

Dunedin City Council – Land Information Memorandum

Property Address: 61 Big Stone Road Brighton

Prepared for: Sonja Natacha Nightingale

Prepared on: 01-Dec-2025

Property Details:

Property ID	5112452
Address	61 Big Stone Road Brighton
Parcels	LOT 1 DP 378151, LOT 2 DP 378151

Disclaimer:

Issued in accordance with Section 44A of the Local Government Official Information and Meetings Act 1987

Should you require further clarification of any of the information listed in this report, please phone our Customer Services Agency on 03 477 4000.

This Land Information Memoranda (LIM) has been prepared in accordance with Sections 44A, 44B, 44C, and 44D of the Local Government Official Information and Meetings Act 1987. It contains only information obtained from the records held by the Dunedin City Council as at 01-Dec-2025

The Dunedin City Council has not carried out an inspection of the land and/or buildings for the purposes of preparing this LIM. The Dunedin City Council records may not show illegal or unauthorised buildings or works on the land. Accordingly this report may not necessarily reflect the current status of the property. Examples of situations which affect the property but are not recorded in this report include: unauthorised work not known to Council and breaches of Consents or Licences that are not the subject of a formal Requisition or Notice. The applicant is solely responsible for ensuring that the land or any building or works on the land is suitable for a particular purpose. The applicant should check the Certificate(s) of Title as this report may not include information that is registered on the Certificate(s) of title. The Certificate(s) of title may record further information or obligations relating to the land.

Further information about this property may be available from other agencies such as the Otago Regional Council, Nova Gas, Telecom New Zealand (Chorus) or Delta Utility Services Limited.

Contents

Dunedin City Council – Land Information Memorandum	1
Property Address: 61 Big Stone Road Brighton	1
Prepared for: Sonja Natacha Nightingale	1
Prepared on: 01-Dec-2025	1
Property Details:.....	1
Disclaimer:.....	1
s44A(2)(a) Information identifying any special feature or characteristics of the land	4
District Plan Hazard Information.....	4
Other Natural Hazard Information.....	4
Flood Hazards	4
Land Stability Hazards	4
Coastal Hazards	4
Seismic Hazards	4
Other Natural Hazards.....	4
Otago Regional Council Hazard Information.....	4
Contaminated Site, Hazardous Substances and Dangerous Goods	4
Contaminated Site Information.....	4
Historic Dangerous Goods Licence(s)	4
Hazardous Substances	4
s44A(2)(b) Information on private and public stormwater and sewerage drains.....	5
Drainage	5
Foul Sewer and Waste Water	5
Public Sewer Sheets.....	5
Dunedin City Council Private Drainage plans incomplete	5
s44A(2)(bb) Information Council holds regarding drinking water supply to the land	5
Water Supply	5
s44A(2)(c) Information relating to any rates owing in relation to the land	6
Rates Details	6
Rates Assessment Details	6
s44A(2)(d) Consents, Certificates, Notices, Orders or Requisitions affecting the land or any buildings on the land	6
(da) the information required to be provided to a territorial authority under section 362T(2) of the Building Act 2004:s44A and.....	6
(2)(e) Information concerning any Certificate issued by a Building Certifier pursuant to the Building Act 1991 or the Building Act 2004	6
Building and Drainage Consents.....	6
Building and Drainage Permits	7
Building Notices.....	7
Resource Consents	7
Consent Notices.....	9
Alcohol Licensing	9
Health Licensing.....	9
s44A(2)(ea) Information notified under Section 124 of the Weathertight Homes Resolution Services Act 2006	9

s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use	9
District Plan.....	9
District Plan Map	11
s44A(2)(g) Information regarding the land which has been notified to Council by another statutory organisation.....	11
s44A(2)(h) Information regarding the land which has been notified to Council by any network utility operator pursuant to the Building Act 1991 or Building Act 2004	11
Section 44A(3) Information concerning the land as the authority considers, at its discretion, to be relevant.12	
Building Information.....	12
Minimum Floor Levels	12
Planning	12
Resource Consents within 50m of 61 Big Stone Road Brighton.....	12
3 Waters	16
Information Regarding Watercourses	16
Transport	16
Glossary of Terms and Abbreviations.....	18
Consent, Permit, Licence & Complaint types	18
Terms used in Permits & Consents.....	18
General terms	19
Appendices	20

s44A(2)(a) Information identifying any special feature or characteristics of the land

District Plan Hazard Information

Refer to District Plan for Natural Hazards Information section: *s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use.*

Other Natural Hazard Information

Flood Hazards

No information.

Land Stability Hazards

EROSION

Description: Land stability assessment for a proposed subdivision

Reference Number: 10405

Coastal Hazards

No information.

Seismic Hazards

No information.

Other Natural Hazards

No information.

Otago Regional Council Hazard Information

The Regional Council is required to provide information that it holds on Natural Hazards:

<https://www.orc.govt.nz/managing-our-environment/natural-hazards/otago-natural-hazards-database>

Contaminated Site, Hazardous Substances and Dangerous Goods

Contaminated Site Information

No information.

Historic Dangerous Goods Licence(s)

No information.

Hazardous Substances

No information.

WARNING – Change in legislation and management of hazardous substances

On 1 April 2004, all Dunedin City Council Dangerous Goods Licences expired. From this date they became the responsibility of the Environmental Protection Authority (EPA) under the Hazardous Substances and New Organisms Act 1996.

All new licences for hazardous substances were issued by independent Test Certifiers approved by the EPA. The Council no longer holds current information on the use of hazardous substances at these premises and hazardous substances may be present without the Council's knowledge.

The Council was advised by the EPA in 2016 that Worksafe had taken over responsibility for managing Location Test certificates under the Hazardous Substances and New Organisms Act 1996. The EPA no longer hold any information in relation to Location Test Certificates. If you have any questions, please contact Worksafe.

s44A(2)(b) Information on private and public stormwater and sewerage drains

Drainage

Drainage plans on file are indicative only.

Obtaining your own independent review may be required before commencing drainage works.

Foul Sewer and Waste Water

No Services Available

No Dunedin City Council-owned stormwater or foul sewer services are available for connection at the subject property

Public Sewer Sheets

WARNING. Please note that public sewer reticulation sheets are scaled in either Imperial feet or Metric metres. Please check with the Duty Drainage Inspector if in doubt.

Dunedin City Council Private Drainage plans incomplete

WARNING. The Dunedin City Council's private drainage records (plans) prior to 1 January 1993 may be incomplete or not clearly recorded. Owners therefore are advised to carry out work with due care to avoid damage to any private drain not detailed because of the lack of information filed in the Council's records.

s44A(2)(bb) Information Council holds regarding drinking water supply to the land

Water Supply

No reticulated water service available

No Dunedin City Council-owned water services are available for connection at the subject property.

s44A(2)(c) Information relating to any rates owing in relation to the land

Rates Details

Rates Assessment Details

Rate Account	4020182
Address	61 Big Stone Road Brighton
Valuation Number	27901-08108

Latest Valuation Details

Capital Value	\$1,190,000
Land Value	\$520,000
Value of Improvements	\$670,000
Area (Hectares)	2.4012HA
Units of Use	1

Current Rates

Current Rating Year Starting	01-Jul-2025
Dunedin City Council Rates	\$3,738.16

Rates Outstanding for Year	\$2,803.62
-----------------------------------	------------

For further explanation on the rate account, or to enquire about information referred to on this page, please contact Rates Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

s44A(2)(d) Consents, Certificates, Notices, Orders or Requisitions affecting the land or any buildings on the land

(da) the information required to be provided to a territorial authority under section 362T(2) of the Building Act 2004:s44A and

(2)(e) Information concerning any Certificate issued by a Building Certifier pursuant to the Building Act 1991 or the Building Act 2004

Building and Drainage Consents

The following consents are recorded for this property:

Status Key:	BC	- Building Consent Issued
	CCC	- Code Compliance Certificate Issued
	Archived	- In accordance with section 93(2)(b) of the Building Act, the consent was reviewed for /CCC code compliance after two years. Compliance with the Building Code could not be established and therefore the Code Compliance Certificate has been refused.
	Refused	
	Lapsed	- Work has not commenced and no extension of time applied for within 12 months of date of consent issue. Consent is of no further effect

NOTE: This is not a comprehensive list of all building consent statuses

[**ABA-2013-1214**](#) Building Consent - Erect Dwelling with Attached Garage, Install Yunca Monte

Fire in Dwelling, Install Septic Tank System and Rainwater Tank System

Lodgement Date 25-Jun-2013

Decision Granted

Decision Date 26-Jul-2013

Current Status **CCC Issued**

Previous Number

(Applications before 2007)

[**ABA-2021-1237**](#) Building Consent - Erect 3 Bay Garage

Lodgement Date 08-Jun-2021

Decision Granted

Decision Date 06-Jul-2021

Current Status **CCC Issued**

Previous Number

(Applications before 2007)

Building and Drainage Permits

There are no Building or Drainage Permits recorded for this property. In some instances permits may have been recorded as building consents, please also check the consent section of the LIM.

Building Notices

No Building Notices

Resource Consents

The following Resource Consent(s) are recorded for this property:

[**RMA-2006-370341**](#) - Resource Management Act (Historical Data)

Description THREE LOT SUBDIVISION

Lodgement Date 29-Jun-2006

Decision Granted

Decision Date 23-Aug-2006

Current Status **s224c Issued**

Consent Stages

Type s223 Certificate

Issued Date 05 February 2007

Further Details

Type s224 Certificate

Issued Date 05 February 2007

Further Details

RMA-1991-354791 - Resource Management Act (Historical Data)

Description	6 LOT SUBDIVISION OF LOT 7 DP 21252 Ownr:G J ALLEN / App: PATERSON PITTS BOX 1083 DUNEDIN
Lodgement Date	25-Dec-1991
Decision	Granted
Decision Date	03-Feb-1992
Current Status	Consent Issued
Consent Stages	
Type	s223 Certificate
Issued Date	26 March 1992
Further Details	
Type	s224 Certificate
Issued Date	26 March 1992
Further Details	

RMA-1994-356598 - Resource Management Act (Historical Data)

Description	SUBDIVISION OF LOT 2 DP 22601 Ownr:T B HENDRY
Lodgement Date	20-Oct-1994
Decision	Granted
Decision Date	21-Nov-1994
Current Status	Consent Lapsed
Consent Stages	
Type	s223 Certificate
Issued Date	21 November 1994
Further Details	
Type	s224 Certificate
Issued Date	21 November 1994
Further Details	

SUB-1972-354074 - Subdivision Consent

Description	scheme plan 125 - subdivision of CT OT243/182
Lodgement Date	14-Aug-1973
Decision	Granted
Decision Date	29-Aug-1973
Current Status	Completed

SUB-1988-354627 - Subdivision Consent

Description	scheme plan 447 - subdivision of CT OT9C/1118
Lodgement Date	22-Mar-1988
Decision	Granted
Decision Date	11-May-1988
Current Status	Completed

[SUB-1983-354288](#) - Subdivision Consent

Description	scheme plan 291 - subdivision of CT OT72/220 into three 2ha lots, balance area and road
Lodgement Date	22-Feb-1983
Decision	Granted
Decision Date	11-May-1983
Current Status	Completed

[POL-2022-28](#) - Planning Other Legislation

Description	realign the legal right of way
Lodgement Date	30-May-2022
Decision	Granted
Decision Date	14-Jun-2022
Current Status	Consent Issued

Consent Notices

Consent Notice

The record of title for this property has a consent notice recorded against it:

- CONO 815461

A copy of the consent notice is attached to this LIM. The conditions in the consent notice must be complied with on an ongoing basis.

Alcohol Licensing

There are no records of any Alcohol Licences for this property.

Health Licensing

There are no records of any Health Licences for this property.

s44A(2)(ea) Information notified under Section 124 of the Weathertight Homes Resolution Services Act 2006

No information.

s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use

District Plan

The information on district plan requirements is correct at the date this LIM is issued. Note that the Dunedin City Second Generation District Plan (“The 2GP”) is subject to change at any time. To check whether any changes have occurred since the date this LIM was issued, consult the information and relevant planning maps in the 2GP, which can be found on our website at <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan> as well as at all Dunedin City Council service centres and libraries.

SECOND GENERATION DISTRICT PLAN INFORMATION

Zoning

- Rural Residential 1 (refer Section 17, Rural Residential)

Scheduled Items

- Nil

Overlay Zones

- Nil

Mapped Areas

- Nil

Dunedin currently has an Operative Dunedin City District Plan, and the Proposed Second Generation Dunedin City District Plan (2GP). Accordingly, both of these plans may affect the development potential of this site and surrounding properties.

As a general principle, rules in the 2GP must be considered along with the rules of the Operative District Plan until such time as the rules of the 2GP become operative, or are treated as operative. The policies and objectives of both plans should also be considered.

The 2GP was publicly notified on Saturday 26 September 2015. The submission period closed on Tuesday 24 November 2015. Decisions on the 2GP were released on Wednesday 7 November 2018. The appeal period closed on Wednesday 19 December 2018. The schedule of appeals can be viewed at <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan/appeals-received-on-the-2gp>.

You are advised to refer to our website to determine which rules in the 2GP have legal effect or are fully operative, and to determine which rules in the Operative District Plan are now inoperative.

The 2GP is subject to change at any time. Variation 2 (Additional Housing Capacity) to the 2GP was notified on Wednesday 3 February 2021. No rule changes proposed in Variation 2 had legal effect from the date of notification. Rules that did not have submissions in opposition to them are deemed operative.

Please refer to our website for more information on Variation 2 at

<https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan/plan-change-dis-2021-1-variation-2>

Further rules will come into legal effect and/or become fully operative at the release of decisions and the resolution of appeals.

You should check with the Council whether any changes have occurred since the date this LIM report was issued. The information provided with this LIM on district plan requirements is applicable as at the date this LIM is issued: there may be changes to the district plan rules following the release of this LIM that may affect this site and surrounding properties.

You should ensure that you consult the information and relevant planning maps in the Operative District Plan which can be found on our website at <https://www.dunedin.govt.nz/council/district-plan/district-plan-2006> and the 2GP which can be found on our website at <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan> as well as at all Dunedin City Council service centres and libraries.

OPERATIVE DISTRICT PLAN INFORMATION

Zoning

This property is zoned as follows in the District Plan.

Zone

RURAL RESIDENTIAL

Indigenous Vegetation and Fauna - Interim Rule 16.6.2

Rule 16.6.2 applies in the Rural and Rural Residential zones, but not in any Urban Landscape Conservation Area. The rule imposes controls on the clearance or modification of indigenous vegetation, and on earthworks in respect of coastal habitat, wetland, skink habitat and indigenous vegetation. Also refer to Planning Map 79.

Type

5.0ha

Noise

This property is located in a Noise Area where the noise limits outlined below apply. Rule 21.5.1(i)(b) also specifies a maximum noise limit of 75 dBA Lmax between 9.00 pm on any night and 7.00 am the following day measured at the boundary of the site or within any other site. Note that some activities have a resource consent or existing use rights that allow these limits to be exceeded. Some activities are also exempted from noise limits. Furthermore, the actual limits that apply will also depend on whether this site adjoins a Noise Area Boundary and whether there are Special Audible Characteristics. Refer to Section 21.5 of the District Plan for further details. Every occupier of land is also under a general duty to adopt the best practicable option to ensure that the emission of noise from land does not exceed a reasonable level.

Noise Zone

55 Dt/40Nt dBA within 50m of a residence

District Plan Map

The District Plan map is available [online here](#). Instructions on how to use the map are [available here](#).

You can also access the District Plan map and instructions by visiting the Dunedin City Council 2GP Website at:

<https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan>

s44A(2)(g) Information regarding the land which has been notified to Council by another statutory organisation

No information.

s44A(2)(h) Information regarding the land which has been notified to Council by any network utility operator pursuant to the Building Act 1991 or Building Act 2004

No information.

Section 44A(3) Information concerning the land as the authority considers, at its discretion, to be relevant.

Building Information

Drainage

Form 5 (building consent) copy

This property contains building consent application/s where a copy of the building consent (Form 5) is not able to be provided.

This may be due to the age of the consent and/or processes that were in place at the time.

