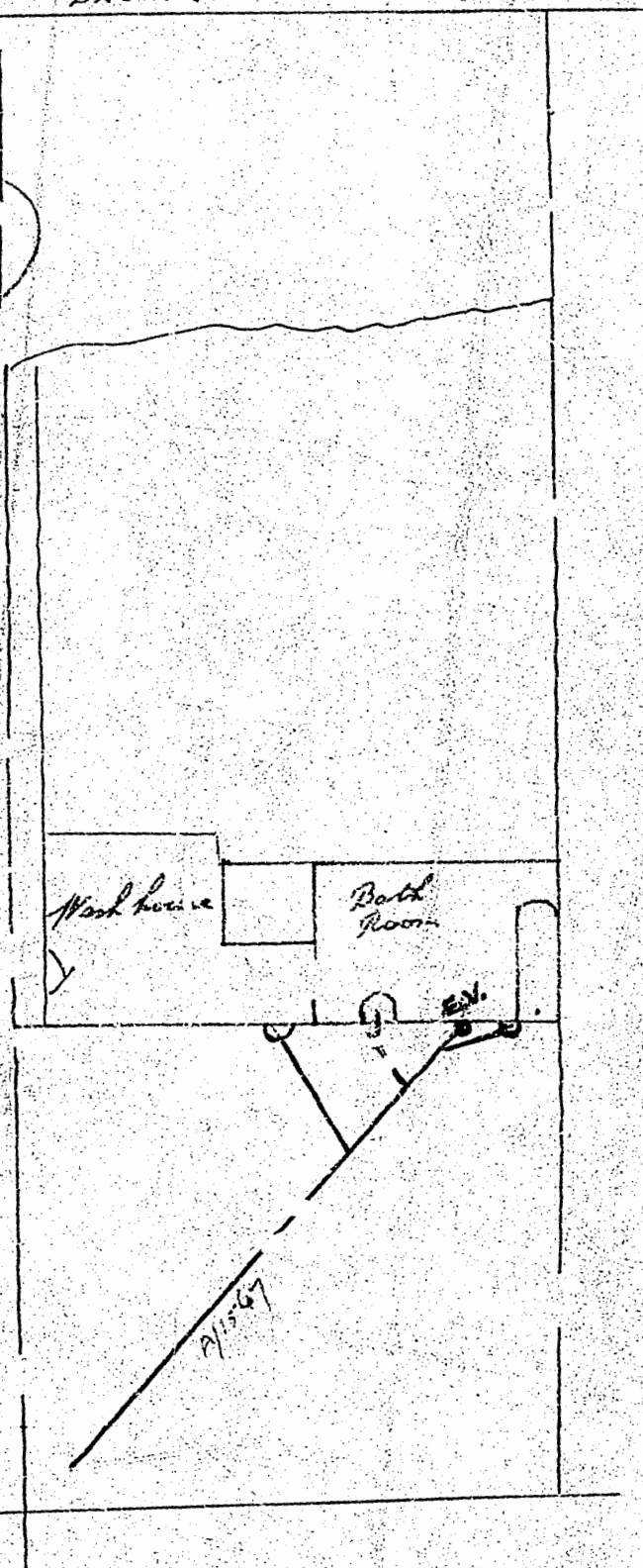
NEW SEWERAGE DRAINS: RED

STORMWATER: DOTTED BLACK

OLD DRAINS: FULL BLACK

BROWNVILLE URES.

*17/1567
existing drains*



Owner *J. H. Miller* Block *2 of 8*

Street *35 Brownville Lane* Section *of 8*

Locality *Maori Hill* Allotment *2413 Plan 67*

Signature of Drainer *J. Simpson*

cm 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40

DUNEDIN CITY CORPORATION
COPY OF APPROVED PLAN
OR SPECIFICATION
TO BE RETAINED ON WORKS
AND PRODUCED ON REQUEST
OF BUILDING INSPECTOR.

DATE 12.12.84
CITY ENGINEER

A separate application to the Drainage Board for plumbing and/or drainage alterations must be made and approved in accordance with the provisions of the Drainage Board Regulations 1977, Drainage and Plumbing Regulations 1977 and the Building By-laws.

SHAWHAN FRINGS TO EXISTING AND
EXTENSION OF EXISTING Foul Drain
for City Planning Officer

CITY PLANNING DEPARTMENT
Pursuant to the provisions of the District Scheme, these plans and specifications are provided that no changes shall be made to the detail, and subject to the provisions of the District Scheme, and subject to the provisions of the District Scheme, and subject to the provisions of the District Scheme.

Signed 2/11/85
Paul / Paul A
for City Planning Officer

DR R.V. WELCH, BROWNVILLE CRES.,
EXISTING FLOOR AND SITE PLAN
PART LOT 13, BIK II, Dep. Plan 67

EXISTING UPPER FLOOR
SCALE 1:50

LOUNGE
BED 1
BED 2
KITCHEN/DINING
WATER CYL.
STAIRS
SCALE 1:50

EXISTING LOWER FLOOR
SCALE 1:50

LAUNDRY
BATHROOM
STAIRS
SCALE 1:50

EXISTING FLOOR AND SITE PLAN
SCALE 1:200 (approx)

BROWNVILLE CRESCENT
HOUSE
FOUL SEWER

PROPOSED UPPER FLOOR LAY-OUT
SCALE 1:50

LOUNGE/LIVING
KITCHEN
STAIRS
SCALE 1:50

PROPOSED LOWER FLOOR LAY-OUT
SCALE 1:50

BEDROOM
BATHROOM
LAUNDRY
STAIRS
SCALE 1:50

SECTION X-X'
SCALE 1:100

N-W ELEVATION
No changes to existing N-E and S-W elevations

DR R.V. WELCH, 35, BROWNVILLE CRES.
PROPOSED FLOORPLAN
PART LOT 13, BIK II, Dep. Plan 67

8216

EXISTING

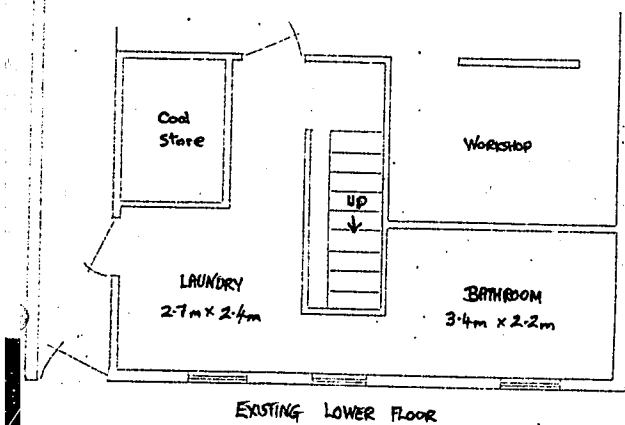
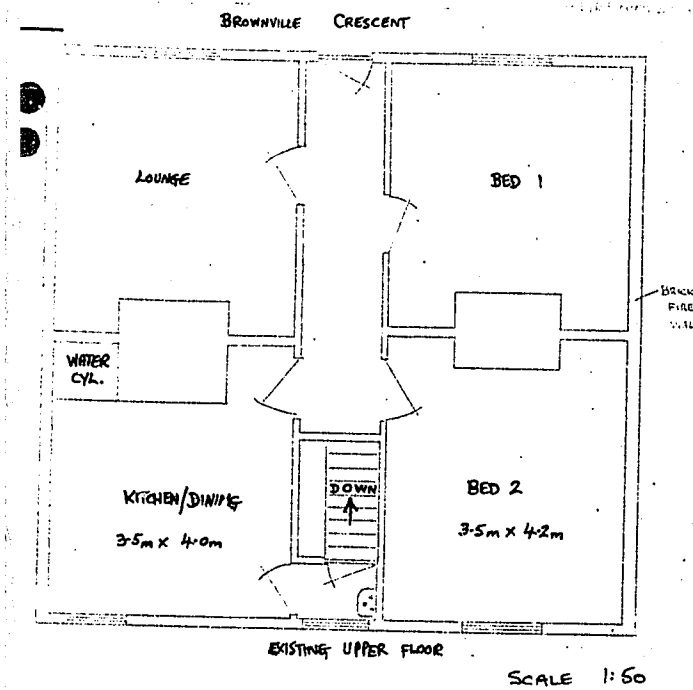
BROWNVILLE CRES.
MAIN WATER CONNECTION
LAUNDRY (MOTION ABOVE)
BATHROOM
WC
SINK
BATH

PROPOSED

BROWNVILLE CRES.
LAUNDRY
BATHROOM
WC
SINK
BATH
KITCHEN SINK
BATHROOM SINK

DR R.V. WELCH, 35 BROWNVILLE CRES.,
PROPOSED PLUMBING ALTERATIONS
PART LOT 13 BIK II, Dep. Plan 67

8216



CITY PLANNING DEPARTMENT

Pursuant to the provisions of the District Scheme, these plans and specifications are approved, provided that no change shall be made to the details shown hereon, and contained in the specification attached hereto, and subject to