Minimum Floor Levels

Clause E1.3.2 of the New Zealand Building Code requires that surface water, resulting from an event having a 2% probability of occurring annually, shall not enter buildings. This requirement applies to Housing, Communal Housing, Communal Residential and Communal non-residential buildings. For guidance when establishing minimum floor levels please refer to : <https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels> and for links to specific areas:

<https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels/mfl-guidance>

For further explanation on the current status of any consent, or to enquire about information referred to on this page, please contact Building Control Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

Planning

Resource Consents within 50m of 61 Big Stone Road Brighton

5044435 117 Big Stone Road Brighton

[SUB-1988-354627](#) Subdivision Consent scheme plan 447 - subdivision of CT OT9C/1118. The outcome was Granted on 11/05/1988.

[SUB-1972-354074](#) Subdivision Consent scheme plan 125 - subdivision of CT OT243/182. The outcome was Granted on 29/08/1973.

[SUB-1983-354288](#) Subdivision Consent scheme plan 291 - subdivision of CT OT72/220 into three 2ha lots, balance area and road. The outcome was Granted on 11/05/1983.

5066890 105 Big Stone Road Brighton

[SUB-1988-354627](#) Subdivision Consent scheme plan 447 - subdivision of CT OT9C/1118. The outcome was Granted on 11/05/1988.

[SUB-1972-354074](#) Subdivision Consent scheme plan 125 - subdivision of CT OT243/182. The outcome was Granted on 29/08/1973.

[SUB-1983-354288](#) Subdivision Consent scheme plan 291 - subdivision of CT OT72/220 into three 2ha lots, balance area and road. The outcome was Granted on 11/05/1983.

[RMA-1998-361725](#) Resource Management Act (Historical Data) SHED WITH FRONT YARD ENCROACHMENT (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 02/03/1998.

5069103 63 Big Stone Road Brighton

[RMA-2006-370343](#) Resource Management Act (Historical Data) LAND USE CONSENT FOR RESIDENTIAL ACTIVITY ON BALANCE SITE CREATED BY RMA 2006-0561 (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 23/08/2006.

[RMA-2006-370341](#) Resource Management Act (Historical Data) THREE LOT SUBDIVISION (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 23/08/2006.

[5069544 97 Big Stone Road Brighton](#)

[SUB-1988-354627](#) Subdivision Consent scheme plan 447 - subdivision of CT OT9C/1118. The outcome was Granted on 11/05/1988.

[SUB-1972-354074](#) Subdivision Consent scheme plan 125 - subdivision of CT OT243/182. The outcome was Granted on 29/08/1973.

[SUB-1983-354288](#) Subdivision Consent scheme plan 291 - subdivision of CT OT72/220 into three 2ha lots, balance area and road. The outcome was Granted on 11/05/1983.

[5100861 57 Big Stone Road Brighton](#)

[POL-2022-28](#) Planning Other Legislation realign the legal right of way. The outcome was Granted on 14/06/2022.

[SUB-1988-354627](#) Subdivision Consent scheme plan 447 - subdivision of CT OT9C/1118. The outcome was Granted on 11/05/1988.

[SUB-1972-354074](#) Subdivision Consent scheme plan 125 - subdivision of CT OT243/182. The outcome was Granted on 29/08/1973.

[SUB-1983-354288](#) Subdivision Consent scheme plan 291 - subdivision of CT OT72/220 into three 2ha lots, balance area and road. The outcome was Granted on 11/05/1983.

[RMA-1994-356598](#) Resource Management Act (Historical Data) SUBDIVISION OF LOT 2 DP 22601 Ownr:T B HENDRY (Non-Notified - Non Complying). This consent has since Lapsed.

[RMA-1991-354791](#) Resource Management Act (Historical Data) 6 LOT SUBDIVISION OF LOT 7 DP 21252 Ownr:G J ALLEN / App: PATERSON PITTS BOX 1083 DUNEDIN (Non-Notified - Non Complying). The outcome was Granted on 03/02/1992.

[5100862 49 Big Stone Road Brighton](#)

[SUB-1988-354627](#) Subdivision Consent scheme plan 447 - subdivision of CT OT9C/1118. The outcome was Granted on 11/05/1988.

[SUB-1972-354074](#) Subdivision Consent scheme plan 125 - subdivision of CT OT243/182. The outcome was Granted on 29/08/1973.

[SUB-1983-354288](#) Subdivision Consent scheme plan 291 - subdivision of CT OT72/220 into three 2ha lots, balance area and road. The outcome was Granted on 11/05/1983.

[RMA-1995-358605](#) Resource Management Act (Historical Data) CERTIFICATE OF COMPLIANCE - PROPOSED NEW DWG (Other). The outcome was Granted on 06/08/1995.

[RMA-1991-354791](#) Resource Management Act (Historical Data) 6 LOT SUBDIVISION OF LOT 7 DP 21252 Ownr:G J ALLEN / App: PATERSON PITTS BOX 1083 DUNEDIN (Non-Notified - Non Complying). The outcome was Granted on 03/02/1992.

[5102727 133 Big Stone Road Brighton](#)

[LUC-2013-375](#) Land Use Consent establish a dwelling. The outcome was Granted on 09/10/2013.

[SUB-1986-354521](#) Subdivision Consent scheme plan 399. The outcome was Granted on 28/07/1986.

[SUB-1985-354434](#) Subdivision Consent subdivision. The outcome was Declined on 11/09/1985.

[RMA-1998-362154](#) Resource Management Act (Historical Data) TO ALLOW DWGS TO BE ERECTED ON 2 RURAL SITES LESS THAN 15 HA IN AREA WITHIN NEXT 10 YEARS - CHEQUE/WEBB FARRY TRUST (Non-Notified - Non Complying). The outcome was Granted on 09/04/1999.

[RMA-1999-363258](#) Resource Management Act (Historical Data) TO CHANGE A CONDITION OF CONSENT NUMBER 980579 TO AMEND THE LOCATION OF A DWELLING Hazards Comments: (Other). The outcome was Granted on 27/08/1999.

[RMA-1993-355851](#) Resource Management Act (Historical Data) Subdivision creating three rural residential lots Ownr:D B & H M IRVINE / App: D B & H M IRVINE (Non-Notified - Non Complying). The outcome was Granted on 16/12/1993.

[5111826 155 Big Stone Road Brighton](#)

[SUB-1986-354521](#) Subdivision Consent scheme plan 399. The outcome was Granted on 28/07/1986.

[SUB-1985-354434](#) Subdivision Consent subdivision. The outcome was Declined on 11/09/1985.

[RMA-2006-369939](#) Resource Management Act (Historical Data) CHANGE OF CONDITION TO RMA 2005-0592 (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 16/03/2006.

[RMA-2004-368207](#) Resource Management Act (Historical Data) TWO (2) LOT SUBDIVISION (Non-Notified - Restricted Discretionary). The outcome was Granted on 26/10/2004.

[RMA-2005-369200](#) Resource Management Act (Historical Data) ESTABLISH RESIDENTIAL ACTIVITY ON UNDERSIZED RURAL ALLOTMENTS (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 10/08/2005.

[RMA-1993-355851](#) Resource Management Act (Historical Data) Subdivision creating three rural residential lots Ownr:D B & H M IRVINE / App: D B & H M IRVINE (Non-Notified - Non Complying). The outcome was Granted on 16/12/1993.

[5112451 63 Big Stone Road Brighton](#)

[POL-2022-28](#) Planning Other Legislation realign the legal right of way. The outcome was Granted on 14/06/2022.

[SUB-1988-354627](#) Subdivision Consent scheme plan 447 - subdivision of CT OT9C/1118. The outcome was Granted on 11/05/1988.

[SUB-1972-354074](#) Subdivision Consent scheme plan 125 - subdivision of CT OT243/182. The outcome was Granted on 29/08/1973.

[SUB-1983-354288](#) Subdivision Consent scheme plan 291 - subdivision of CT OT72/220 into three 2ha lots, balance area and road. The outcome was Granted on 11/05/1983.

[RMA-2006-370343](#) Resource Management Act (Historical Data) LAND USE CONSENT FOR RESIDENTIAL ACTIVITY ON BALANCE SITE CREATED BY RMA 2006-0561 (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 23/08/2006.

[RMA-2006-370341](#) Resource Management Act (Historical Data) THREE LOT SUBDIVISION (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 23/08/2006.

[RMA-1991-354791](#) Resource Management Act (Historical Data) 6 LOT SUBDIVISION OF LOT 7 DP 21252 Ownr:G J ALLEN / App: PATERSON PITTS BOX 1083 DUNEDIN (Non-Notified - Non Complying). The outcome was Granted on 03/02/1992.

[5112453 47 Big Stone Road Brighton](#)

[SUB-1988-354627](#) Subdivision Consent scheme plan 447 - subdivision of CT OT9C/1118. The outcome was Granted on 11/05/1988.

[SUB-1972-354074](#) Subdivision Consent scheme plan 125 - subdivision of CT OT243/182. The outcome was Granted on 29/08/1973.

[SUB-1983-354288](#) Subdivision Consent scheme plan 291 - subdivision of CT OT72/220 into three 2ha lots, balance area and road. The outcome was Granted on 11/05/1983.

[RMA-2006-370341](#) Resource Management Act (Historical Data) THREE LOT SUBDIVISION (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 23/08/2006.

[RMA-1994-356598](#) Resource Management Act (Historical Data) SUBDIVISION OF LOT 2 DP 22601 Ownr:T B HENDRY (Non-Notified - Non Complying). This consent has since Lapsed.

[RMA-1995-358636](#) Resource Management Act (Historical Data) ERECT DOUBLE GARAGE (Non-Notified - Restricted Discretionary). The outcome was Granted on 29/08/1995.

[RMA-1991-354791](#) Resource Management Act (Historical Data) 6 LOT SUBDIVISION OF LOT 7 DP 21252 Ownr:G J ALLEN / App: PATERSON PITTS BOX 1083 DUNEDIN (Non-Notified - Non Complying). The outcome was Granted on 03/02/1992.

The information provided with this LIM on District Plan requirements and resource consents has been verified by City Planning in relation to the subject property only. All information included in relation to other land surrounding the site is indicative.

Accuracy of Boundaries

Knowing the true location of the property boundaries on the ground is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. Please note that the Council's aerial photographs may not accurately depict the extent of the property. The Record of Title for the site should be checked in the first instance. A surveyor may need to be consulted to establish the true location of the title boundaries on the ground.

Access to Site

The legality of any access to the site is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. It is recommended that the Record of Title and/or a lawyer be consulted regarding the legality of any legal and/or physical access to the site (and the maintenance thereof).

Heritage New Zealand Pouhere Taonga Act 2014

The Heritage New Zealand Pouhere Taonga Act 2014 applies in addition to any protection provided to a building or site by the District Plan. The Heritage New Zealand Pouhere Taonga Act 2014 makes it unlawful for any person to destroy, or modify the whole or any part of an archaeological site, whether or not the land on which the site is located is designated, or a resource or building consent has been issued, without the prior authority of Heritage New Zealand. The Heritage New Zealand Pouhere Taonga Act 2014 defines an archaeological site as a place associated with pre-1900 activity, where there may be evidence relating to the history of New Zealand. Pre-1900 buildings are considered archaeological sites under the Heritage New Zealand Pouhere Taonga Act 2014 and are also often associated with subsurface archaeological remains that provide evidence of pre-existing use of the site. Council records may not necessarily identify the precise date upon which an existing building was constructed. Contact the Dunedin office of Heritage New Zealand for further information: infodeepsouth@heritage.org.nz; 03 477 9871.

Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011

The Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011 came into force on 1 January 2012. The National Environmental Standard applies to any piece of land on which an activity or industry described in the current edition of the Hazardous Activities and Industries List (HAIL) is being undertaken, has been undertaken or is more likely than not to have been undertaken. (The current edition of the HAIL is available on the Ministry for the Environment website at www.mfe.govt.nz.) Activities on HAIL sites may need to comply with permitted activity conditions specified in the National Environmental Standard and/or might require resource consent. (The Otago Regional Council should also be consulted for any rules in might have in regards to the use or development of contaminated sites.)

If a person wishes to establish whether a piece of land has had hazardous activities or industries conducted on it, and thus whether activities on that land are controlled by the National Environmental Standard, then the person must pay for a review of the information about the land held by the Council, or pay for a suitably qualified and experienced practitioner to undertake a preliminary site inspection. Formal confirmation from the Council that resource consent is not required under the National Environmental Standard can only be given through a certificate of compliance application.

If you would like a copy of any Resource Consent decision or advice on the current status and relevance of any planning matter referred to in the LIM, enquiries may be made at the Planning Enquiries desk on the Ground Floor of the Civic Centre, 50 The Octagon, or by phoning 477 4000 and asking for the Duty Planner. Planners are available at the Planning Enquiries desk to answer your enquiries between 8:30am and 5:00pm weekdays.

3 Waters

Information Regarding Watercourses

The controlling authority for all water and waterbodies in Dunedin City is the Otago Regional Council. The Regional Plan: Water addresses water take and use, diversions, damming, discharges and bed alteration under the Resource Management Act 1991. They are also responsible for the Flood Protection Management Bylaw 2012.

The controlling authority for watercourses in relation to stormwater drainage, and removal of obstructions in accordance with Local Government Act 1974 is the Dunedin City Council. The Council also issues building and resource consents for certain works around watercourses.

Not all watercourses within Dunedin City are recorded or known to the Council, therefore it is recommended that the applicant inspect the property for watercourses.

For further information on watercourses it is recommended the applicant read the Watercourse Information Sheet. A copy of this document is available on request or for download from the Dunedin City Council website www.dunedin.govt.nz.

Environmental Health

Unknown Water Supply

It is believed that this property is serviced by a private water supply. The state of this supply is unknown. As such it is recommended that the water supply be assessed for safety/quality. Advice on water quality can be obtained from Public Health South.

Transport

DCC Transport has carried out a desktop inspection of this property and found the following:

Vehicle crossing - shared vehicle access.

It appears that the vehicle access to this property is via a shared driveway. Please consult with your Lawyer to find out if this is registered under your property title and/or there is a formal agreement in place between the owners/users of all private accesses in order, to clarify maintenance responsibilities and access permission for the owners/users.

Non-compliant vehicle crossing – not sealed for the first 5 metres.

To meet current Council standards the vehicle crossing would be required to be hard surfaced from the edge of the carriageway to 5m inside the property boundary. This requirement is to prevent debris migrating from inside the property out onto the footpath and/or carriageway. Council accepts this situation but accepts no liability and points out that maintenance is the responsibility of the property owner. The Council may require this to be addressed in the future.

Vehicle access to this property appears to be over adjacent property.

Private stormwater lateral.

Private stormwater laterals collect stormwater from private properties guttering and runs under the footpath to the kerb and channel on the roadside. The stormwater laterals are private pipes and are the responsibility of the landowner who they service, the repair and maintenance of these pipe's rests solely with the property owner. As the landowner you must maintain your stormwater lateral to ensure that it doesn't become a safety hazard for pedestrians or other road users.

For further explanations on property owner obligations in regard to local road encroachments, vehicle entrances, vegetation management or retaining structures please refer to the Dunedin City Council website at <http://www.dunedin.govt.nz/services/roads-and-footpaths> or contact Transport on 477 4000.

For properties abutting the state highway, Waka Kotahi NZ Transport Agency is the Road Controlling Authority.

Glossary of Terms and Abbreviations

The following are abbreviations and terms that may appear as a part of a LIM.

Consent, Permit, Licence & Complaint types

AAB	DCC Building permit
AAD	DCC Drainage permit
AAG	Green Island drainage permit
AAH	Hyde permit
AAK	St Kilda permit
AAM	Mosgiel permit
AAP	Port Chalmers permit
AAS	Silverpeaks permit
AAT	Maniototo permit
ABA	Application Building Act 1991
AMD	Amendment to a Building Consent
BC	Building Consent
BCC	Building Compliance Certificate - Sale and Supply of Alcohol Act
BCM	Building Complaint
CER	Certifier
COA	Certificate of Acceptance
DGL	Dangerous Goods Licensing
ENV	Health complaint
HTH	Health licence
LIQ	Alcohol licence
NTF	Notice to Fix
NTR	Notice to Rectify
PIM	Project Information Memorandum
POL	Planning Other Legislation
RMA	Resource Management Act - Resource consent
RMC	Resource consent complaint
WOF	Building Warrant of Fitness

Terms used in Permits & Consents

ALT	Alteration
ADD	Addition
BD D/C	Board drain in common
BLD	Building
BLDNG	Building
BT	Boundary trap
B/T	Boiler tube
CCC	Code Compliance Certificate
DAP	Drainage from adjacent property
DGE	Drainage
DIC	Drain in common
DR	Drainage
DWG	Dwelling
FS	Foul sewer

HEA	Heater
ICC	Interim Code Compliance
MH	Manhole
PL	Plumbing
PLB	Plumbing
PTE	Private
SIS	Sewer in section
WC	Water course
WT	Water table
SW	Stormwater

General terms

RDMS Records and Document Management System

Appendices



Photographic Map

Scale at A4:
1:2,500
24/11/2025
8:05:53 PM



PARCEL LINES CAN VARY FROM
LEGAL PARCEL BOUNDARIES
This map is for illustration purposes only
and is not accurate to surveying, engineering
or orthophotographic standards. Every effort
has been made to ensure correctness and
timeliness of the information presented.

2018-2019 Urban, Copyright DCC/Aerial Surveys
Ltd, Rural, ORC/Aerial Surveys Ltd, CC BY 4.0 NZ
2013 Urban and rural photography Jan/Feb 2013.
Copyright DCC, CC BY 3.0 NZ
2006/2007 Urban photography March 2007,
copyright NZAM, Rural photography March
2006, copyright Terainika International Ltd.

Legend

Water Supply

- NR ► Water Non-Return Valve
- * Water Pump Station
- Water Bore
- Water Treatment Plant
- Water Storage Tank
- Supply Main
- Trunk Main
- Disused
- Reticulation
- Rider
- Scour
- Water Service Lateral
- Water Fire Service Lateral
- Water Critical Service Lateral
- Water Zone Boundary
- Water Reservoir
- Redundant Water Main

NOTE: Private water services have the same symbols as those above, however they are coloured pink.

Foul Sewerage

- Pump Station
- Treatment Plant
- Vent
- Foul Sewer Node
- Foul Drains in Common (public)
- Pump Station Domestic
- Sewer
- Trunk Sewer
- Vent Line
- Rising Main
- Lamphole
- Outlet

NOTE: Private foul drains have the same symbols as those above, however they are coloured orange.

Stormwater

- Roading Bubble-Up Tank
- Roading Mudtank
- Stormwater Main
- Stormwater Trunk Main
- DCC Open Channel
- Piped WC
- Open WC
- Culvert
- Stormwater Mudtank Pipe
- Redundant Stormwater Main
- SW Sump
- SW Pump Station

NOTE: Private stormwater drains have the same symbols as those above, however they are coloured light green.

General

- DCC Water & Waste Structure
- Road/Rail
- Hydro
- Motorway Parcels
- Railway Centreline
- Strata
- Easement (where recorded)

Full legend can be viewed at <https://www.dunedin.govt.nz/council-online/webmaps/waterservices>



Council Water & Drainage Services

Information shown is the best available at the time of publishing. The accuracy and completeness of this information is variable. Private assets are typically not mapped. Recent changes may not be reflected. Verify on site before commencing work. For all enquiries phone 03 477 4000.

Scale at A4:

1:5,000

24/11/2025
8:05:59 PM



PARCEL LINES CAN VARY FROM
LEGAL PARCEL BOUNDARIES
This map is for illustration purposes only
and is not accurate to surveying, engineering
or orthophotographic standards. Every effort
has been made to ensure correctness and
timeliness of the information presented.

2018-2019 Urban, Copyright DCC/Aerial Surveys
Ltd, Rural, ORC/Aerial Surveys Ltd. CC BY 4.0 NZ

2013 Urban and rural photography Jan/Feb 2013.
Copyright DCC. CC BY 3.0 NZ

2006/2007 Urban photography March 2007,
copyright NZAM, Rural photography March
2008, copyright Terialink International Ltd.

CODE COMPLIANCE CERTIFICATE

DCCBCA-F4-07-v3.0

Section 95, Building Act 2004

CCC NO:	ABA-2013-1214	Telephone No:	03 477 4000
APPLICANT		PROJECT	
Y Den Haring and K V Osborne 76 Ravenswood Road Dunedin 9012		<p>Work Type: New Construction</p> <p>Intended Use/Description of Work: Erect Dwelling with Attached Garage, Install Yunca Monte Fire in Dwelling, Install Septic Tank System and Rainwater Tank System</p>	
PROJECT LOCATION		<p>Intended Life: Indefinite, not less than 50 years.</p>	
LEGAL DESCRIPTION		<p>This CCC also applies to the following Amended Consents: N/A</p>	

The Building Consent Authority named above is satisfied, on reasonable grounds, that:

- (a) The building work complies with the Building Consent, and
- (b) The specified systems in the building are capable of performing to the performance standards set out in the Building Consent.

Compliance Schedule attached

Signed for and on behalf of the Council:



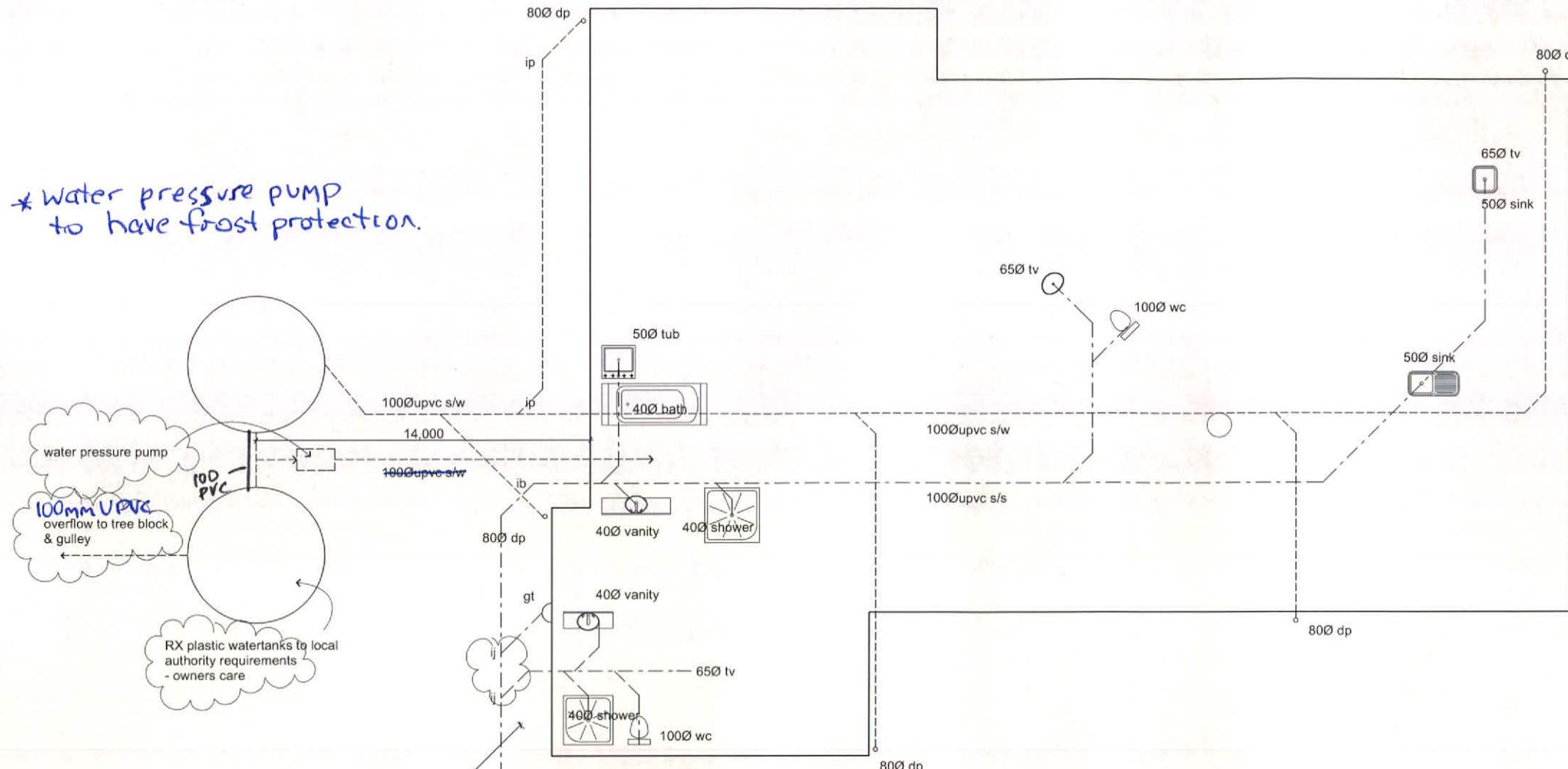
Team Leader Inspections

Date: 9 January 2014

Revised

Endorsements on superseded
plans transfer to this document.

* Water pressure pump to have frost protection.



Drainage grade UPVC recommended for charged downpipes.

DRAINAGE PLAN

Note : Downpipes to be upvc. Spouting to be factory coated or zinc/aluminium allow coated suitable for potable water.

Connect to septic tank -
distribution chamber & filter

To approved effluent field by qualified drainalyer to local authority requirements
- precise location to be confirmed on site prior to excavation

MINIMUM GRADES OF DISCHARGE PIPES	
Size of graded section of pipe DN	Minimum grade %
40	2.5
50	2.5
65	2.5
80	1.65
100	1.65
125	1.25
150	1.00
225	0.65
300	0.40

DRAINAGE NOTES

Trenches should be excavated to allow for adequate depth of bedding, the pipe diameter and the recommended cover. Bedding materials are listed as per AS/NZS 26551.

Minimum Cover

Roads & Streets - 750mm
Driveways & similar areas - 600mm
Footpaths & gardens - 500mm
Construction traffic - 750mm

All stormwater pipes to be 100mm dia. PVC.

Contractor to check & confirm all heights, location, direction, inverts & dimensions prior to commencement of works.
All drainage to AS/NZS 3500 standards & local authority requirements.
Plumber/Drainlayer to provide as built drawings to local authority.

DUNEDIN CITY COUNCIL

Plans and Specifications Approved in accordance
with The New Zealand Building Code and Approved
Documents. To be retained on works

Building Plumbing Health

G1 Sutton
G1 Sutton

Date 26-07-13

NOTE

DCC COPY



All dimensions & underground service locations to be checked prior to commencement of all works. DO NOT scale off drawings. Cross reference all drawings, confirm site levels, foot heights & restrictions prior to earthworks. If any discrepancies occur, contact Highmark Homes immediately before commencing works or ordering. COPYRIGHT: These drawings remain the property of HIGHMARK HOMES Ltd and are provided for use as described above and may not be used or re-produced in whole or part without written permission. Producer statements issued by all suppliers & tradesmen where applicable. Any site/construction works are not to commence until building permit becomes unconditional.

100

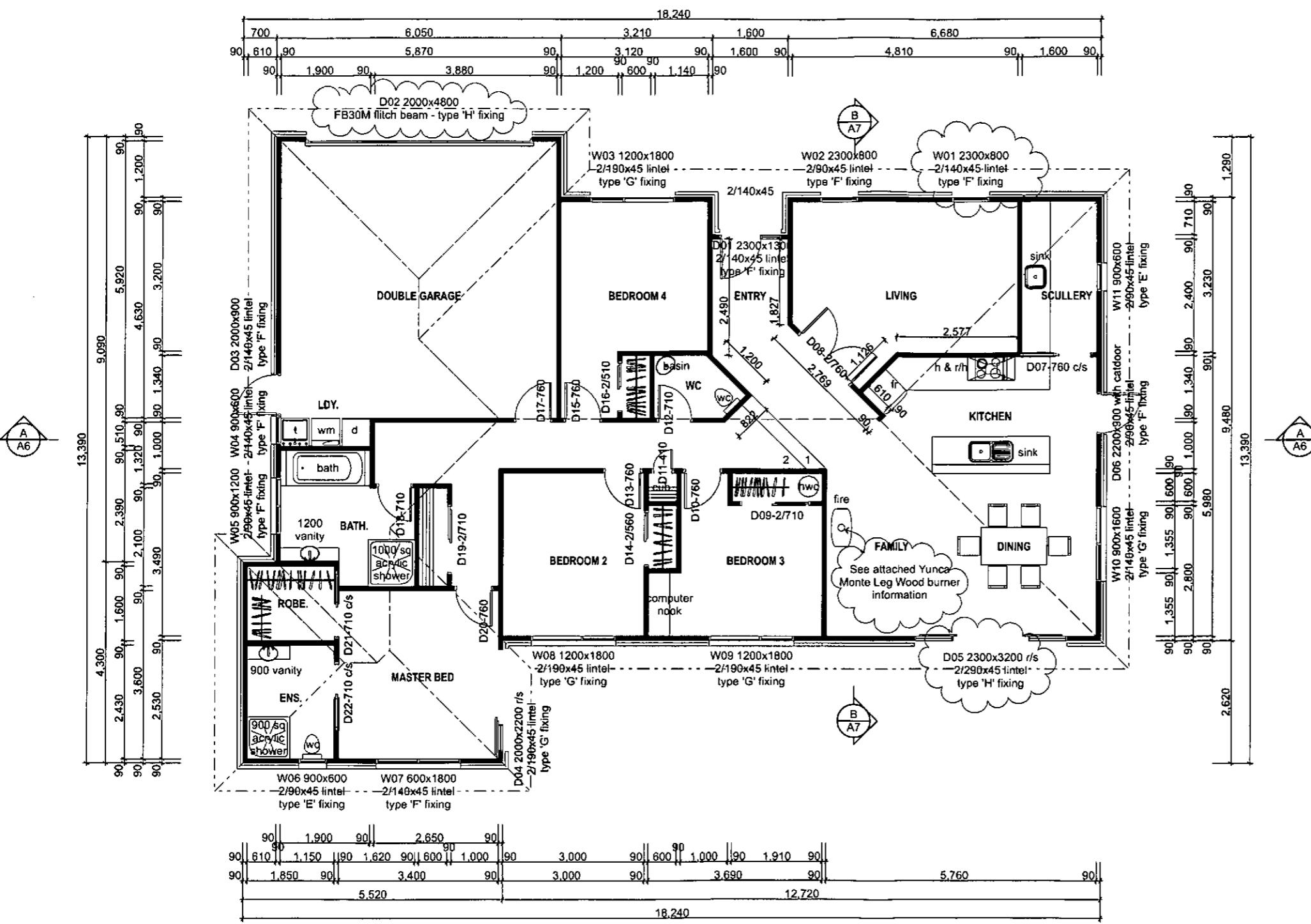
PROPOSED RESIDENCE FOR
OSBORNE/DEHARING
61 BIG STONE ROAD
BRIGHTON
DUNEDIN

sheet content

DRAINAGE PLAN

Revised

Endorsements on superseded
plans transfer to this document.



PROPOSED FLOOR PLAN

scale 1:50
Proposed Floor Area over framing : 188m²
Proposed Floor Area over brick : 196m²
Covered Areas : 1m²

LUNELIN CITY COUNCIL
APPROVED BUILDING CONSENT DOCUMENT

2013 - 1214

DCC COPY



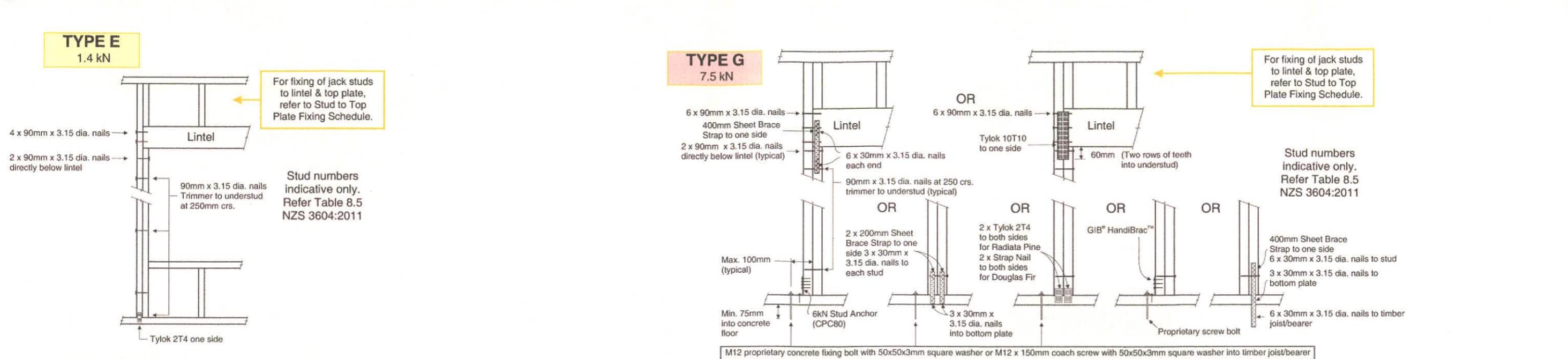
All dimensions & underground service locations to be checked prior to commencement of all works. DO NOT scale drawings. Cross reference to the original plans for all dimensions and underground services. If any discrepancies occur, contact HIGHMARK HOMES immediately before commencing works or ordering. COPYRIGHT - These drawings remain the property of HIGHMARK HOMES Ltd and are provided for use as described above and may not be used or reproduced in whole or part without written permission. Producer statements issued by all suppliers & tradesmen where applicable, Any site/construction works are not to commence until building permit becomes unconditional.