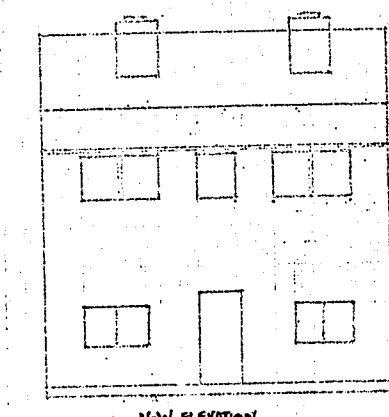
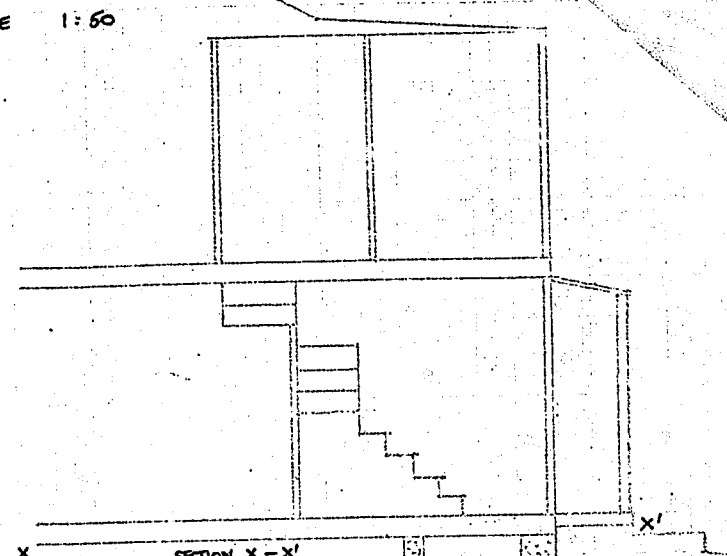
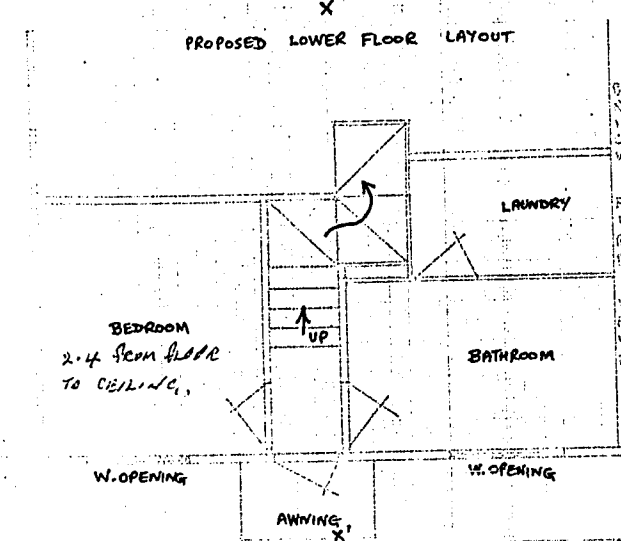
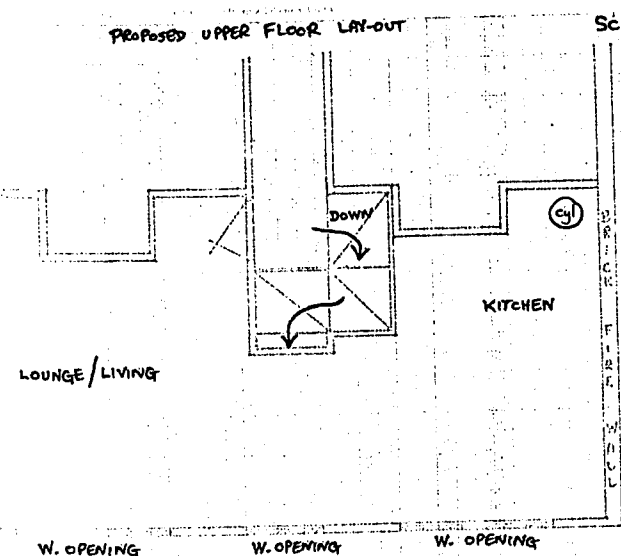
Signed *[Signature]* 3/12/84
for City Planning Officer

This permit is issued subject to the additional conditions shown on the back hereof.

DR R.V. WELCH, BROWNVILLE CRES.,
EXISTING FLOOR AND SITE PLAN
PART LOT 13, BIK II, Dep. Plan 67

Scale 1:200 (approx)

8216

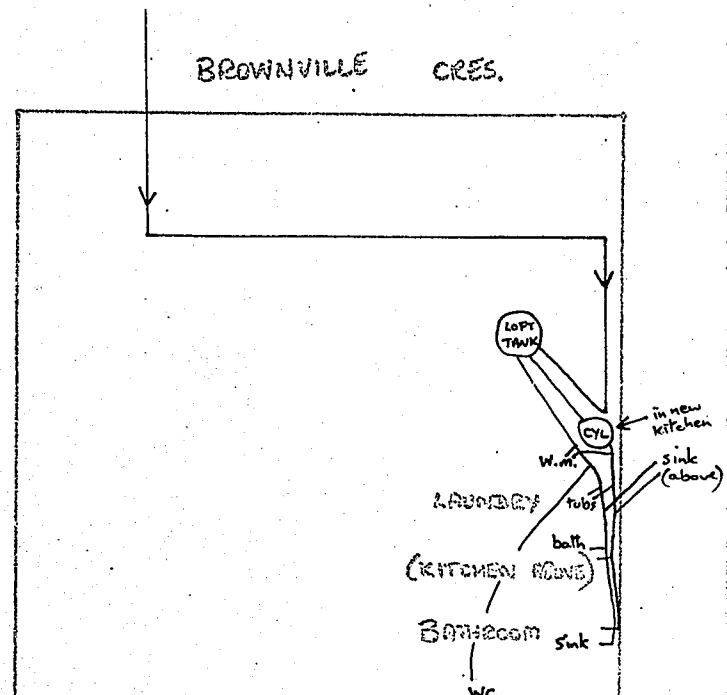
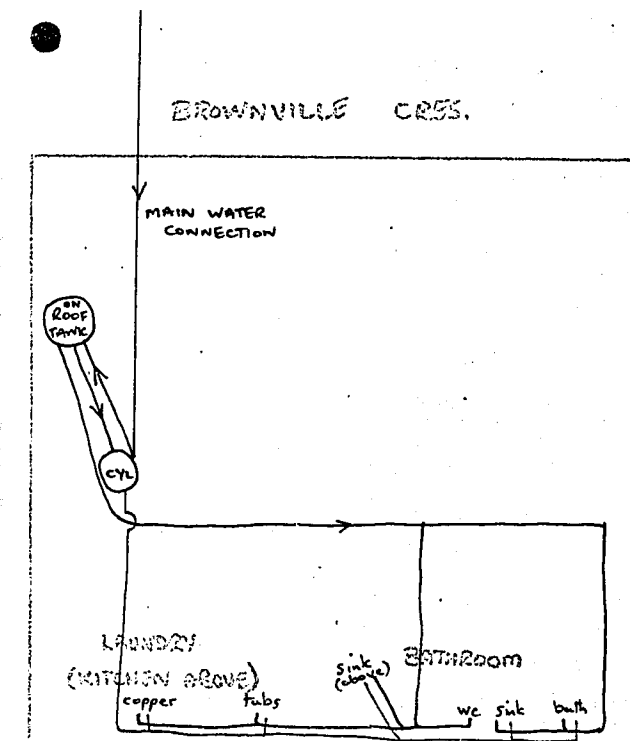


SCALE 1:100

NO CHANGES TO EXISTING N-E AND S-W ELEVATIONS

8216

DR R.V. WELCH, 35, BROWNVILLE CRES.
PROPOSED FLOORPLAN PART LOT 13, BIK II
Dep. Plan 67



DR R.V. WELCH, 35 BROWNVILLE CRES.,
PROPOSED PLUMBING ALTERATIONS
PART LOT 13, BIK II, Dep. Plan 67

8216

A separate application to the Drainage Board for plumbing and/or drainage work is required. Such work shall comply fully with the Plumbers, Gasfitters and Drainlayers Act 1976, Plumbers, Gasfitters and Drainlayers Regulations 1977, Drainage and Plumbing Regulations 1973, and the Board's By-laws.

Stormwater to be discharged to _____

SANITARY FITTINGS TO EXISTING AND
EXTENSION OF EXISTING FOUL DRAIN

[Signature]
12-12-84

DUNEDIN CITY CORPORATION
COPY OF APPROVED PLAN
OR SPECIFICATION
TO BE RETAINED ON WORKS
AND PRODUCED ON REQUEST
OF BUILDING INSPECTOR.
DATE 12-12-84
[Signature] CITY ENGINEER