1

PROPOSED RESIDENCE FOR
OSBORNE/DEHARING
61 BIG STONE ROAD
BRIGHTON
DUNEDIN

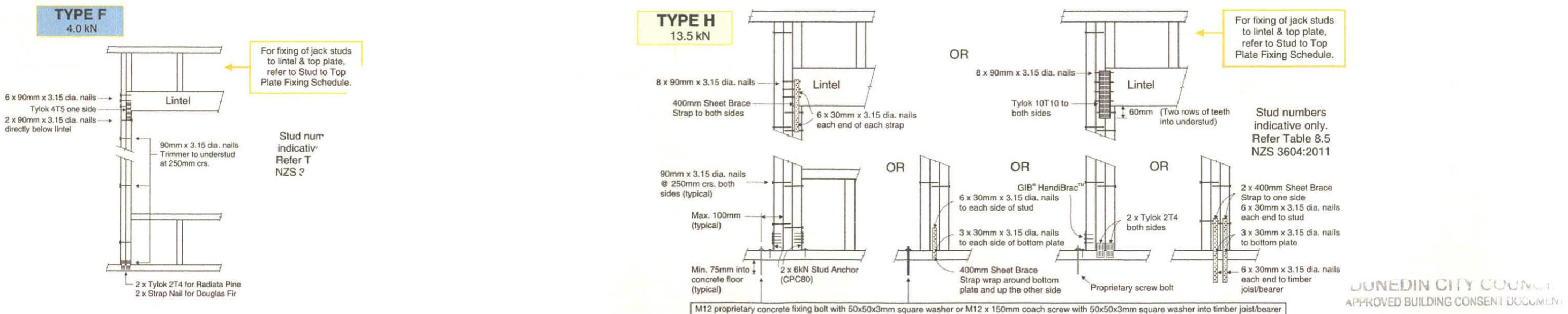
sheet contents

PROPOSED FLOOR PLAN



LINTEL FIXING DETAILS

not to scale



LINTEL FIXING DETAILS

not to scale

LINTEL FIXING DETAILS

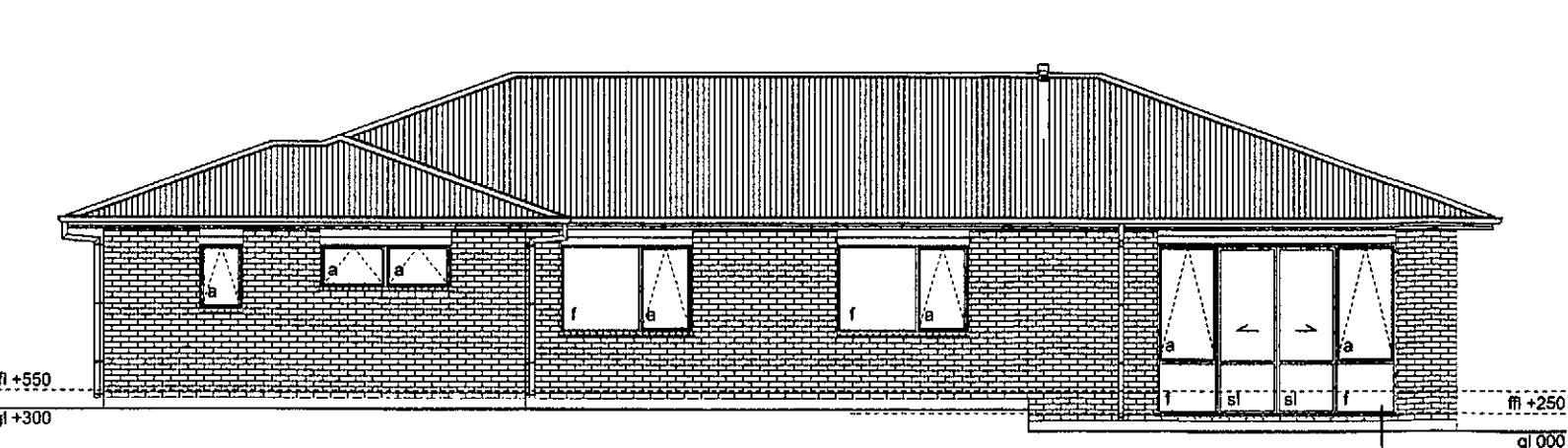
not to scale

DUNEDIN CITY COUNCIL
APPROVED BUILDING CONSENT DOCUMENT

2013 1214

DCC COPY

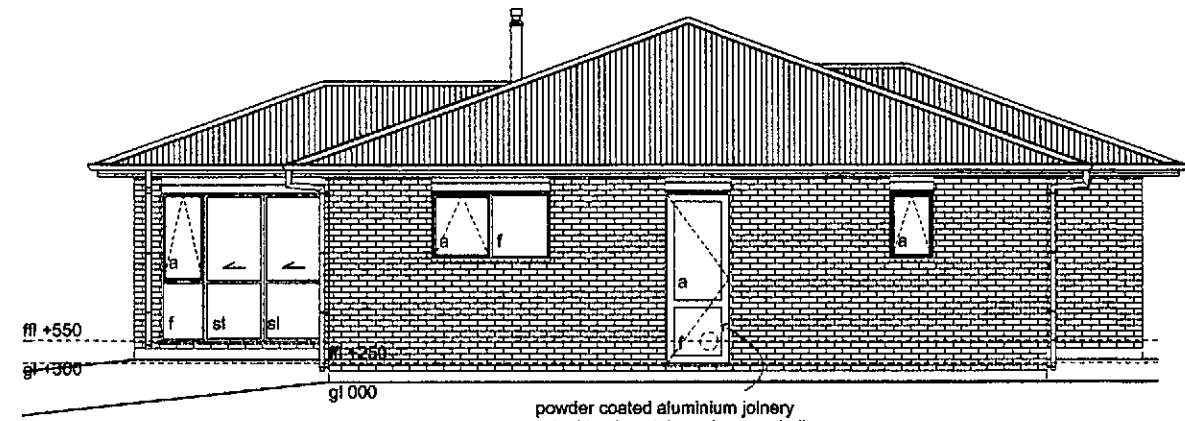
<p>All dimensions & underground service locations to be checked prior to commencement of all works. DO NOT scale off drawings. Copy reference all drawings, confirm site levels, floor heights & restrictions prior to earthworks. If any discrepancies occur, contact Highmark Homes immediately before commencing works or ordering. COPYRIGHT: These drawings remain the property of HIGHMARK HOMES Ltd and are provided for the sole use of the client and may not be copied or reproduced in whole or part without written permission. Printed statement issued by all suppliers & tradesmen where applicable. Any site/construction works are not to commence until building permit becomes unconditional.</p>	<p>project:</p> <p>PROPOSED RESIDENCE FOR OSBORNE/DEHARING 61 BIG STONE ROAD BRIGHTON DUNEDIN</p>	<p>sheet contents</p> <p>LINTEL FIXING DETAILS</p>	<p>rev. <input type="text"/> amendments <input type="text"/> date <input type="text"/> by <input type="text"/> job number <input type="text"/> 10182 <input type="text"/> www.highmarkhomes.co.nz</p>
			<p>date drawn: <input type="text"/> 13th May 2013 drawn by: <input type="text"/> Glenn checked: <input type="text"/></p> <p>sheet scales: <input type="text"/> NTS</p> <p>cad file: <input type="text"/></p>
			<p>sheet of rev. <input type="text"/> A4 A</p>



SOUTH ELEVATION

scale 1:

BUILDING ENVELOPE RISK MATRIX		
South Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	Low	0
Eaves width	Low	0
Envelope complexity	Medium risk	1
Deck design	Low	0
Total Risk Score:		2



EAST ELEVATION

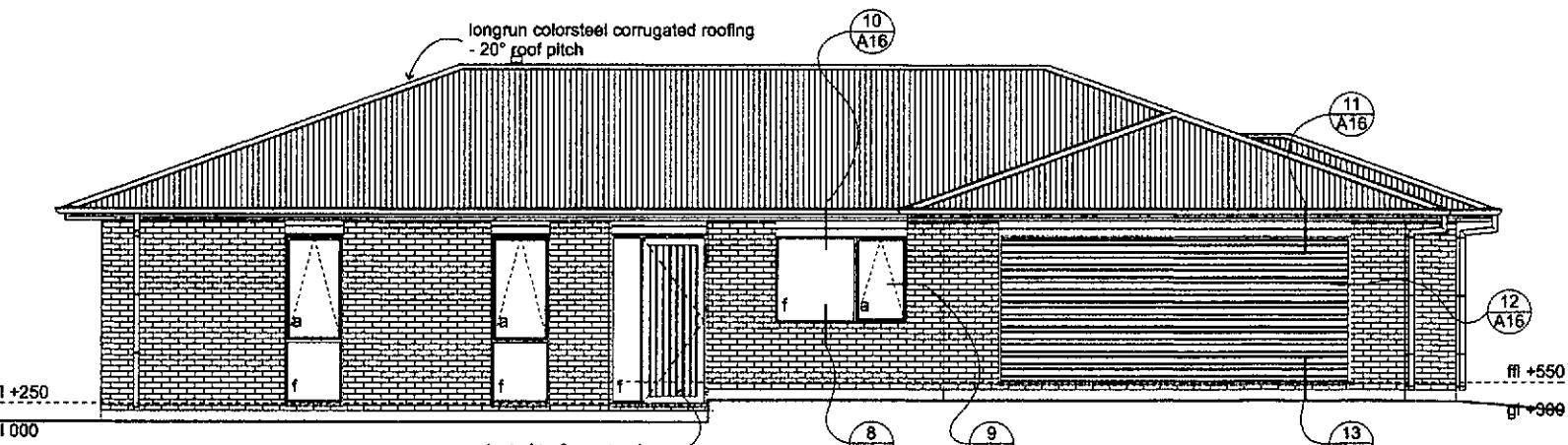
SCALE 1:50

powder coated aluminium joinery
- double glazed throughout excluding garage

BUILDING ENVELOPE RISK MATRIX		
East Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	Low	0
Eaves width	Low	0
Envelope complexity	Medium risk	1
Deck design	Low	0
Total Risk Score:		2

DUNEDIN CITY COUNCIL
APPROVED BUILDING CONSENT DOCUMENT

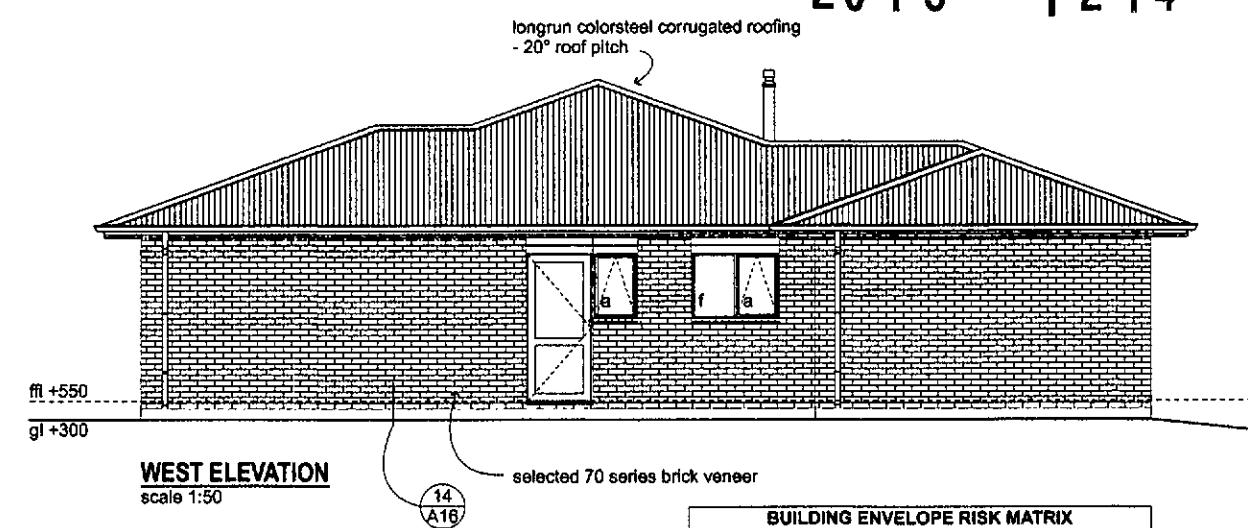
1214



NORTH ELEVATION

scale 1:5

BUILDING ENVELOPE RISK MATRIX		
North Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	Low	0
Eaves width	Low	0
Envelope complexity	Medium risk	1
Deck design	Low	0
Total Risk Score:		2



WEST ELEVATION

scale 1:5

BUILDING ENVELOPE RISK MATRIX		
West Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	Low	0
Eaves width	Low	0
Envelope complexity	Medium risk	1
Deck design	Low	0
Total Risk Score:		2



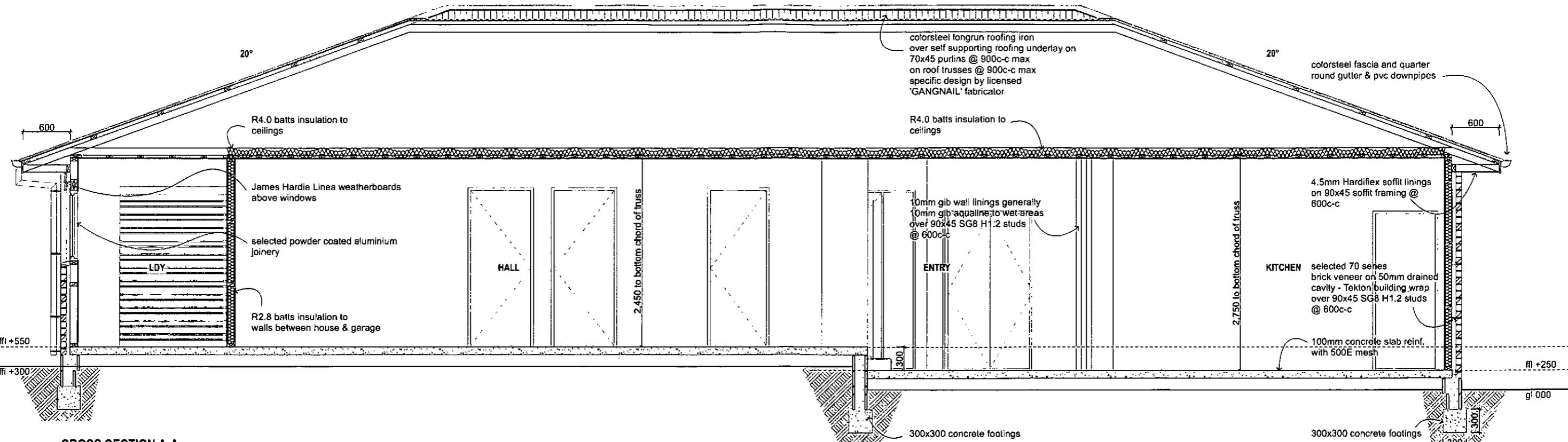
All dimensions & underground service locations to be checked prior to commencement of any work. NO WARRANTY of drawings. Construction drawings, site plans & levels are the property of HIGH-MARK HOMES. If any discrepancies occur, contact HIGH-MARK HOMES. Immediately before commencing works or ordering. © CPVDRIGHT: These drawings remain the property of HIGH-MARK HOMES Ltd and are provided for use as described above and may not be used or re-produced in whole or part without written permission. Protection statement issued by all suppliers & tradesmen where applicable. Any site/building works are not to commence until building plans become unconditional.

2001

PROPOSED RESIDENCE FOR
OSBORNE/DEHARING
61 BIG STONE ROAD
BRIGHTON
DUNEDIN

www.english-test.net

ELEVATIONS WITH RISK MATRIX



CROSS SECTION A-A

scale 1:2

Revised
Endorsements on superseded
plans transfer to this document.

TIMBER TREATMENT NOTES:	
timber location	min treatment
external rafters, beams, pine decking, deck joists & bearers	H3.2
structural plywood bracing ply roof substrate	H3 CCA
enclosed balcony ply & joists enclosed external balustrade framing enclosed lintels & posts supporting enclosed balcony roof framing & ply under 10 degrees paint finished exterior posts & beams paint finished fascia's at risk wet area's including bathroom joists & flooring and wall framing cavity battens valley boards window jamb liners confined chimney framing	H1.2
subfloor framing (except piles) wall framing skillion roof framing with lined soffits	H1.2
intermediate floor framing low risk internal wall framing ceiling framing	H1.2

FLASHING TAPE SYSTEMS	
tape brand	appraisal cert
thermokraft aluband window sealing tape and corner mouldings	B.E.A.L. cert C403
protecto sill system	branz cert 444
protecto tape	branz cert 450
tyvek weatherization system	branz cert 455
weatherseal seamless flexible flashing tape	branz cert 492

INSULATION SCHEDULE	
location	min. requirement
exterior walls	R 2.8 Pink Batts
ceilings	R 4.0 Pink Batts

notes:

ensure insulation around around flues & light fittings to have a 150mm barrier

BUILDING WRAP NOTES:	
all building wraps must meet the requirements as set out in NZBC E2 table 23 "Wall Wrap"	
building wrap to have polypropylene tape at 300mm centres horizontally where wrap fixings exceed 450mm centres, alternatively additional cavity battens may be used to achieve same result, fixings are to prevent wall insulation causing bulges in cavity	
where building wraps are used in situations where there is no air barrier (no internal linings) such as gable ends the building wrap must meet the requirements set out in NZBC E2 'Air Barrier'	
building wrap system	appraisal cert
tekton building wrap	branz cert 548

FIXINGS: VERY HIGH WIND ZONE		
member	grade	minimum fixing requirement
purlins:	70x45 Radiata Pine SG8 @ 900c-c	1/10g self drilling screw, 80mm long
trusses:	90x45 Radiata Pine SG8 @ 900c-c	trusses to top plate: 2/90 x 3.15 skew nails + strap fixing
top plate to studs supporting roof members:	90x45 Radiata Pine SG8	2/90x3.15 end nails + 2 wire dogs
studs generally:	90x45 Radiata Pine SG8 @600c-c	Note: H1.2 all area's. Studs to walls over 2.7 high to be 90x70 @ 600 c-c
studs to plate generally:	90x45 Radiata Pine SG8 @600c-c	hand driven - 2/100x3.75 end nailed or 4/75x3.15 skewed power driven - 4/75x3.06 skewed or 3/90x3.15 end nailed
nogs generally:	90x45 SG8 @ max. 1350c-c	hand driven - 2/75x3.15 skewed or 2/100x3.75 end nailed power driven - 2/75x3.06 skewed or 2/90x3.15 end nailed

CITY COUNCIL
DRAFTING CONSENT DOCUMENT



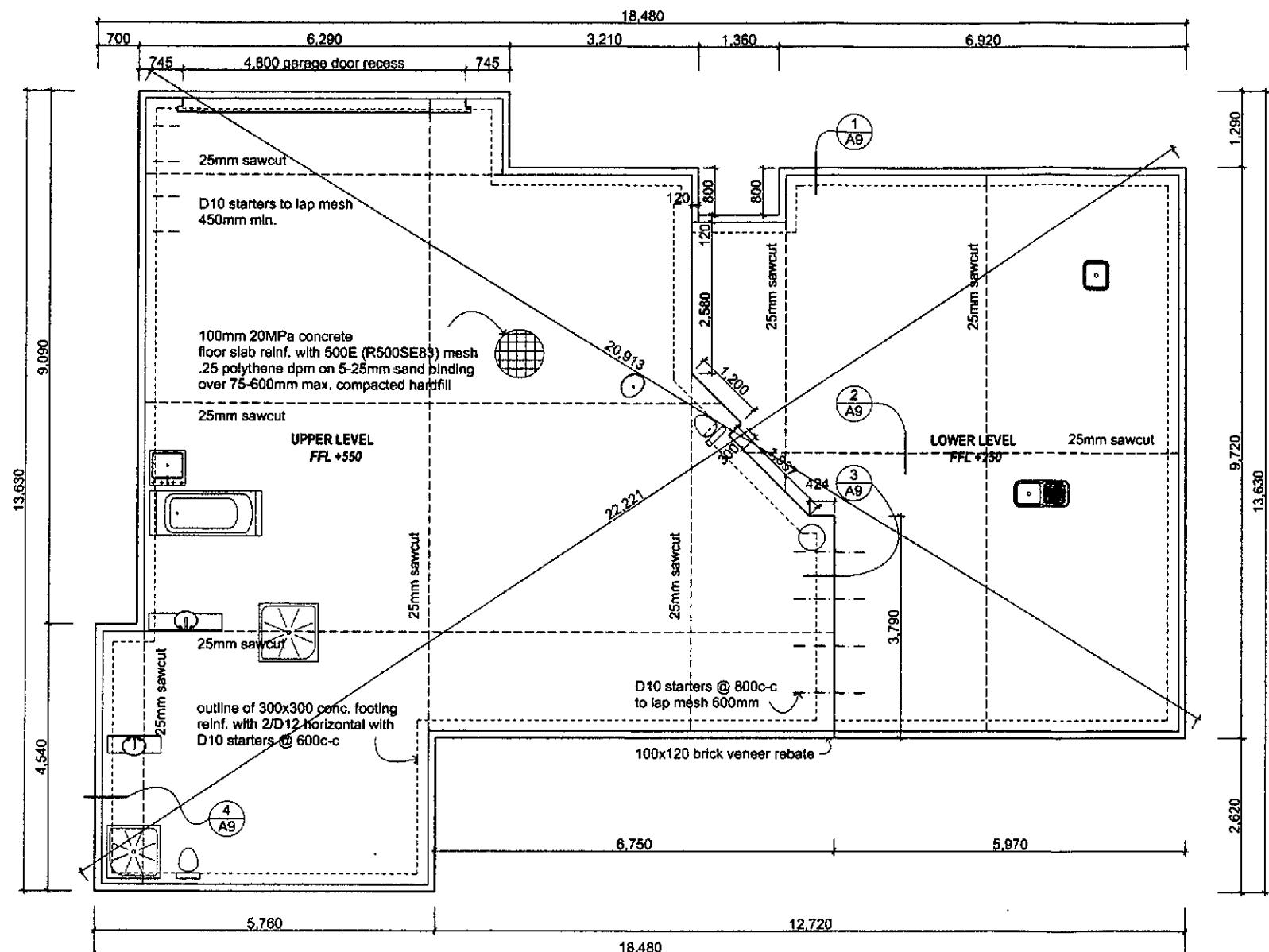
All dimensions & underground service locations to be checked prior to commencement of all work. DO NOT scale off drawings. Cross Reference all drawings, including the Lot, Room Heights & Restrictions relating to earthwork. If any discrepancies are found, contact the architect immediately before proceeding with any work. **COPYRIGHT:** These drawings remain the property of HIGHMARK HOMES LTD and are not for use as a described above and may not be used or reproduced in whole or part without written permission. Producer statements issued by all suppliers & tradesmen, where applicable. Any site or construction work is to be commenced until full payment has been received.

1

PROPOSED RESIDENCE FOR
OSBORNE/DEHARING
61 BIG STONE ROAD
BRIGHTON
DUNERIN

sheet center

**CROSS SECTION A-A &
NOTES**



FP 1 pad thickening required.

FOUNDATION PLAN

scale 1:5

Note : Truss manufacturer to confirm internal loadbearing walls where slab thickenings will be necessary.

Note : Overall exterior dimension : 65,820

SLAB/FOUNDATION NOTES:

The slab system shall be laid over an excavated area providing minimum ultimate bearing capacity of 300kPa. Provide compacted granular fill as required to suit level for min. 50mm compacted sand binding. Lay over sand binding a DPC of .25 polythene fully sealed at all sheet joints and any punctured areas & extended beyond footing edges.

Perimeter boxing to the foundation slab shall be solid and fully braced to ensure a true and even edge is maintained. Any excessive deviation of the finished line shall be made good at the contractors expense. The contractor shall allow for all slab edges rebates as indicated and the laying of in-slab plumbing lines fully wrapped in 'Denso' tape to allow for thermal movement. No water supply pipework shall be cast into the slab. The contractor shall liaise with subtrades to co-ordinate the position and provision of incoming services. Such thickened underload bearing conditions shall be a minimum width of 200mm centred under these conditions.

Notes

Should softer than appropriate ground ie. other than expected sand base be encountered allow 300mm min. compacted granular hardfill under slab edges and slab thickening.

All aspects of this project, once completed, must fully comply with all statutory requirements, Territorial Authority requirements, the relevant provisions of the New Zealand Building Code and New Zealand Standards irrespective of whether or not detailed in these plans and specifications.

All proprietary products are to be selected and installed in strict accordance with the Manufacturers specifications.

Remove all topsoil and organic matter from within the perimeter of the footings and slab work. The finished ground level surrounding the building shall have a fall of 1:25 away from the building for at least 1.0m. Allow for an Engineers certificate to be provided to the Territorial Authority if requested for granular fill 600mm or more deep under ground.



All dimensions & underground service locations to be checked prior to commencement of all works. DO NOT break or damage these reference drawings, confirm site levels, footings & re-measure prior to earthworks. If any discrepancies occur, contact Highmark Homes. Immediately before commencing works or ordering, COPYRIGHT THESE drawings remain the property of HIGHMARK HOMES Ltd and are provided for use as described above and may not be used or re-produced in whole or part without written permission. Producer statements issued by all suppliers & tradesmen where applicable. Any site construction works are not to commence until building permit becomes unconditional.

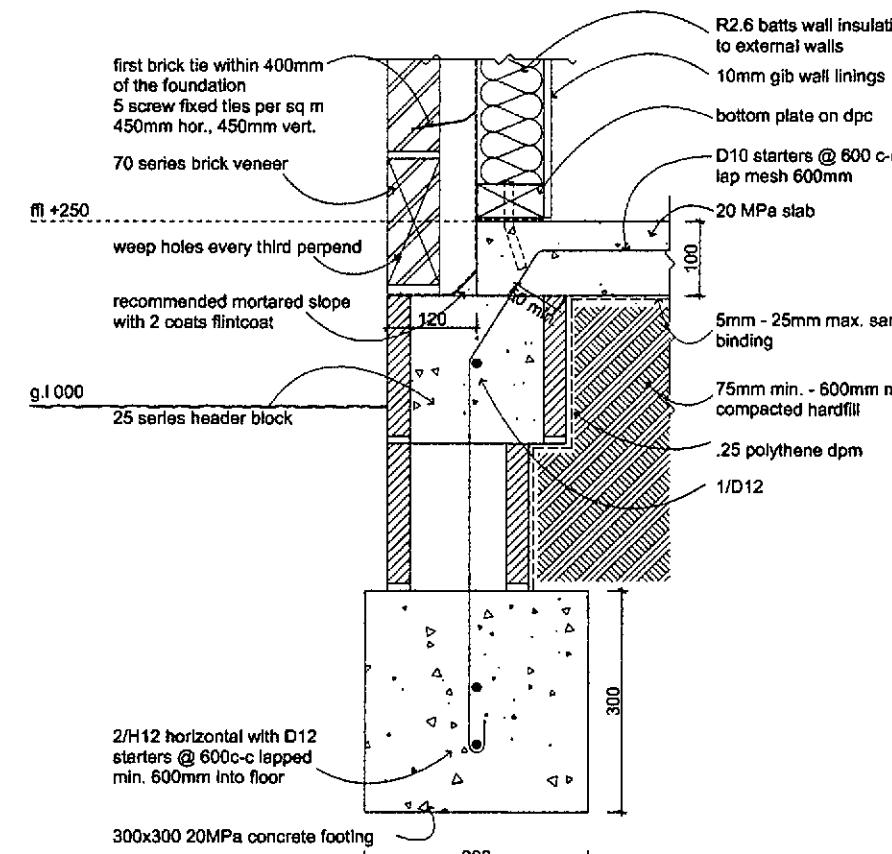
四

PROPOSED RESIDENCE FOR
OSBORNE/DEHARING
61 BIG STONE ROAD
BRIGHTON
DUNEDIN

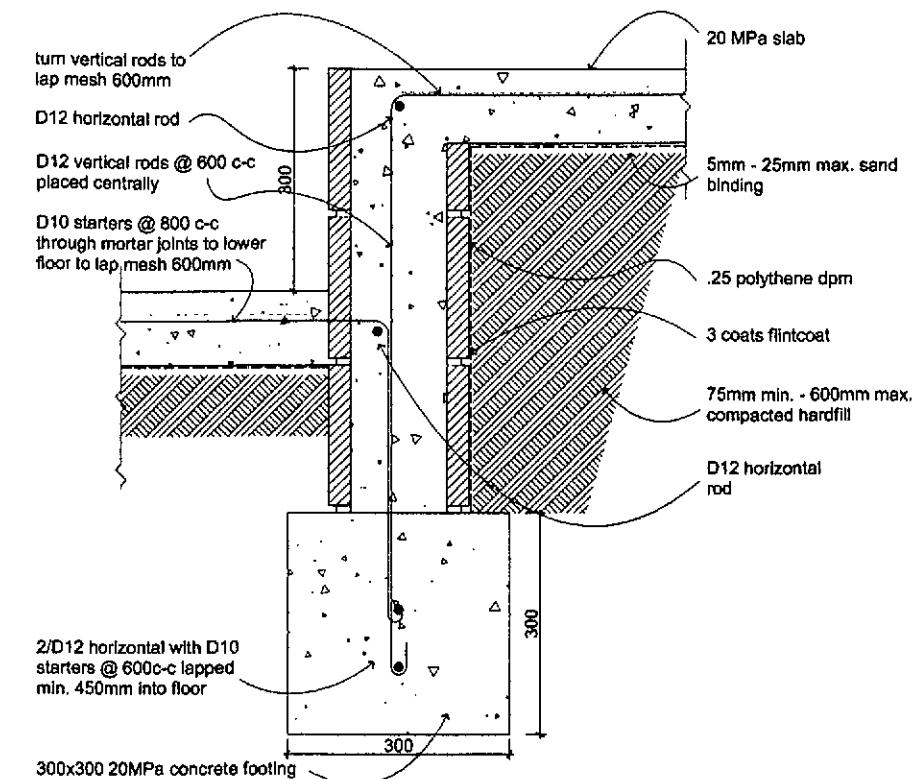
sheet content

FOUNDATION PLAN

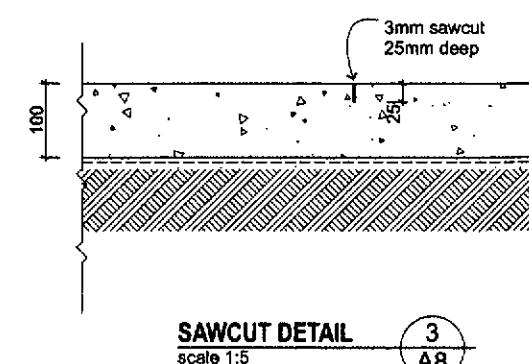
Rev	amendments	date	by	job number	10182	www.highmarkhomes.co.nz		
A	for building consent	13/05/13	G F			date drawn	drawn by	checked
					13th May 2013	Glenn		
					sheet scales			
					1:50 @ A1 1:100 @ A3, 1:50 A1 1:10 @ A3			
					cad file			
					A8	A		