DUNEDIN DRAINAGE AND SEWERAGE BOARD
House Connection Plan

APPLICATION NO. *E/8488*

DATE *22/7/23*

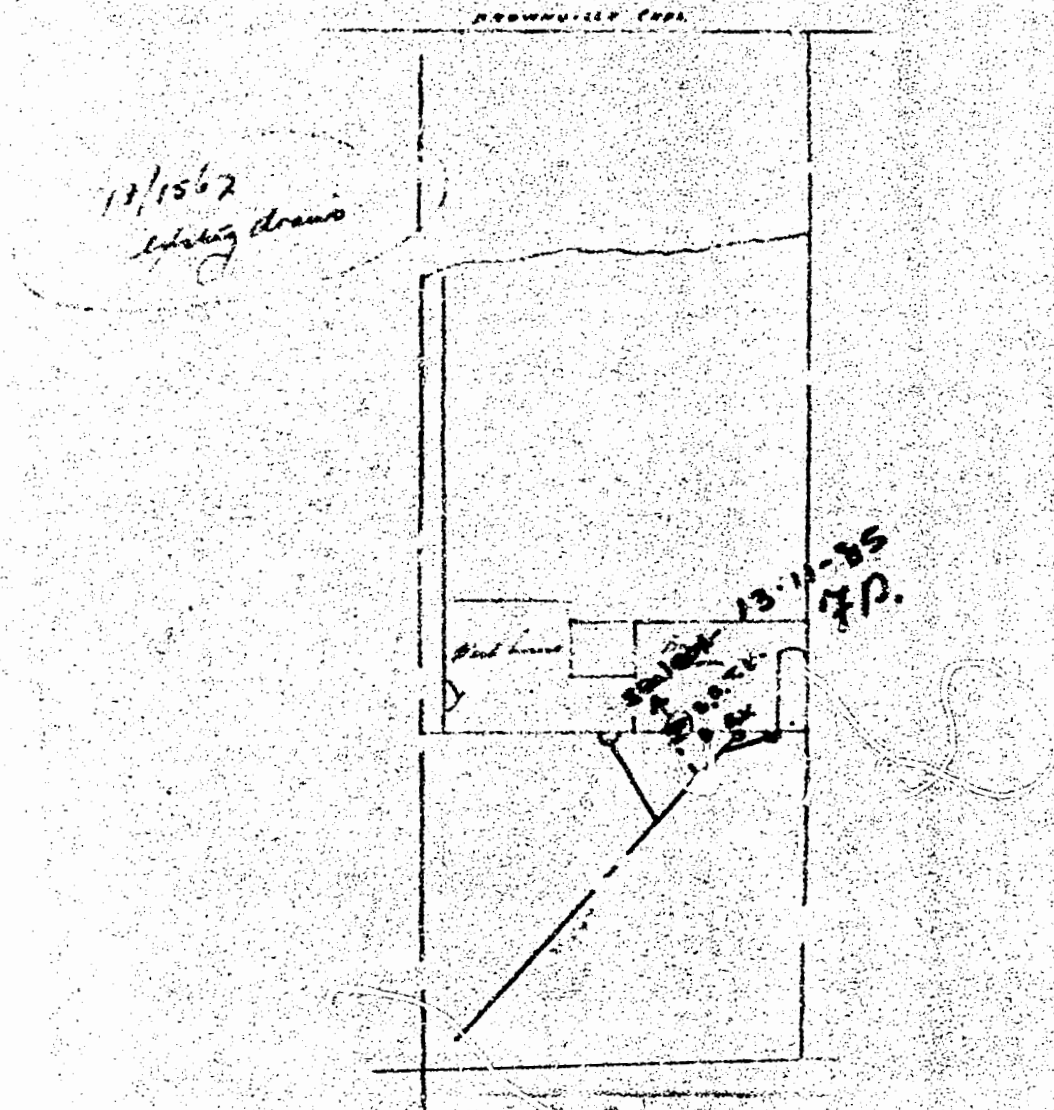
SCALE $\frac{1}{4}$ in. to a foot

NEW SEWERAGE DRAINS: RED

STORMWATER: DOTTED BLACK

OLD DRAINS: FULL BLACK

K/6923
8923



Owner *J. H. Hill*

Block *2*

Street *35*

Section

Locality *St. John's Hill*

Allotment

Signature of Drainer *[Signature]*

CODE COMPLIANCE CERTIFICATE

Section 43(3), Building Act 1991

ISSUED BY:



DUNEDIN CITY COUNCIL

Telephone No:	477-4000	CCC No:	ABA 940511	Reference No:	5016327
---------------	----------	---------	------------	---------------	---------

(Insert a cross in each applicable box. Attach relevant documents).

PROJECT LOCATION	PROJECT
Name and Mailing Address: BERESFORD, CHARLES HOWARTH 6 TREETOP DRIVE PORTOBELLO DUNEDIN 9004	All <input checked="" type="checkbox"/> Stage Noof an intendedstages New Building <input type="checkbox"/> Alteration <input checked="" type="checkbox"/> Intended Use(s) in detail: ALTER/ADD TO DWG/HEATER/PLB ALTS Intended Life: Indefinite, not less than 50 years <input checked="" type="checkbox"/> Specified as years Demolition <input type="checkbox"/>
LEGAL DESCRIPTION	
Property Number: 5016327 Valuation Roll No: 26860 07000 Street Address: 35 BROWNVILLE CRESCENT, DUNEDIN 9001 Legal Description: PT LOT 13 DP 67	

This is:

- ☒ A final code compliance issued in respect of all of the building work under the above building consent.
- ☐ An interim code compliance certificate in respect of part only, as specified in the attached particulars, of the building work under the above building consent.
- ☐ This certificate is issued subject to the conditions specified in the attached page(s) headed "Conditions of Code Compliance Certificate No:....." (being this certificate).

The Council charges payable on the uplifting of this code compliance, in accordance with the attached details are: \$
Receipt No:

Signed for and on behalf of the Council:

Name:.....*Mammoth*.....

Position: AUTHORISED OFFICER

Date: 21/06/2002

BUILDING CONSENT No.: 94/0511

ISSUED BY

Section 35, Building Act 1991

Project Information Memorandum No.:

DUNEDIN CITY COUNCIL

(Insert a cross in each applicable box. Attach relevant documents)

APPLICANT

PROJECT

Name:

C J MORRIS

Making Address:

35 BROWNVILLE CRES
DUNEDIN

All

Stage No. X of intended stages

New Building

Alteration

Intended Use(s) (in detail):

ALTER/ADD TO DWG HEATER/PLB
ALTS

Intended Life:

Indefinite, but not less than 50 years

Specified as years

Demolition

Estimated Value: \$ 9,150.00

PROJECT LOCATION

Street Address:

35 BROWNVILLE CR
DUNEDIN

LEGAL DESCRIPTION

Property Number: 163272

Valuation Roll Number: 2686007000

Lot: 13

DP: 67

Section:

Block:

Survey District:

COUNCIL CHARGES

The balance of Council's charges payable on lifting of this building consent, in accordance with the tax invoice are:

Total: \$ 0.00

ALL FEES ARE G.S.T. INCLUSIVE

Signed for and on behalf of the Council:

Name:

Position:

Date: 13/05/94

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building Act. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

This building consent is issued subject to the conditions specified in the attached pages, headed "Conditions of Building Consent No. 1".

Balcony

NON COMPLIANCE WITH DISTRICT PLAN

The Building Consent for this development **DOES NOT COMPLY** with the Resource Management Act 1991 nor the Dunedin City District Plan. Resource Consent must be applied for and granted prior to commencement of any work in connection with this development.

Murray Wilson
4811319

Dunedin City Council
Amended Plan and/or
Specification Received

Date 6-4-94

Building Inspector

Section of wall
removed and
floor level to
extend longer.

Existing
KITCHEN

Wall extended to allow
headroom for stairs.

UPPER LEVEL

Proposed BALCONY

PROPOSED PLAN

Scale 1:50

UPPER LEVEL

Wall + section of
floor removed.
Capped beneath stairs (both sides)

Partially existing
walls extended.

Dry

W/M

Tub

Laundry

Bathroom

W.C.

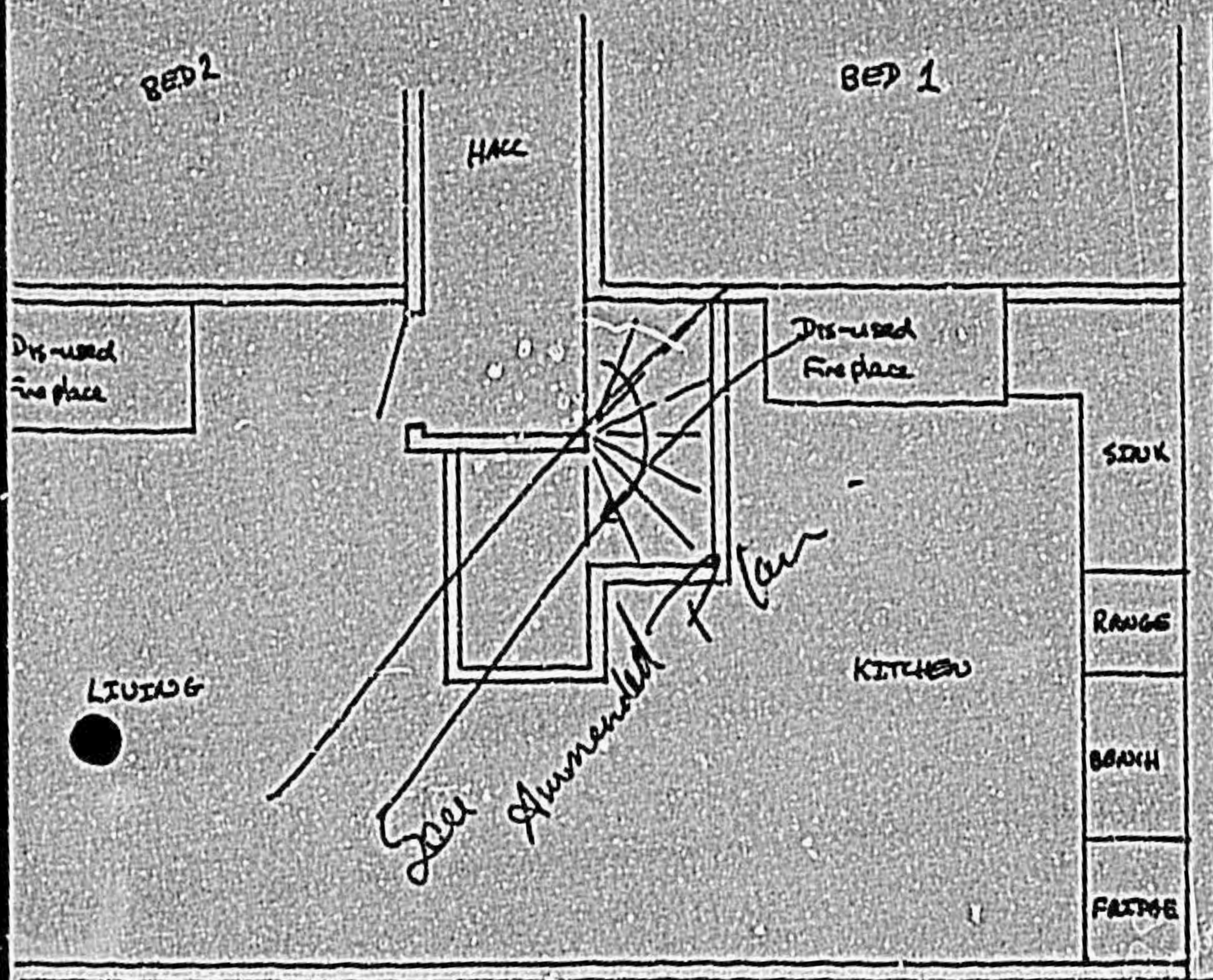
Shower
Bath

Toilet
Bath

Exterior door shaded
35 Braemar Cres
Dunedin

Mostly existing Plumbing
& Drainage used.
New Over ceiling in Bath
& Bed 3.
Internal linings - Gb, Sarking &
Hatched.