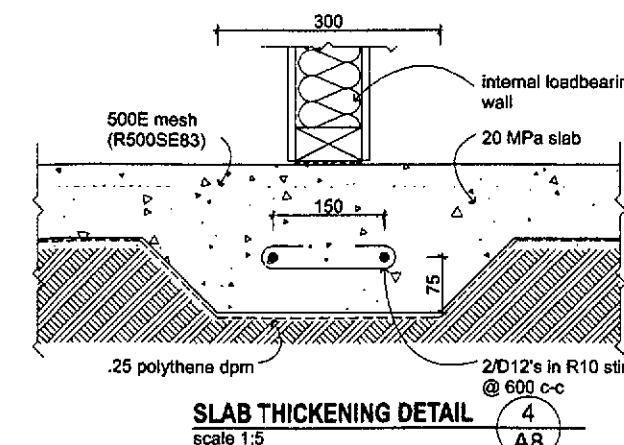
FOUNDATION DATA



FOUNDATION DATA



SAWCUT DET



SLAB THICKENING DETAIL



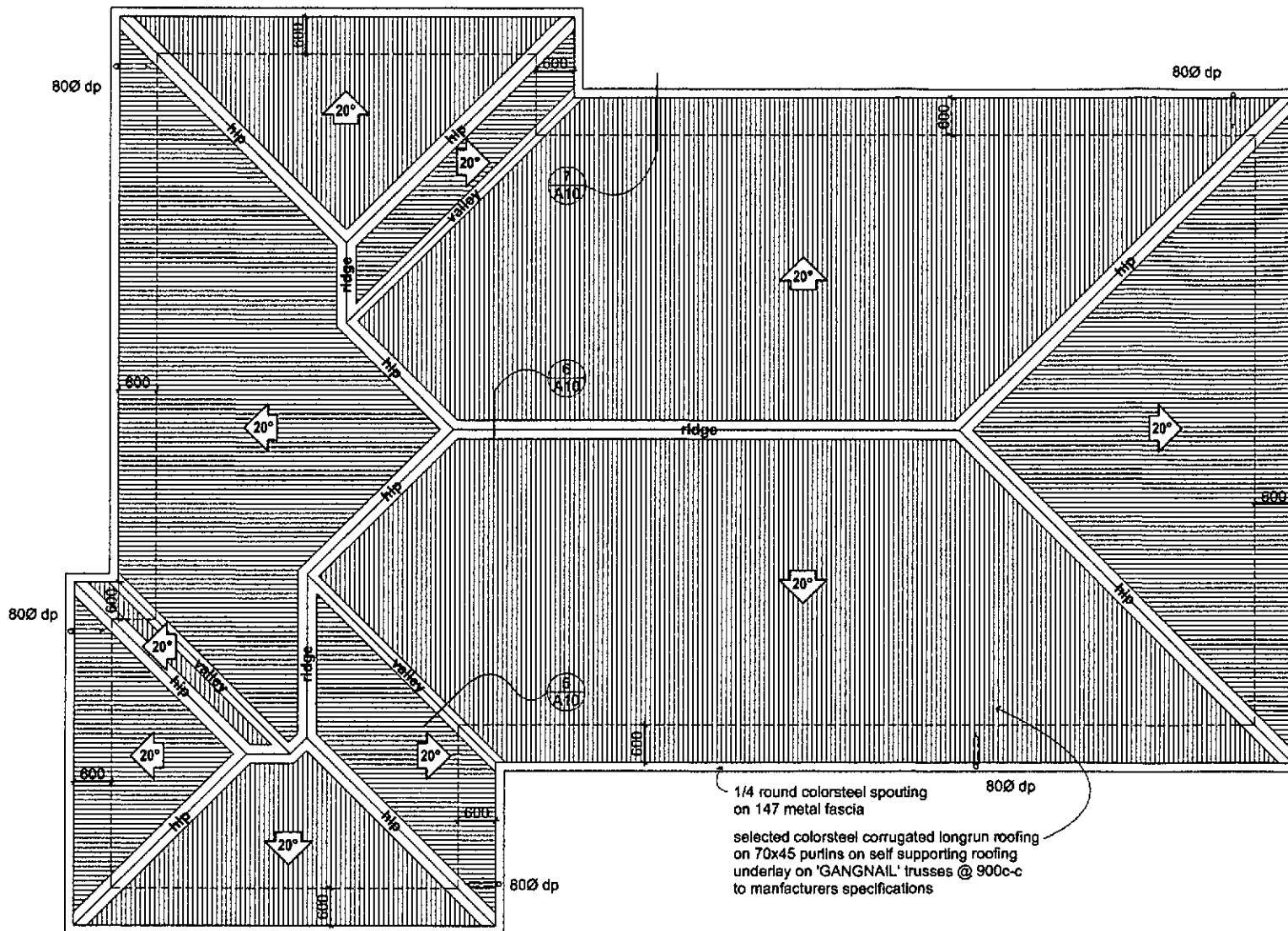
All dimensions & underground service locations to be checked prior to commencement of all works. DO NOT rely on drawings, check for reference at drawings, site levels, floor heights & dimensions prior to earthworks. If any discrepancies occur, contact HIGHMAG HOMES. Immediately before commencing works or ordering, COPYRIGHT : These drawings remain the property of HIGHMAG HOMES Ltd and are provided for use as described above and may not be used or re-produced in whole or part without written permission. Producer statements issued by all suppliers & tradesmen where applicable. Any site/construction works are not to commence until building permit becomes unconditional.

PROPOSED RESIDENCE FOR
OSBORNE/DEHARING
61 BIG STONE ROAD
BRIGHTON
DUNEDIN

sheet 10 of 10

FOUNDATION DETAILS

rev	amendments	date	by	job number	10182	www.highmarkhomes.co.nz				
A	for building consent	13/05/13	G F							
				sheet	of	rev.	date drawn:	drawn by	checked	
							13th May 2013	Glenn		
							sheet scales			
							1:50 A1 1:100 A3			
							cad file			
							A9	A		



ROOF PLAN

scale 1:50
Total Roof Area : 229m² approx



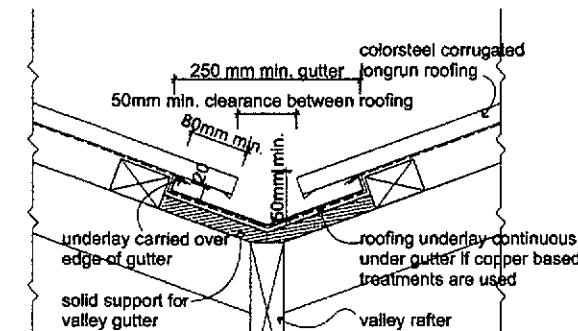
All dimensions & underground service locations to be checked prior to commencement of all work. DO NOT start off drawings. Cross reference all drawings, confirm all levels, floor heights & restrictions prior to earthworks. If any discrepancies occur, contact HIGHMARK Homes. Immediately before commencing works or ordering. **COPYRIGHT:** These drawings remain the property of HIGHMARK HOMES Ltd and are provided for use as described above and may not be used or re-produced in whole or part without written permission. Producer statement issued by all suppliers & tradesmen where applicable. Any site/structural works are not to commence until building permit becomes unconditional.

1

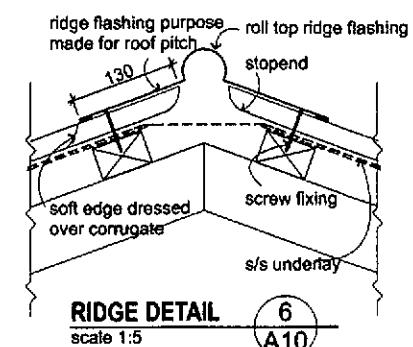
PROPOSED RESIDENCE FOR
OSBORNE/DEHARING
61 BIG STONE ROAD
BRIGHTON
DUNEDIN

Wheat content

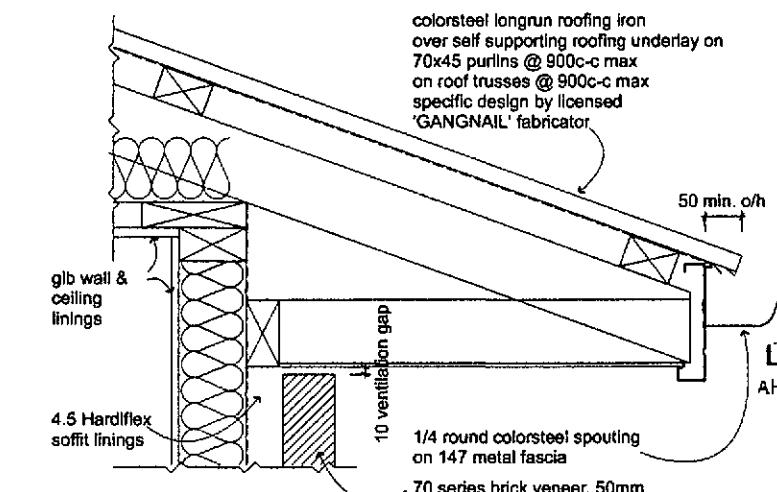
ROOF PLAN & ROOF DETAILS



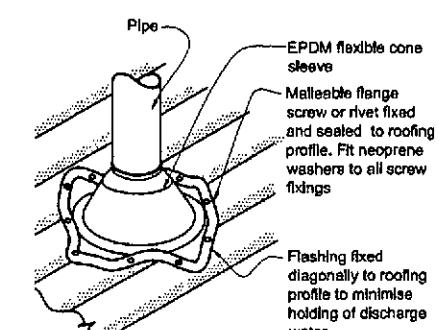
VALLEY DETAIL



RIDGE DETAIL



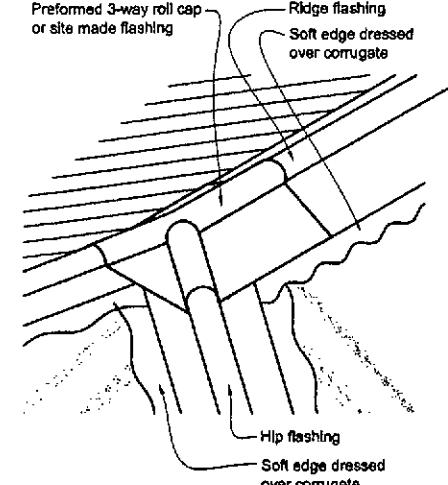
SOFFIT DETAIL



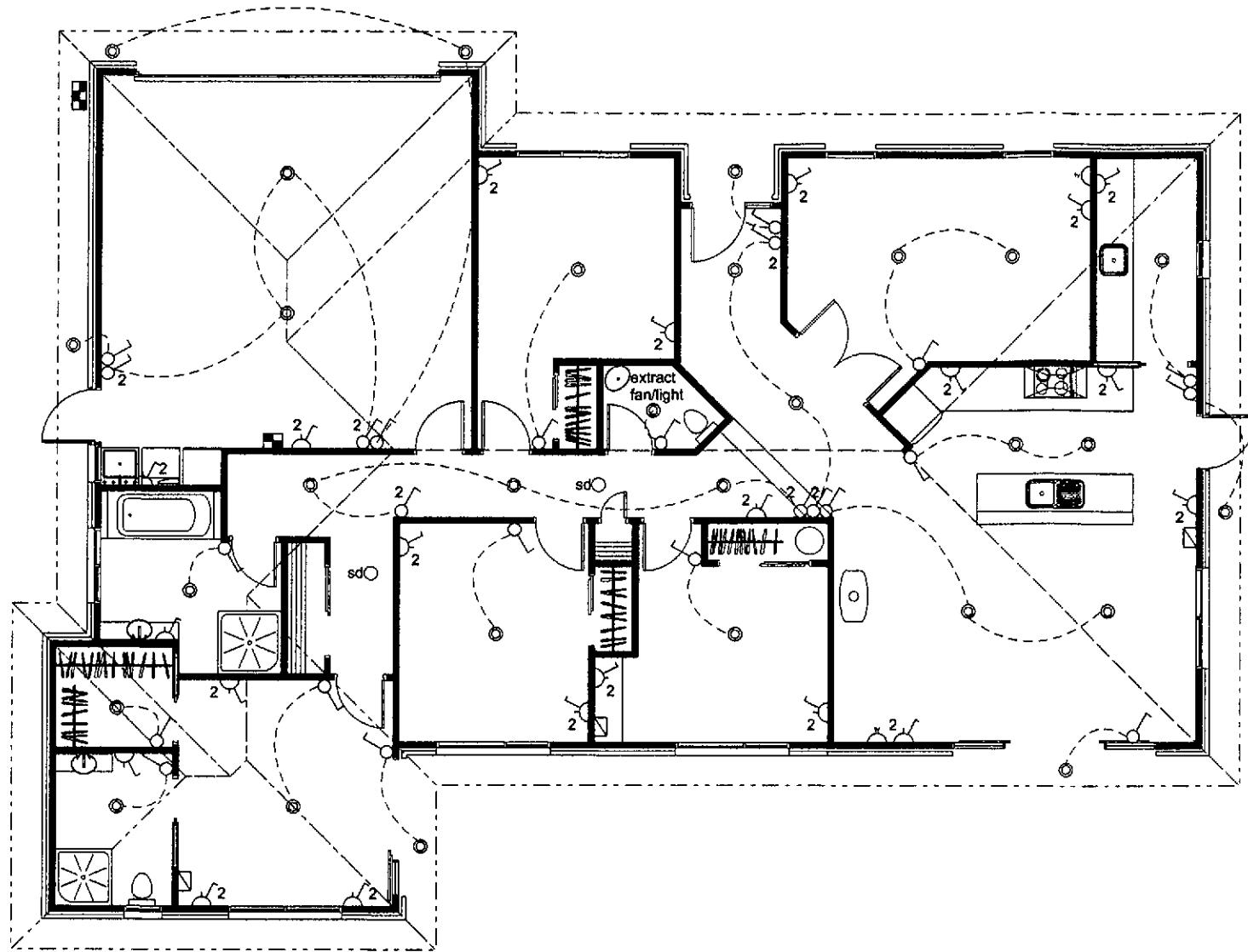
NOTE:

(1) Max. roof pitch for this flashing 45°, minimum pitch 10°.

(2) For pipes up to 60 mm diameter.



HIP/RIDGE JUNCTION DETAIL



ELECTRICAL PLAN

scale 1:50

Note : See hot water cylinder notes sheet A11.

ELECTRICAL LEGEND			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	meter board		light fitting
	fuse board		television outlet
	double power outlets		telephone point
	light switch locations - 2 indicates 2 way switch		smoke detectors

ELECTRICAL NOTES

All electrical work & items to comply with: NZBC F7/AS1, AS/NZS 3000 AS 3786, NZS 6401.

Confirm final positioning & fitting allowance with client contract specification

SD - First Alert or similar

Approved smoke alarms are required within 3.0m of any sleeping space. Smoke alarms must be audible to sleeping occupants on the other side of closed doors. Smoke alarms must also be located on all escape routes.

All downlighting to be CA rated as per NZBC: H1/AS1 energy efficiency.

© 2013 CITY OF VANCOUVER
APPROVED BUILDING CONSENT DOCUMENT

2013 - 1214



All dimensions & underground service locations to be checked prior to commencement of all works. NO STAKE OUT drawings. Cross reference all drawings, confirm all levels, footings heights & restrictions prior to earthworks. If any discrepancies occur, contact Highmark Homes immediately before commencing any earthmoving. COPYRIGHT: These drawings are the property of Highmark Homes and are not to be reproduced for use as depicted above and may not be used or reproduced in whole or part without written permission. Producer statements issued by all suppliers & tradesmen where applicable. Any site construction works are not to commence and building permit becomes unconditional.

1

PROPOSED RESIDENCE FOR
OSBORNE/DEHARING
61 BIG STONE ROAD
BRIGHTON
DUNEDIN

© 2007 Kuta Software LLC

ELECTRICAL PLAN

Revised
Endorsements on superseded
plans transfer to this document

Figure 14 Seismic Restraint of Storage Water Heaters 90 - 360 Litres
Paragraph 6.11.4

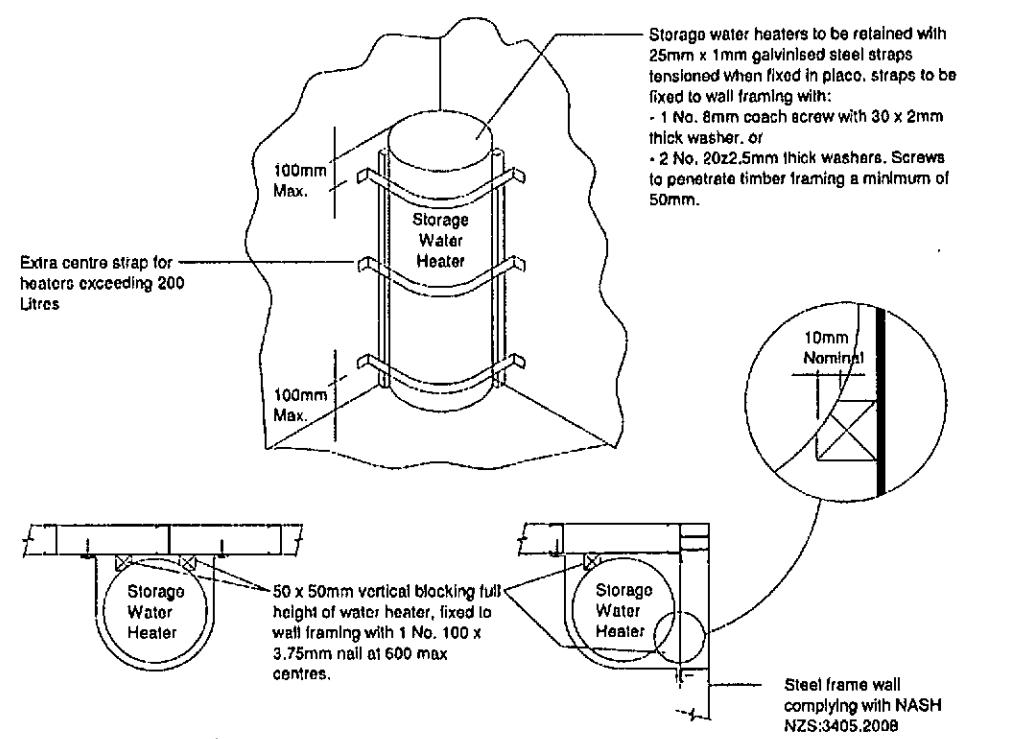


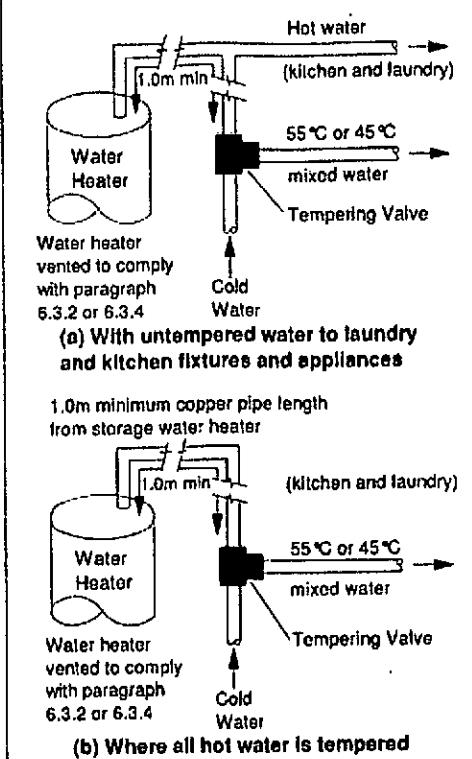
Table 5 Water Heaters
Paragraph 6.1.1

Water heater type	Standard Regulation
Electric low pressure copper storage water heater	NZS 4602
Electric storage water heater	NZS 4606: Parts 1, 2 and 3
Electric instantaneous water heater	AS 1056: Part 1
Gas storage water heater	NZS 6635
Gas Instantaneous water heater	Gas Regulations
Solar storage water heater	NZS 4613 AS 2712

HOT WATER CYLINDER DETAILS

not to scale
Note : HWC requires a cold water expansion valve & drainage system
to G12/AS1

Figure 16 Tempering valve installation
(Paragraph 6.14.2a)



Note:
1. For optimum system efficiency the tempering valve, for other than a mains pressure system, may be located as low as practical to achieve the manufacturer's recommended head, at the tempering valve.
2. 1.0m minimum copper pipe length from storage water heater.

Note: RISER INSIDE CYLINDER
ELIMINATES CIRCULATION
THROUGH COLD STOVE &
DEPOSITS HOT WATER AT
THE TOP FOR QUICK RECOVERY

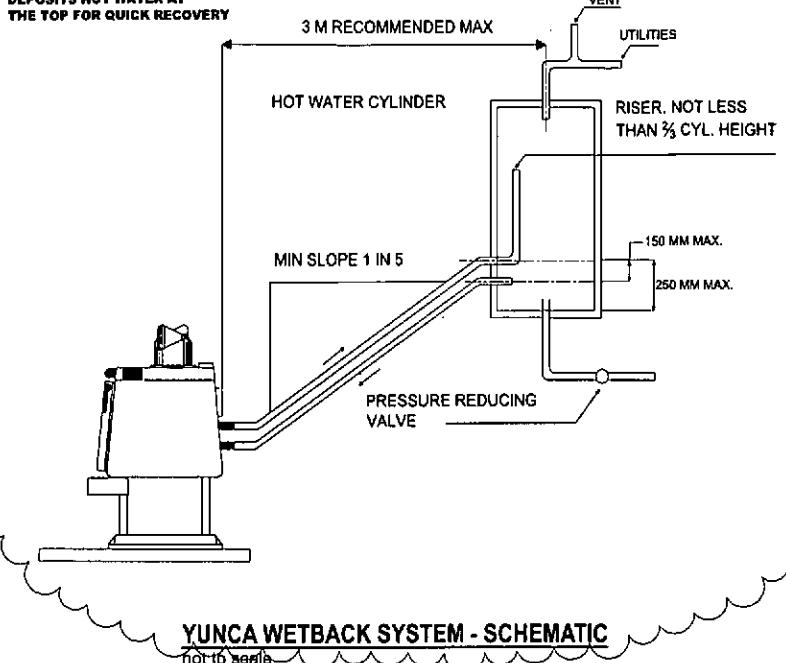


Table 4 Tempering Valve And Nominal Pipe Sizes
Paragraphs 5.3.1 and 6.12.1

	Low pressure (i.e. header tank supply or low pressure)	Low and medium pressure unvented (valve vented) and open vented	Mains Pressure
Pressure of water at tempering valve (kPa)	20 - 30	30 - 120	over 300
Meters head (m)	2 - 3	15 mm	over 30
Minimum tempering valve size	25 mm	20 mm	15 mm
Pipes to tempering valve	25 mm (see Note 3)	20 mm (15 mm optional) (see Note 1)	20 mm (15 mm optional) (see Note 1)
Pipes to shower	20 mm	20 mm (see Note 4)	20 mm (see Note 5) (15 mm optional) (see Note 1)
Pipes to sink and laundry (see Note 2)	20 mm	20 mm	15 mm
Pipes to bath (see Note 2)	20 mm	20 mm	15 mm
Pipes to basins (see Note 2)	15 mm	15 mm	10 mm

Notes:

1. If supplied by separate pipe from storage water heater to a single outlet.
2. this table is based on maximum pipe lengths of 20 meters
3. 2 m maximum length from water heater outlet to tempering valve.
4. 15 mm if dedicated line to shower
5. 10 mm if dedicated line to shower
6. Table 3 pipe sizes have been calculated to deliver water simultaneously to the kitchen sink and one other fixture

DUNEDIN CITY COUNCIL
APPROVED BUILDING CONSENT DOCUMENT

2013 1214

	Project:	PROPOSED RESIDENCE FOR OSBORNE/DEHARING 61 BIG STONE ROAD BRIGHTON DUNEDIN	Sheet contents:	HOT WATER CYLINDER NOTES	rev. A	amendments for building consent	date 13/05/13	by G.F.	Job number 10182	www.highmarkhomes.co.nz		
									sheet of rev A13 A	date drawn 13th May 2013	drawn by Glenn	checked
									sheet scales NTS			
									cad file			

GIB BOARD CEILING NOTES:

All ceilings not indicated by sheet sizes shall be filled with standard 13mm gib board.

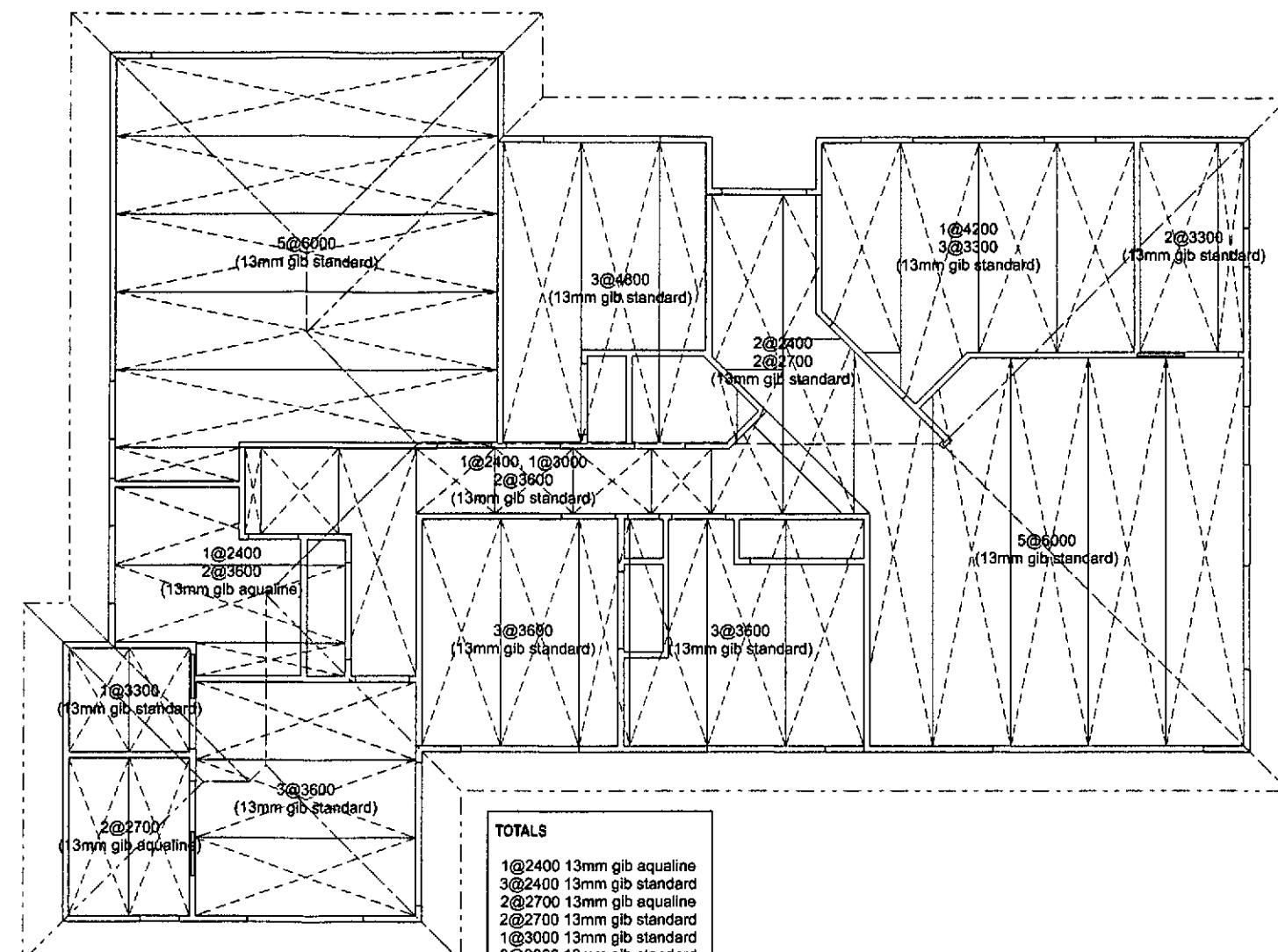
All gib board to be at right angles lengthways to the ceiling strapping.

Allow to stagger sheet ends as shown.

Back blocking as per Gib Board standard details. Do not join over support.

Commence fixing from centre of sheet outwards.

Do not place adhesive at sheet perimeters or under fixings.



DUNEDIN CITY COUNCIL
APPROVED BUILDING CONSENT 10182

2013 1214



All dimensions & underground service locations to be checked prior to commencement of all works. DO NOT scale off drawings. Cross reference all drawings, confirm site levels, floor heights & restrictions prior to earthworks. If any discrepancies occur, contact Highmark Homes immediately. Not for commercial works or ordering. COPYRIGHT: These drawings are the property of HIGHMARK HOMES LTD and are provided for use as described above and may not be used or re-produced in whole or part without written permission. Product statements issued by all suppliers & tradesmen where applicable. Any site/construction works are not to commence until building permit becomes unconditional.

project

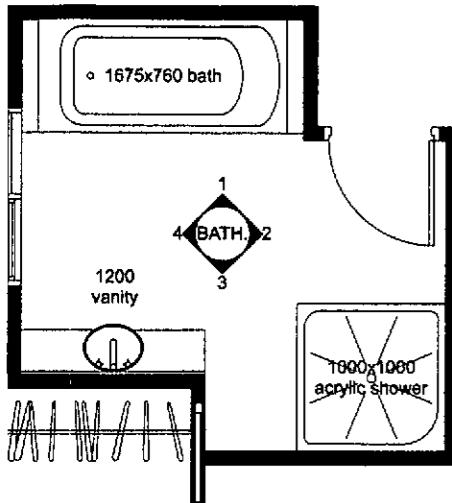
PROPOSED RESIDENCE FOR
OSBORNE/DEHARING
61 BIG STONE ROAD
BRIGHTON
DUNEDIN

sheet contents

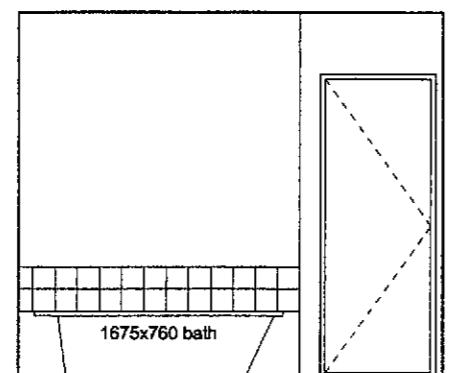
REFLECTED CEILING PLAN

rev.	amendments	date	by	job number
A	for building consent	13/05/13	G.F.	10182

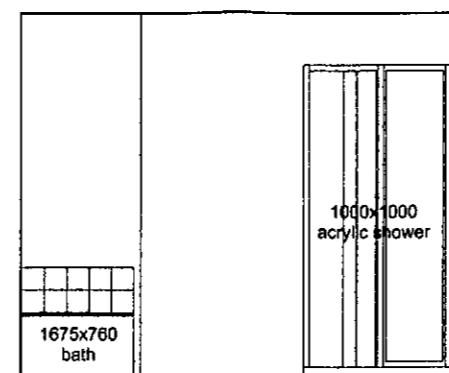
sheet	of	rev.	www.highmarkhomes.co.nz
1	14	A	
			drawn by Glenn checked
			date drawn 13th May 2013
			sheet scale 1:50 A1:100 A3
			cad file