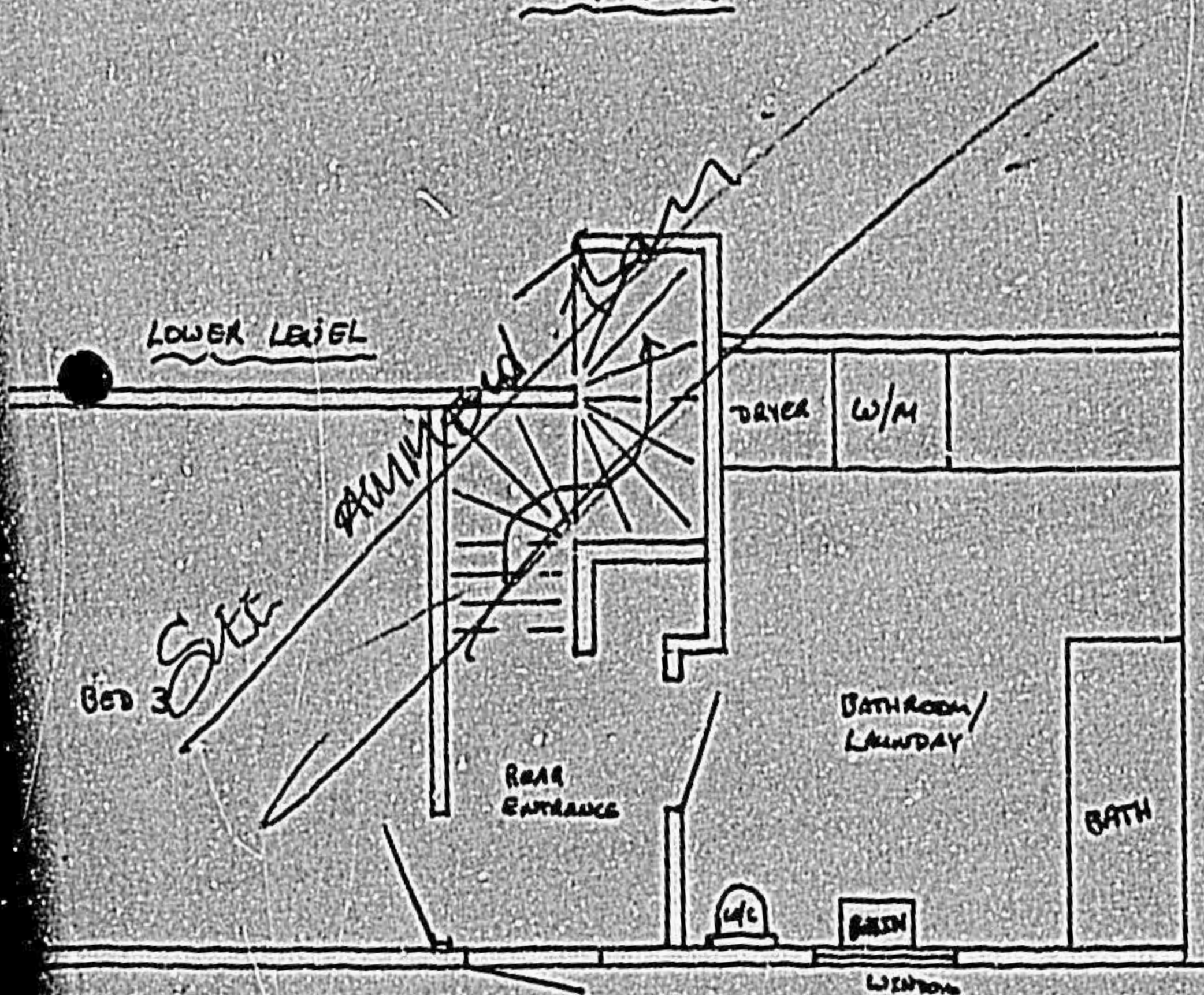
94/0511
94/511
35 Braemar Cres



UPPER LEVEL

"EXISTING HOUSE PLAN"

Scale 1:50



35 BROWNLEE CREES
DUNEDIN.

SECTION A-A



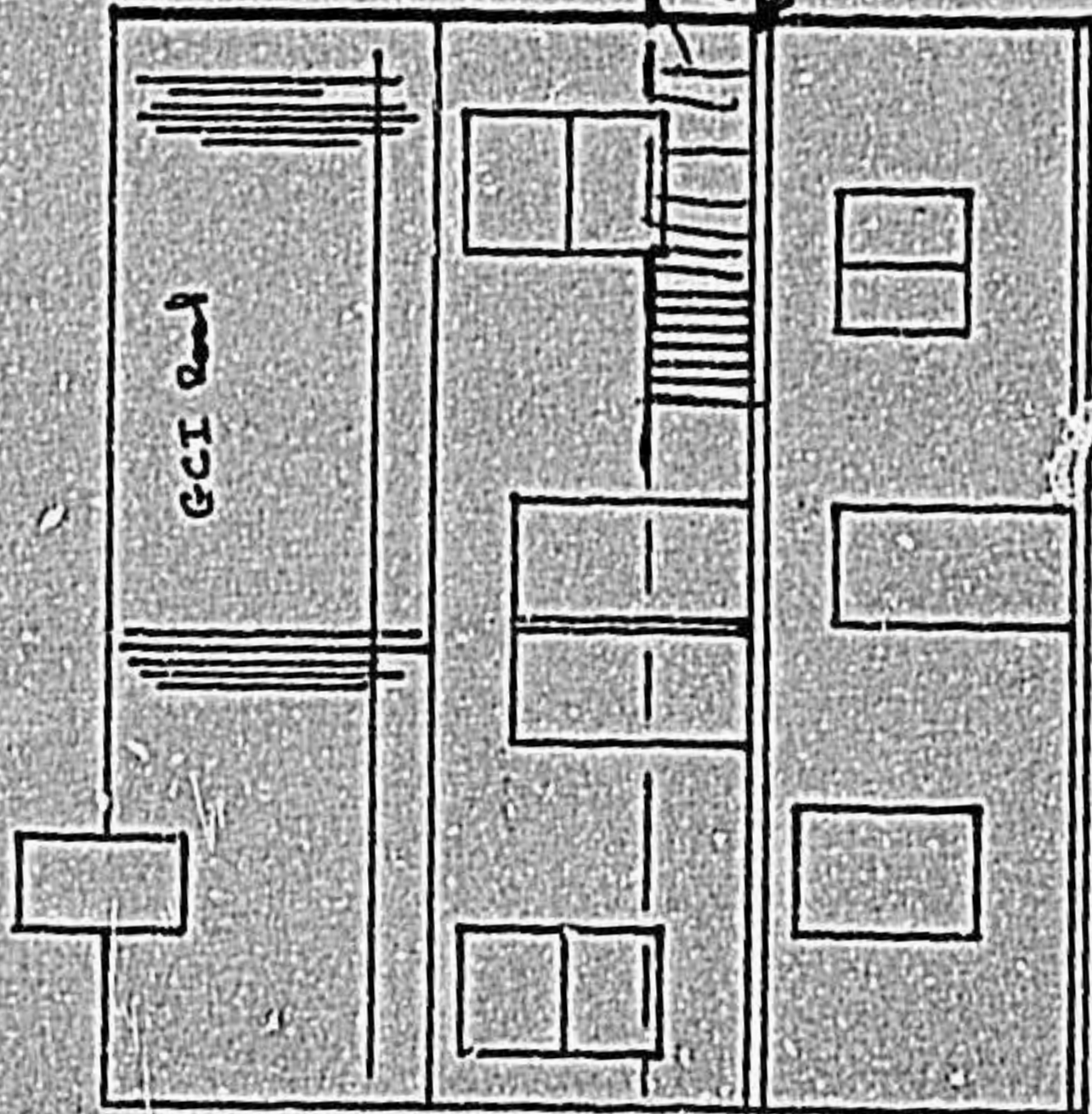
Scale 1:50

PROPOSED ALTERATION AT:
35 BROADVILLE CRES
DUNEDIN.

Scale 1:100



"SITE PLAN"



"N-W ELEVATION"

Scale 1:100

Handrails + Balustrade to comply with NZ Building Code Requirements (Barriers)

All windows are existing French doors installed in upper level Lower door shifted approx 800mm 1st. Balcony for upper level installed. Other Elevations are not attached.

Balcony cantilevered 1400mm on 200 x 50 Treated Joists fixed to existing 200 x 50 floor joists

5.1.5

Cantilevered floor joists

5.1.5.1

Floor joists may project as cantilevers to the distance beyond the face of the support given by table 5.2 provided that cantilevered floor joists shall not support a balcony decking having a mass exceeding 25 kg/m^2 nor a balcony balustrade having a mass exceeding 5.5 kg/m^2 .

C5.1.5.1

Cantilevered joists exposed to the elements shall be of species or protected in accordance with NZS 3602 as required by 2.7 of this Standard.

5.1.5.2

The depth of the joist to be used in table 5.2 shall be the net depth at any notch, step, or hole occurring within two-thirds of the cantilever length from the face of the support.

C5.1.5.2

When a cantilevered floor joist supports a balcony or the like it is frequently necessary to provide a notch or step in the joist at the external wall for weatherproofing.

5.1.5.3

Cantilevered floor joists shall either:

- Be continuous over the outermost support; or
- Be lapped over the outermost support and fixed to the adjacent joist as shown in fig. 5.6 with the total length of the cantilevered joist being not less than 2.25 times the cantilever length.

C5.1.5.3

The free ends of cantilevered floor joists of green timber should be propped level until the moisture content is 24 % or less, because green timber cantilevered joists can deflect excessively under their own weight and assume permanent deformations unless propped, see NZS 3602.

5.1.5.4

For the purposes of determining the sizes of members supporting cantilevered floor joists, the span of such joists shall be taken as being 2.5 times the actual cantilever length (see also 1.2.11).

5.1.6

Trimmers and trimming joists

5.1.6.1

Openings in joisted floors shall be bounded by trimmers and trimming joists (see fig. 5.7).

5.1.6.2

Trimmers shall be the same depth as the curtailed joists and for:

- Trimmer spans not exceeding 1.8 m: 25 mm thicker than the curtailed joists;
- Trimmer spans not exceeding 2.4 m: 50 mm thicker than the curtailed joists.

5.1.6.3

Trimming joists shall be the same depth as the curtailed joists and for:

- Trimmer spans not exceeding 1.8 m:
 - Trimming joist spans not exceeding 3 m: 25 mm thicker than the curtailed joists;
 - Trimming joist spans exceeding 3 m: 50 mm thicker than the curtailed joists;
- Trimmer spans not exceeding 2.4 m: 50 mm thicker than the curtailed joists.

5.1.6.4

Curtailed joists shall be attached to trimmers as follows:

- Only curtailed joist spans not exceeding 3 m: By not fewer than three nails through the trimmer and extending not less than 50 mm into the ends of the curtailed joists; or
- By a half housing not less than 12 mm deep; or

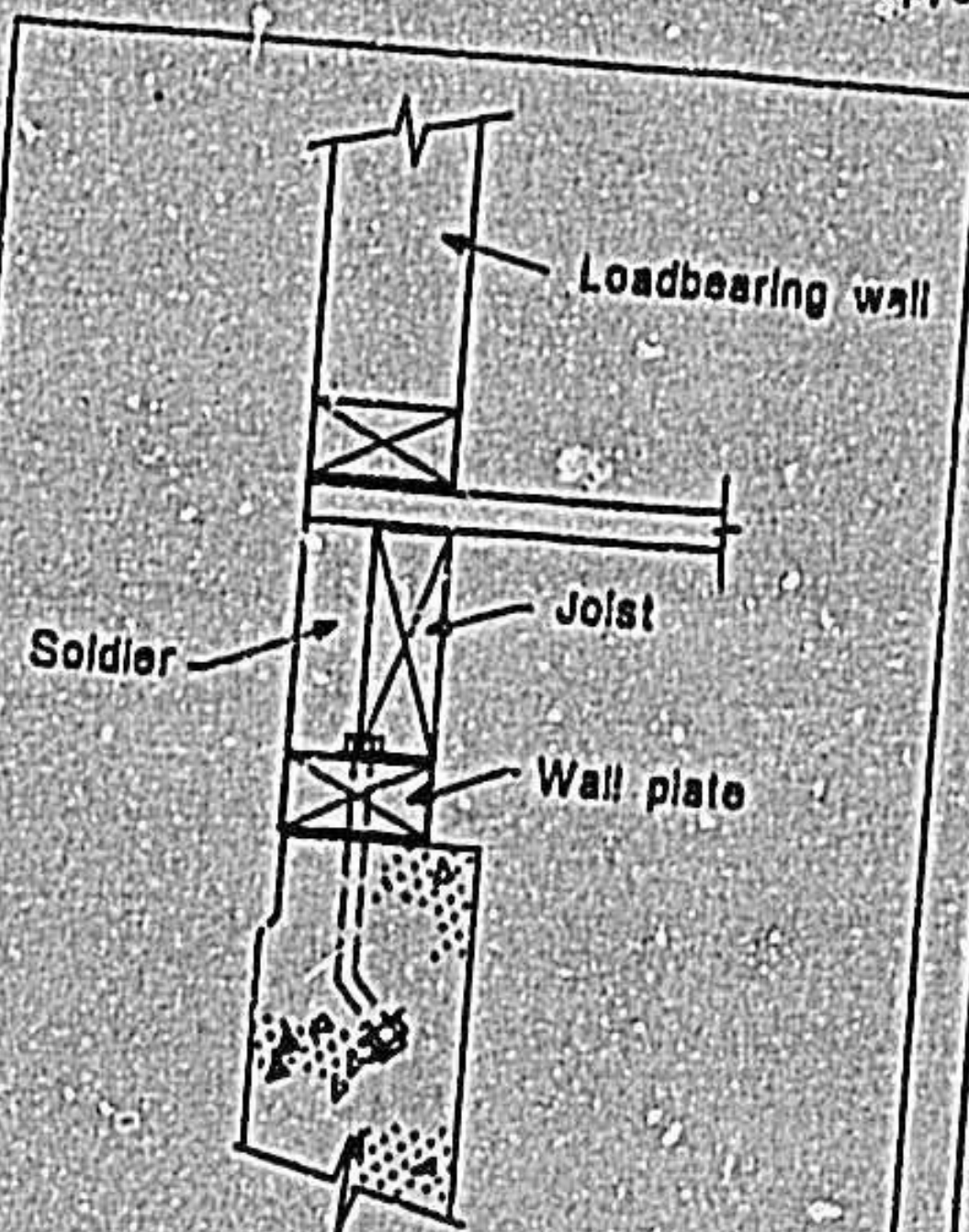


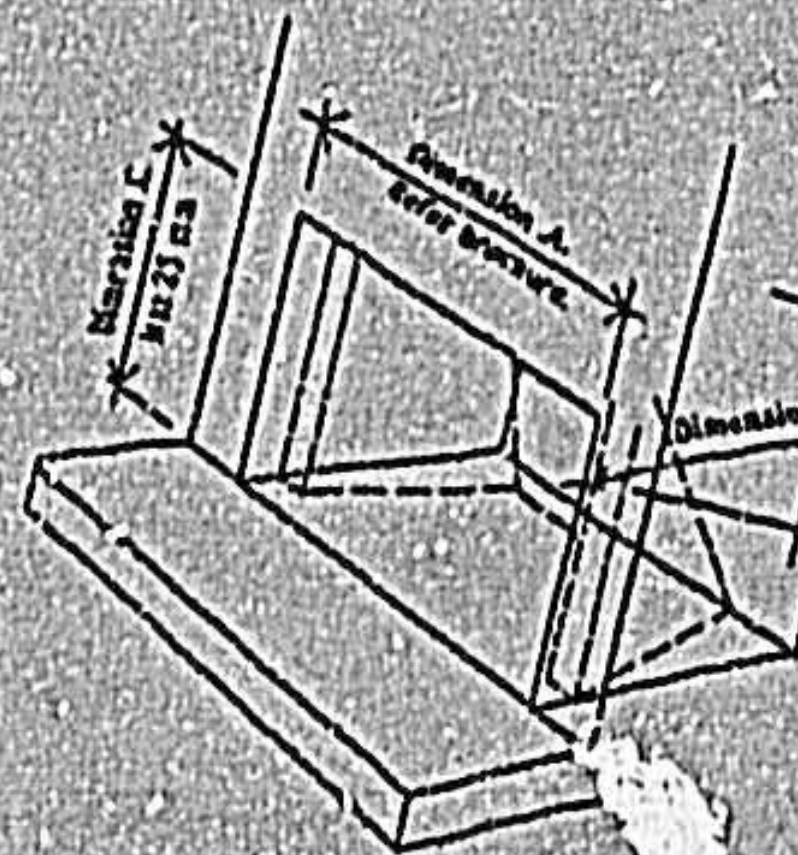
Fig. 5.4
LOADBEARING WALL OVER FOUNDATION



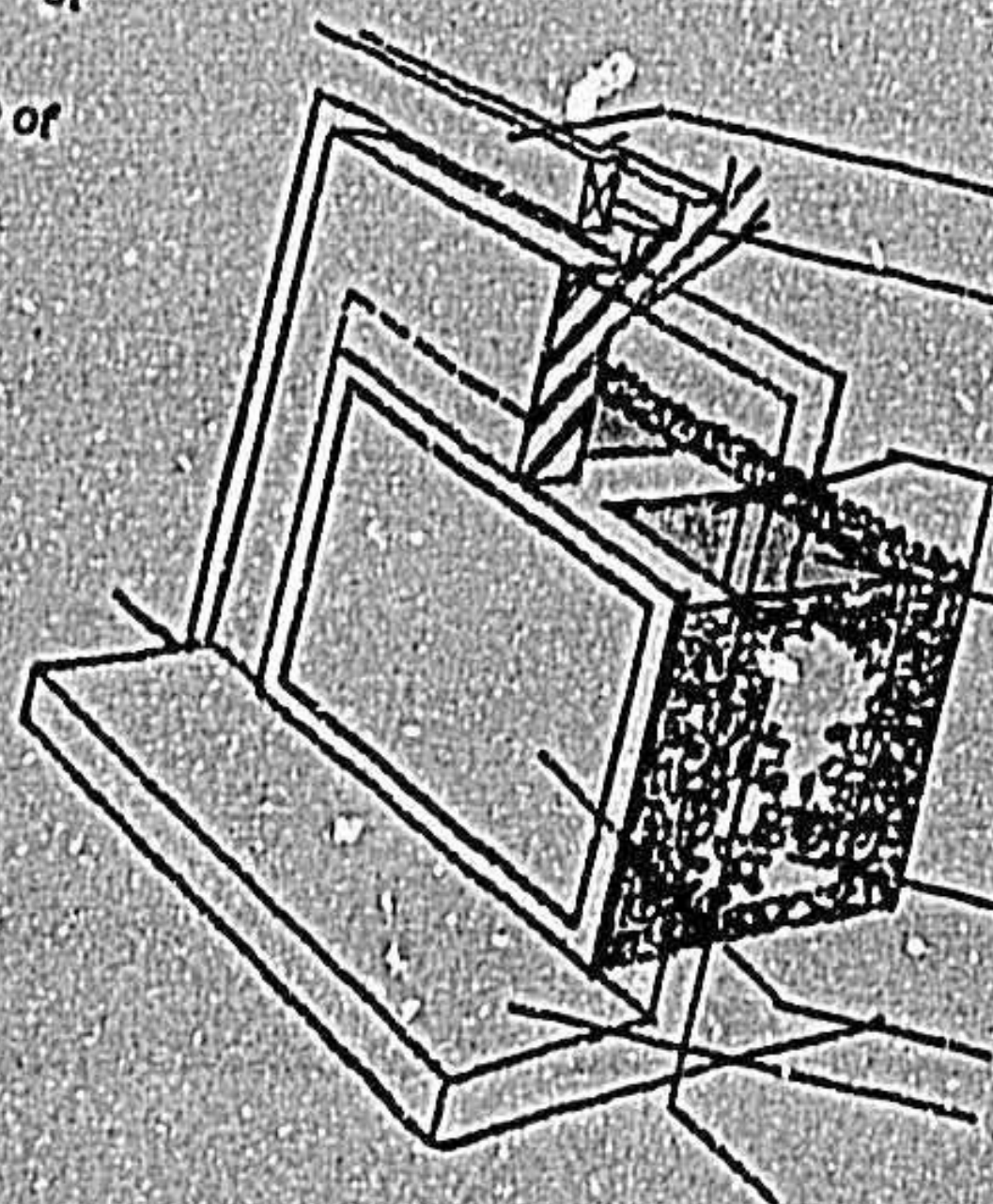
THE FIREPLACE

Jetmaster installation instructions into existing chimney

- Sweep existing chimney.
- Remove all firebricks.
- Measure width of opening to determine model required.
- Height of opening increased or decreased to suit unit.
- Use 70x10mm steel bar and brickwork for lintel.
- Use brickwork or cement mortar for side infill.
- All gaps around JETMASTER to be fully packed with mineral wool (i.e. Rockwool) by removing damper blade for access.
- Fit JETMASTER into opening.
- Seal around opening of JETMASTER to be airtight.
- Fit weatherproof cowl to top of chimney.



PREPARATION



- Lintel.
- Existing masonry.
- Access to allow mineral wool packing.
- Smoke into existing chimney. No flue required.
- Reduce opening with brick work and cement plaster.
- Cavity to be fully packed with mineral wool (i.e. Rockwool).
- JETMASTER firebox
- Hearth.

Installation must be in accordance with N.Z.S. 7421, 1990 Section 307.

CRC CAA 93016 9/93 (700D).

Zero clearance as per Appendix J 7421 1990.

Agents for:



Auckland:
Wellington:
Christchurch:
Dunedin:

340 Dominion Road, Mt Eden
133 Thorndon Quay
54 Mandeville Street
31 St Andrew Street

HEATSEEKER
FAN FORCED GAS LOG FIRES

Real Flame
GAS LOG FIRES

Phone (nm) 630-3315 Fax 630-3322
Phone - Fax (04) 384-8628
Phone - Fax (03) 348-8011
Phone - Fax (03) 479-0041

JM-EC-1N1 8/12/93



RECOMMENDATIONS

- Always check condition of existing chimney.
- Always position JETMASTER on finished hearth level. Ensure air intake at base of unit is not obstructed.
- Always allow 50mm clearance to any combustible material from edge of firebox (7421 307.8).
- To remove damper (for cleaning purposes) loosen damper bolts, lift out damper blade. Chimney recommended to be swept every year.
- Ensure JETMASTER smoke vents are not obstructed.

CODE COMPLIANCE CERTIFICATE

DISCERN 14.0X 12.0

Section 95, Building Act 2004

CCC NO:	ABA-2009-948	Telephone No:	03 477 4000
APPLICANT		PROJECT	
M H Sutch and G T Langridge C/O Foley Plumbers P O Box 7002 Mornington Dunedin 9040		Work Type: Alterations/Repairs Intended Use/Description of Work: Install Heater - Ecomax Pellet Boiler	
PROJECT LOCATION		Intended Life: Indefinite, not less than 50 years. This CCC also applies to the following Amended Consents: N/A	
35 Brownville Crescent Dunedin			
LEGAL DESCRIPTION			
Legal Description: PT LOT 13 BLK II DP 67 Valuation Roll No: 26860-07000 Building Name: N/A			

The Building Consent Authority named above is satisfied, on reasonable grounds, that:

- (a) The building work complies with the Building Consent, and
- (b) The specified systems in the building are capable of performing to the performance standards set out in the Building Consent.

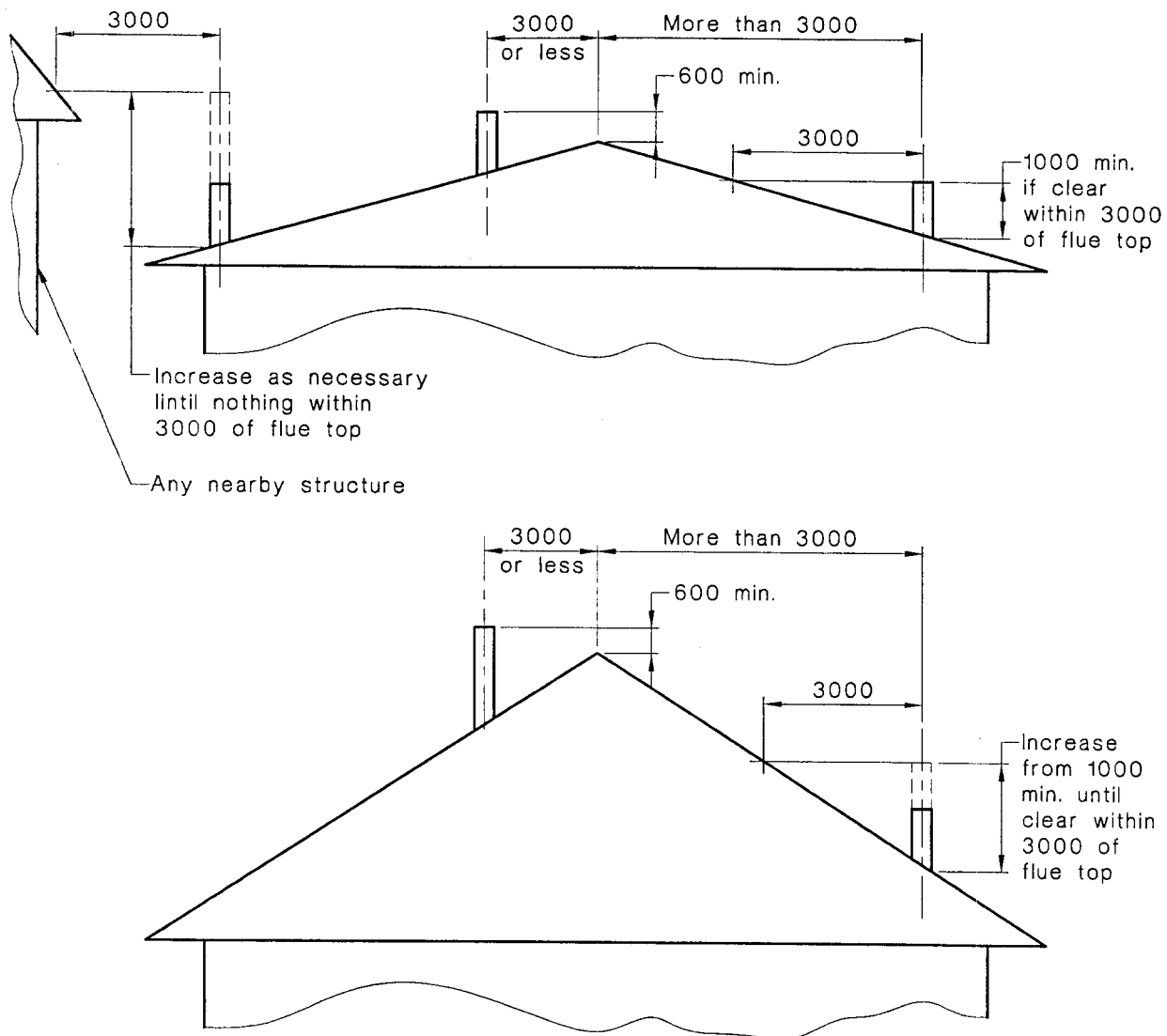
☐ Compliance Schedule attached

Signed for and on behalf of the Council:



TEAM LEADER INSPECTIONS

Date: 6 December 2010



DIMENSIONS IN MILLIMETRES

DUNEDIN CITY COUNCIL
APPROVED BUILDING CONSENT DOCUMENTS

FIGURE 4.9 MINIMUM HEIGHT OF FLUE SYSTEM EXIT

2009

948

4.11 FLUE PIPES IN CHIMNEYS

For appliances discharging combustion products through a chimney, the chimney shall be inspected for soundness and thoroughly cleaned before a flue pipe is installed. The air gap between the flue pipe and the chimney shall be open at the top of the chimney to the extent that the total opening area is not less than 10 000 mm². The chimney exit shall be fitted with means to prevent significant ingress of water and debris, and such means shall be constructed and fitted to maintain a total opening area at the chimney exit of not less than 10 000 mm².

The flue pipe shall terminate outside the chimney in accordance with the requirements of Clause 4.9.1.

4.12 FLUE DAMPERS

The appliance installation shall not include a flue damper unless such a device has been approved in writing by the appliance manufacturer.

Under Section 44 of the Building Act 2004 the applicant must be the owner of the land on which building work is contemplated or a person who or which has agreed in writing, whether conditionally or unconditionally, to purchase the land or any leasehold estate or interest in the land, or to take a lease of the land, while the agreement remains in force.

PRIVACY ACT 1993

This information is required by the Building Act 2004 and is used to administer Council's obligations under that Act. It may be disclosed for the purposes specified in that Act, The Local Government Official Information and Meetings Act 1987 and the Privacy Act 1993. You may access and request correction of personal information held about you.

1. Draw a plan accurately locating the heater within the building and the adjacent walls, rooms, windows and doors.
2. Show the location of the existing water cylinder if a wetback/hot water booster is to be fitted.

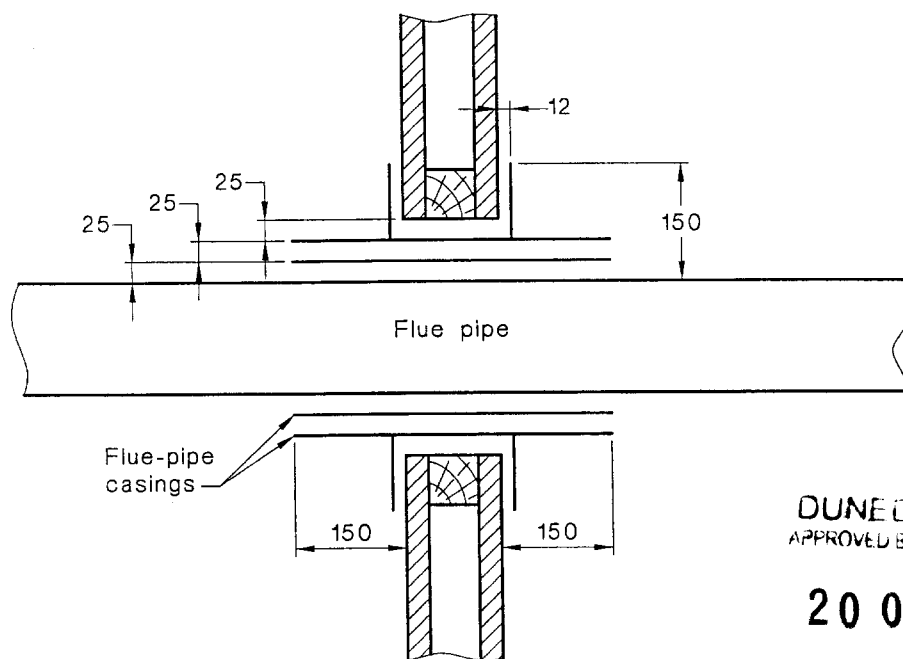
Plan of proposed solid fuel heater at: _____

(c) *Wall penetration*

For wall penetrations, the ventilated double flue-pipe casing shall extend for a distance of not less than 150 mm on both sides from the surface of a heat-sensitive wall through which the flue pipe passes. The outer casing shall be separated from the heat-sensitive material by an air gap of not less than 25 mm. In addition, a shielding plate constructed from metal having a thickness of not less than 0.5 mm shall surround the flue pipe for a distance of not less than 150 mm in all directions, and shall be mounted to both sides of the wall so that it is separated from heat-sensitive material by an air gap of not less than 12 mm.

NOTES:

- 1 The shielding plate may be omitted where a double flue pipe casing extends more than 300 mm on both sides of the wall to be penetrated (see Figure 4.7).
- 2 The specified maximum surface temperature rises specified in Appendix F are only valid for commonly used materials. Uncommon materials with abnormally high heat-sensitivity, e.g. plastic materials, may necessitate an increase in the specified clearances.



DIMENSIONS IN MILLIMETRES

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FIGURE 4.7 TYPICAL EXAMPLE OF WALL PENETRATION FOR AN UNTESTED FLUE-SYSTEM

4.6.4 Shielding plate clearance

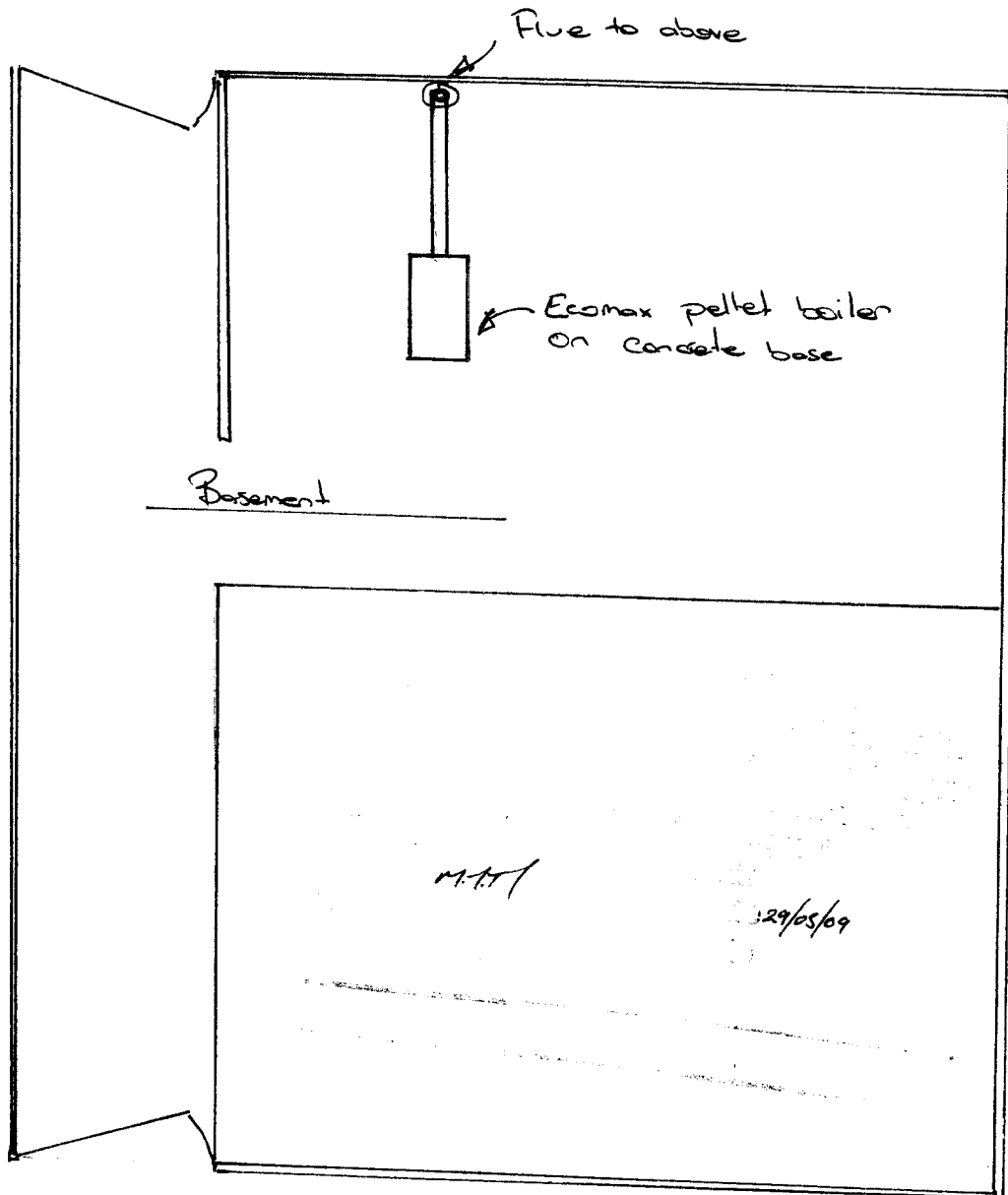
Where the surface of the ceiling, floor or wall is uneven or bumpy, the minimum clearance at any point between the shielding plate and the heat sensitive surfaces shall be the clearance determined by Clause 4.6.3 (a) and (b), as appropriate.

4.7 FLUES WITHIN ATTIC SPACES

All flue-systems installed in an attic space shall comply with the appropriate requirements of Clause 4.5.1 with the exception that unencased flue systems are not permitted.

Brownville Cres.

DOMESTIC SMOKE ALARM
Smoke alarms complying with
the NZBC clause F7 are
required in this building.



Proposed new pellet boiler

DUNEDIN CITY COUNCIL
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35 Brownville Cres.

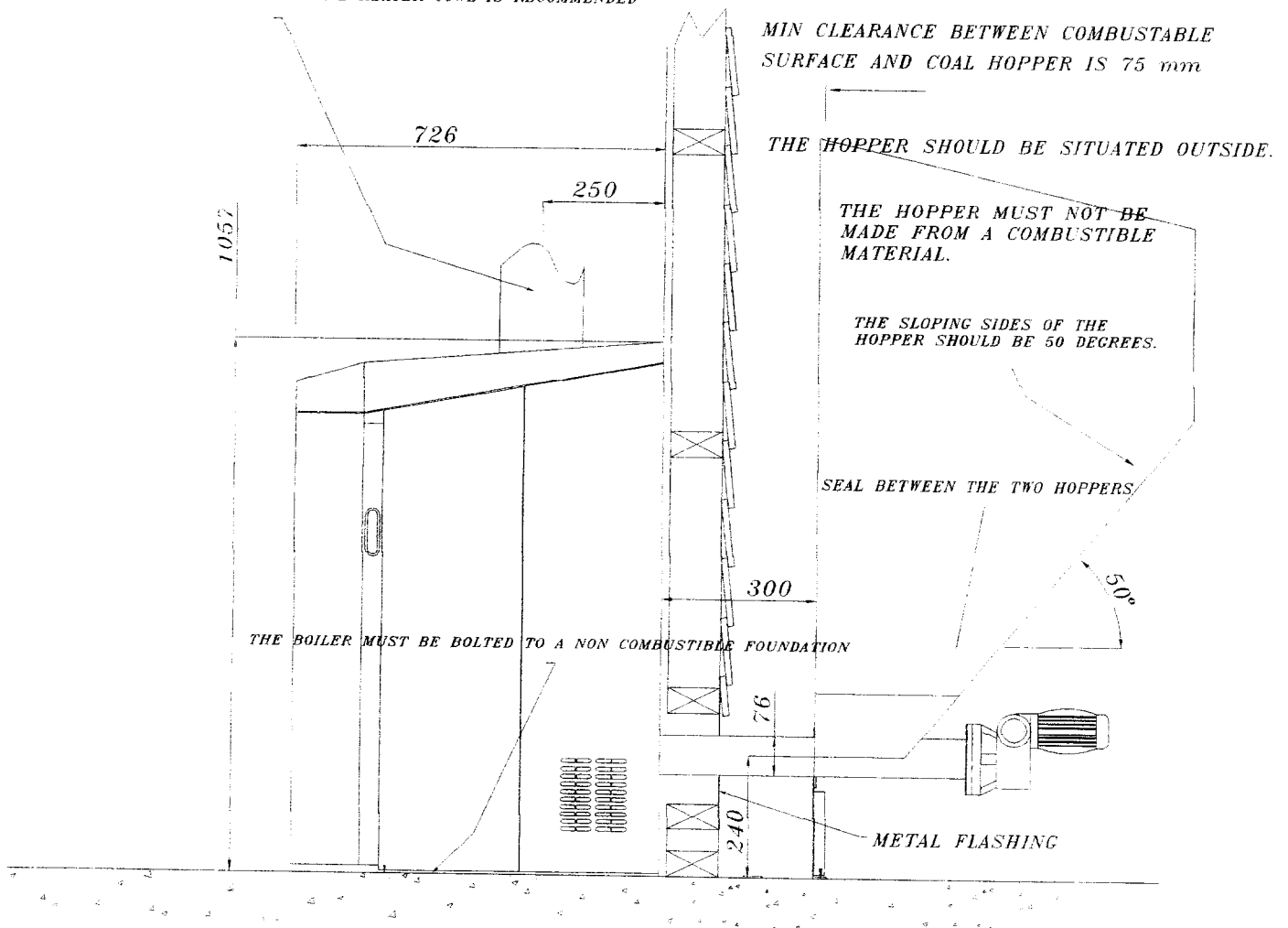
NOTE

DO NOT USE PLASTIC PIPE IN THE SYSTEM
THAT DOES NOT HAVE AN OXYGEN BARRIER
AS THIS WILL CAUSE INTERNAL CORROSION.

DESIGN THE SYSTEM FOR EASE OF COAL LOADING,
IDEALLY A SEPARATE SMALL BOILER HOUSE WITH
PIPES RUNNING UNDER GROUND TO THE HOUSE
WITH THE HOPPER NEXT TO A BANK FOR LOADING.

KEEP HORIZONTAL FLUE SECTIONS TO A MINIMUM AS
ACCUMULATION OF SOOT WILL OCCUR IN THESE AREAS
AND ACCESS FOR CLEANING MUST BE PROVIDED.

STANDARD STAINLESS STEEL 150 mm DIAMETER FLUE
WITH MIN 3 @ 1200 FLUE LENGTHS TOTAL 3.6 METRES IS RECOMMENDED
STANDARD SPACE HEATER COWL IS RECOMMENDED

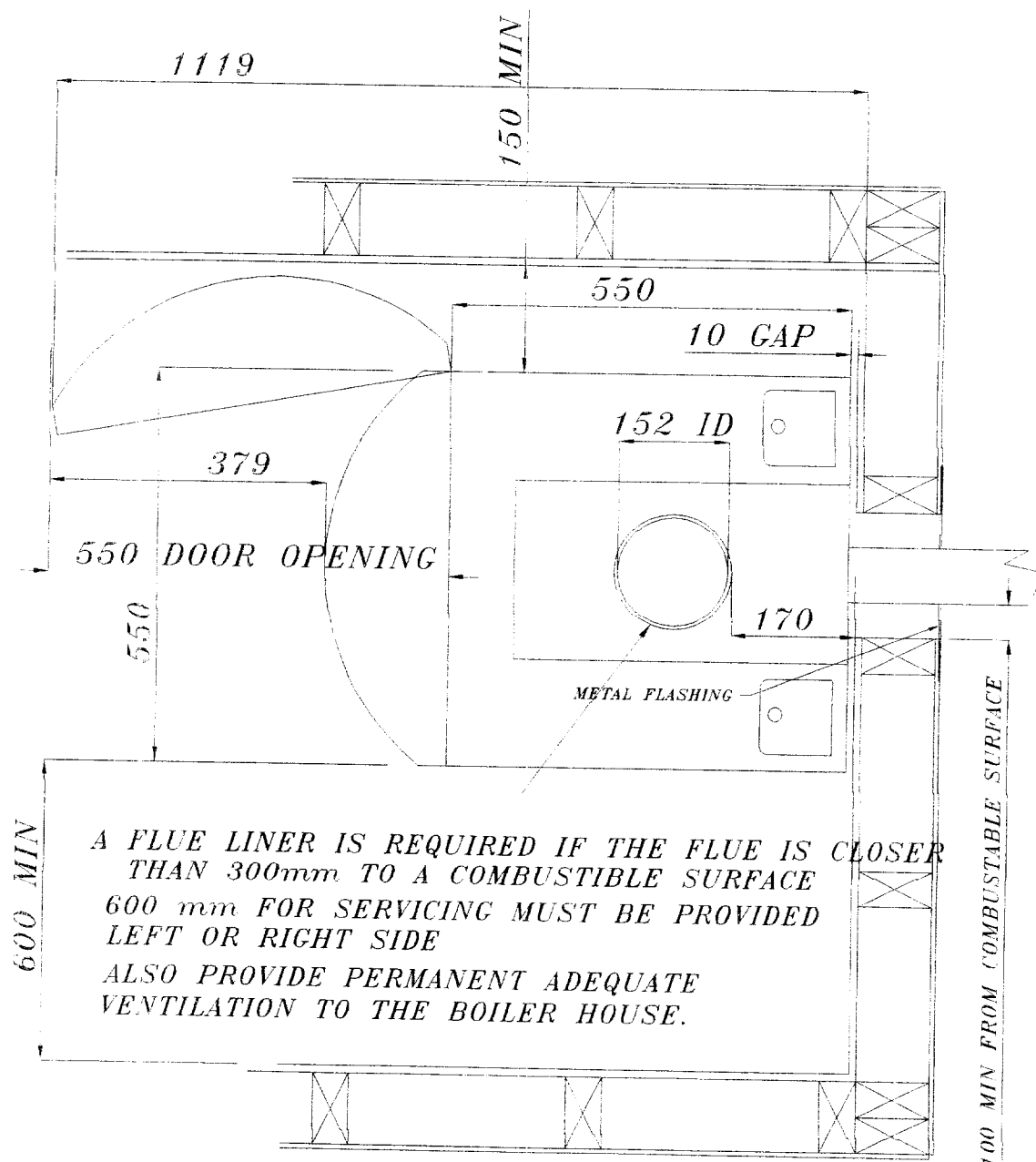


ECOMAX INSTALLATION COAL BOILER

DUNEDIN CITY COUNCIL
APPROVED BUILDING CONSENT DOCUMENTS

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LOCAL COUNCIL REGULATIONS MUST BE FOLLOWED
 AND A PERMIT APPROVED BEFORE INSTALLATIONS.

PLAN

ECOMAX

INSTALLATION

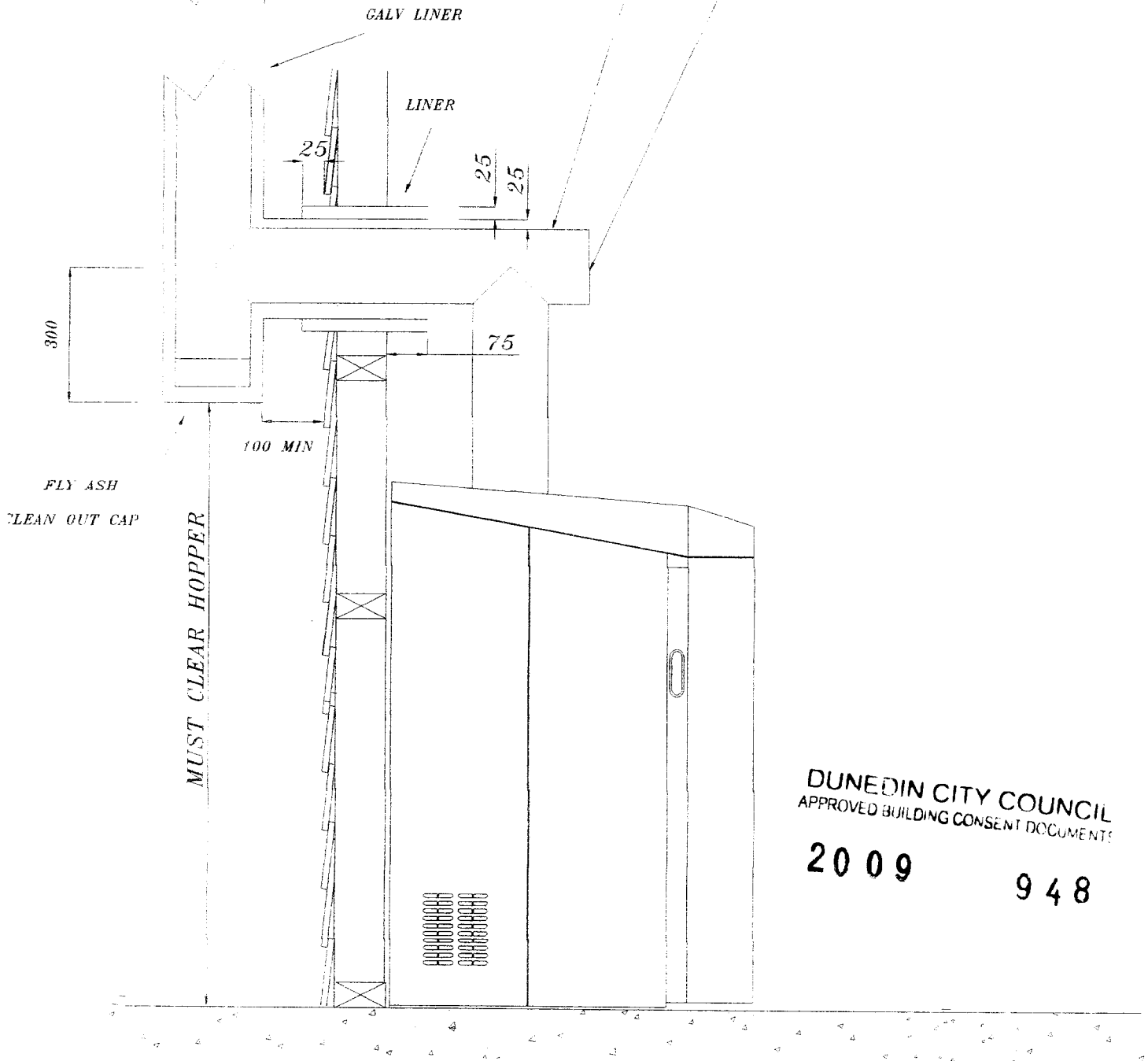
COAL BOILER

PREPARED BY CITY COUNCIL
 APPROVED BUILDING CONSENT DOCUMENT

2009

948

STANDARD STAINLESS STEEL 150 mm DIAMETER FLUE
 100 mm FLUE CAN BE USED IF IT IS 5 METRES OR LONGER
 USE STANDARD SPACEHEATER FLUE INSTALLATION
 IF VENTING THROUGH THE CEILING AND ROOF
 ACCUMULATION OF ASH WILL OCCUR IN HORIZONTAL SECTIONS
 AND ACCESS FOR CLEANING MUST BE PROVIDED.



ECOMAX SIDE VENTED COAL BOILER