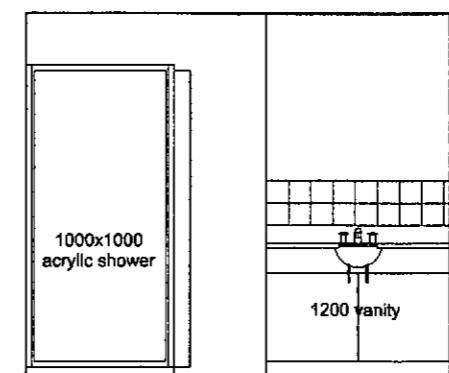
BATHROOM PLAN
scale 1:25



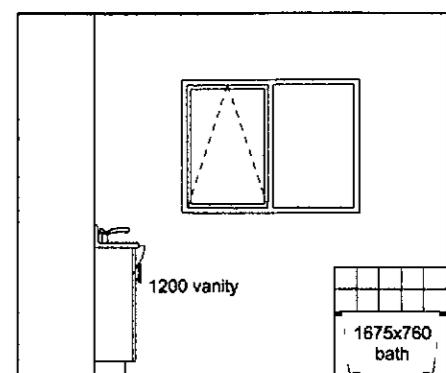
BATHROOM ELEVATION 1
scale 1:25



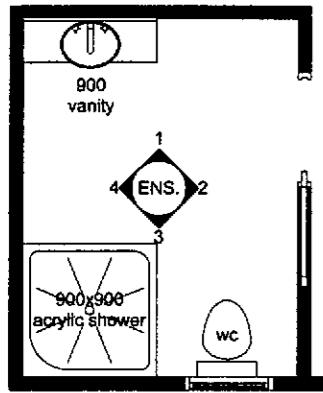
BATHROOM ELEVATION 2
scale 1:25



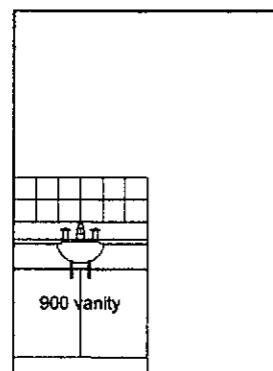
BATHROOM ELEVATION 3
scale 1:25



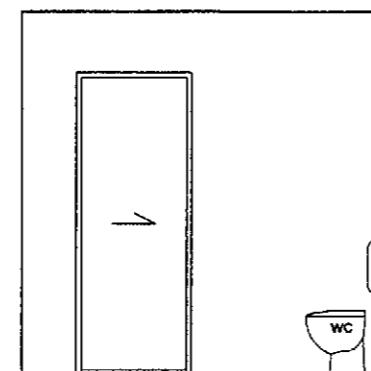
BATHROOM ELEVATION 4
scale 1:25



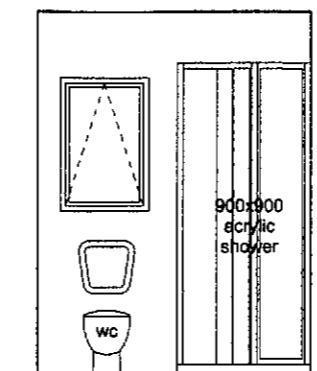
ENSUITE PLAN
scale 1:25



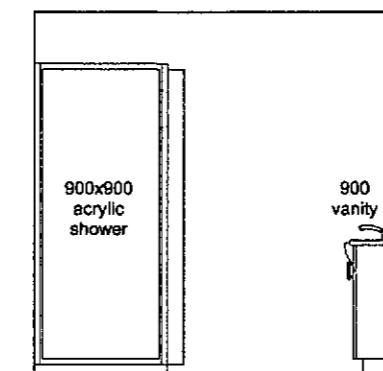
ENSUITE ELEVATION 1
scale 1:25



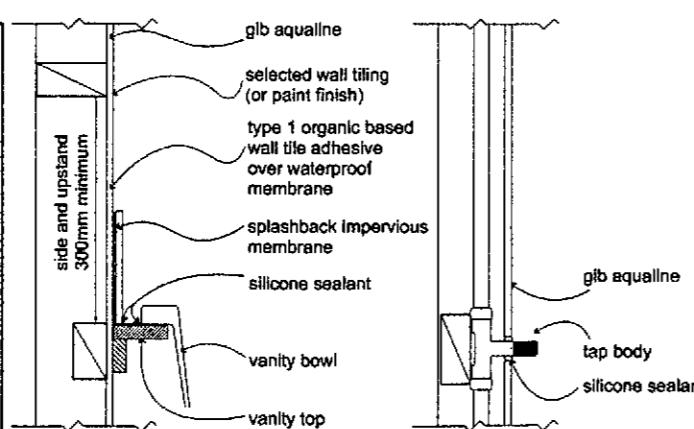
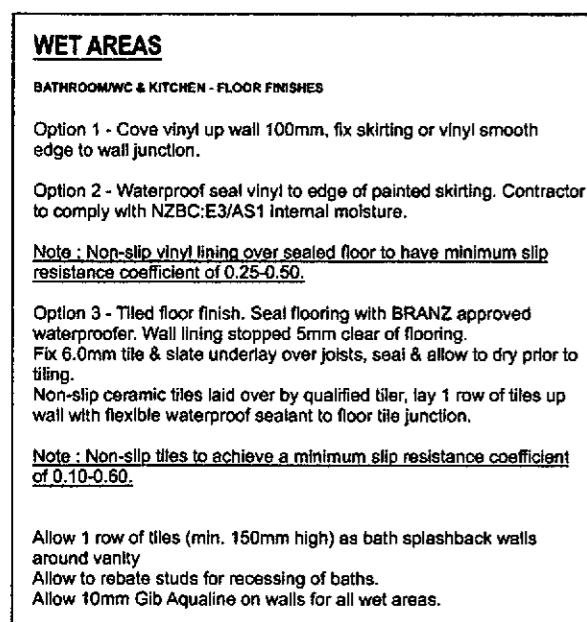
ENSUITE ELEVATION 2
scale 1:25



ENSUITE ELEVATION 3
scale 1:25



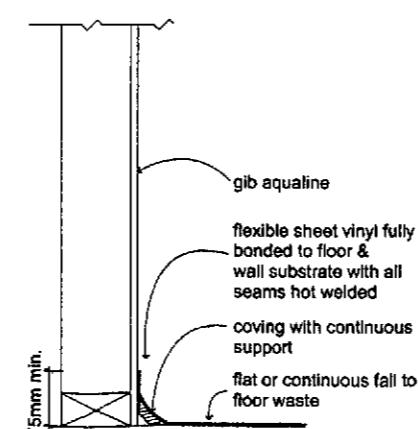
ENSUITE ELEVATION 4
scale 1:25



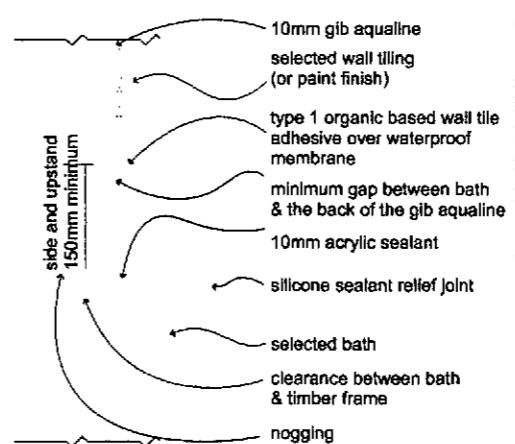
**TYPICAL BASIN TO
WALL JUNCTION
PENETRATION**
scale 1:5

**TYPICAL PLUMBING
PENETRATION**
scale 1:5

Note:
Where impact noise from pipes is an issue, fix all pipes on resilient brackets.



WALL TO FLOOR JUNCTION
scale 1:5



TYPICAL BATH TO WALL JUNCTION
scale 1:5

WATERPROOF MEMBRANE NOTES:

- in showers and shower over bath situations and the splashback area around the bath, the wallboard system is not complete and ready for tiling until coated with a waterproof membrane over the lining and jointed areas. only insitu waterproofing materials which are covered by a CSIRO or BRANZ appraisal are recommended. these may be applied by brush or roller methods to the manufacturers recommendations. typically, these types of membranes are not suitable for paint and wall paper finish.
- waterproof membranes must be fully cured and dry prior to application of floor screeds or tiling adhesives.
- embedded reinforcing mats in the membrane at all internal corners of the shower (including floor/wall junctions)

Showers

- Wet area in situ shower spaces shall have impervious wall and floor finishes. Lining materials are to be as detailed in this document and specifications. In situations where there is no enclosure around the shower rose, impervious wall & floor materials must be used within a 1500mm radius of the shower rose and a minimum of 1800mm upstand. Shower floors are to have no less than a 1:50 fall to the floor waste.
- Shower enclosures such as walls, screens, doors or curtains must be continuous from the floor level or top of the upstand to minimum 1800mm above floor level and not less than 300mm above the shower rose. All glazing to shower enclosures to be grade A safety glass.

TILING NOTES:

- tile grouting and sealing shall be carried out in accordance with the requirements of AS3958 Part 1 1991 (guide to the installation of ceramic tiles)
- provide for surface control joints at 4.0 meter centres maximum.
- the adhesive shall be organic based complying with AS2358 - 1990 (adhesives for ceramic wall tiles and mosaics, part 1 - 1.3(a) type 1)
- note that the adhesive must be combed in a horizontal direction only.



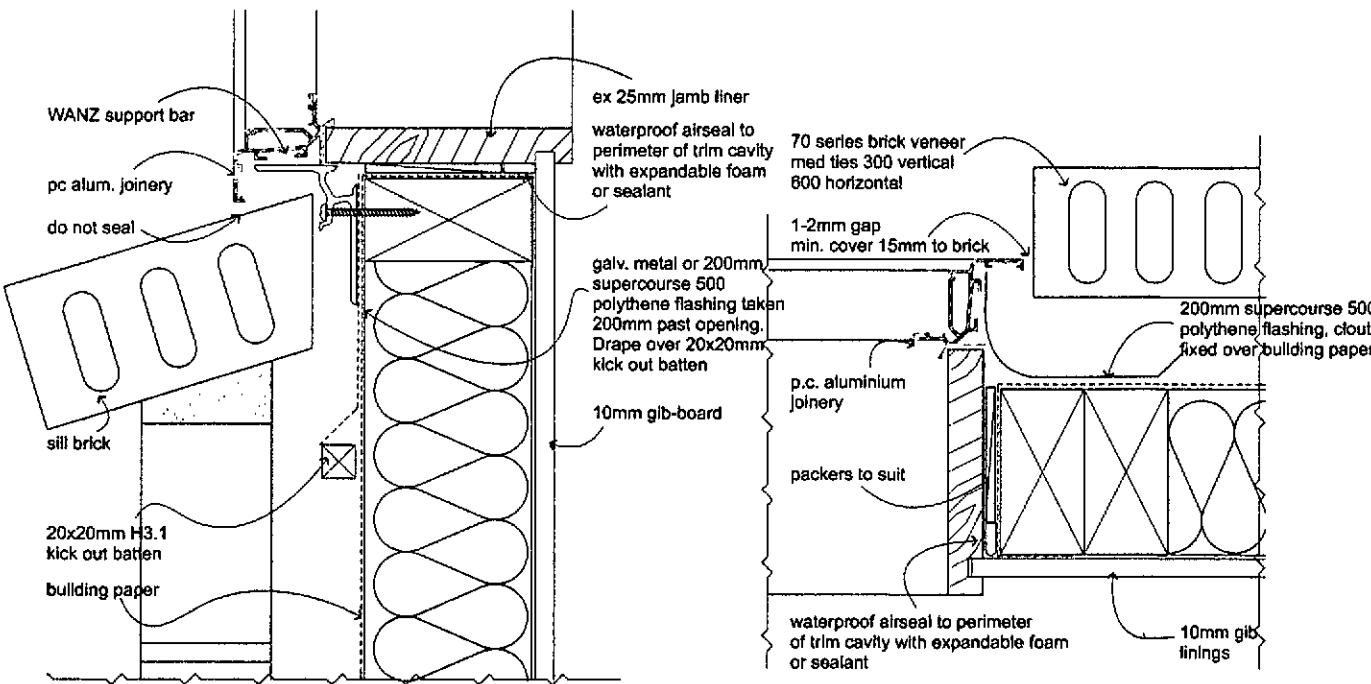
project

**PROPOSED RESIDENCE FOR
OSBORNE/DEHARING**
61 BIG STONE ROAD
BRIGHTON
DUNEDIN

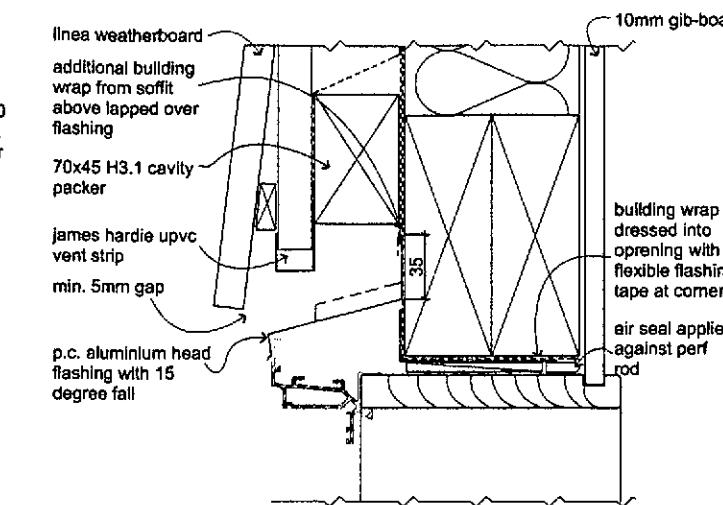
sheet contents

**BATHROOM PLANS/
ELEVATIONS & WET AREA
DETAILS**

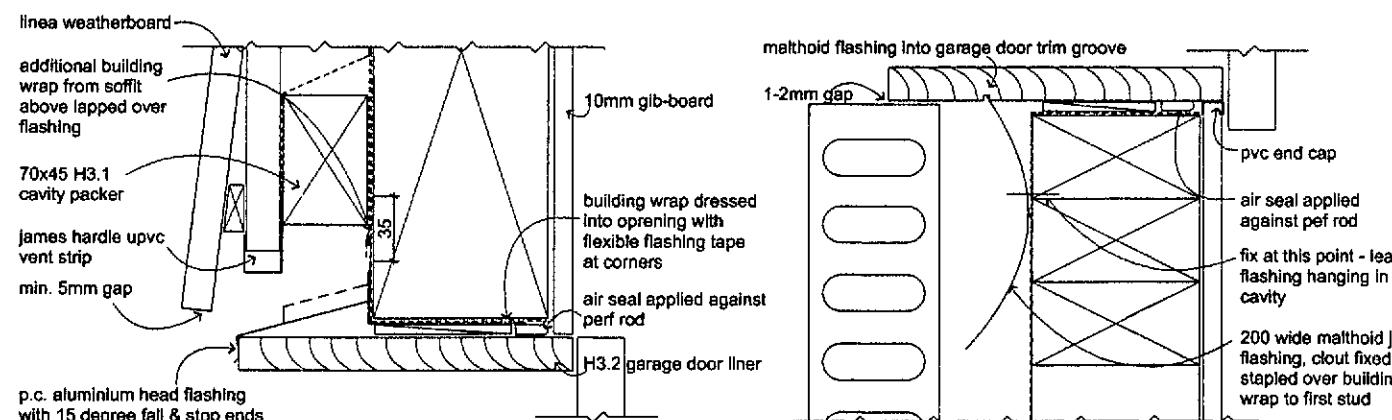
rev	amendments	date	by	job number
A	for building consent	13/05/13	G.F	10182
				www.highmarkhomes.co.nz
				date drawn: 13th May 2013
				drawn by: Glenn
				checked
				sheet of rev. A15 A
				sheet scale: 1:25 @ A1 1:50 @ A3, 1:5 @ A1 1:10 @ A3
				cad file:



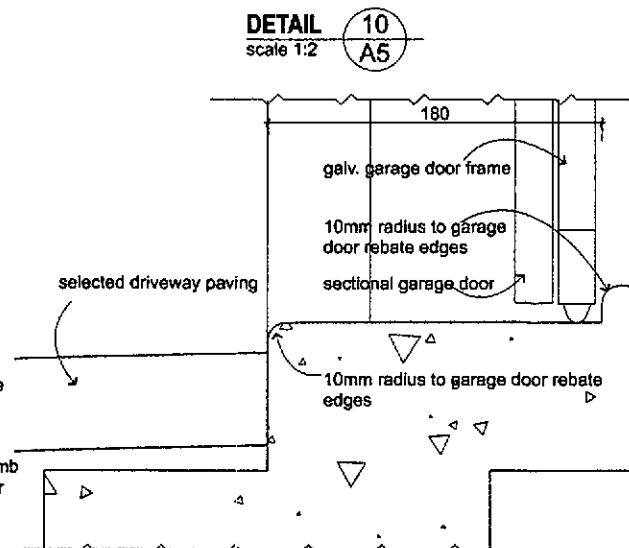
DETAIL 8
scale 1:2
A5



DETAIL 9
scale 1:2
A5



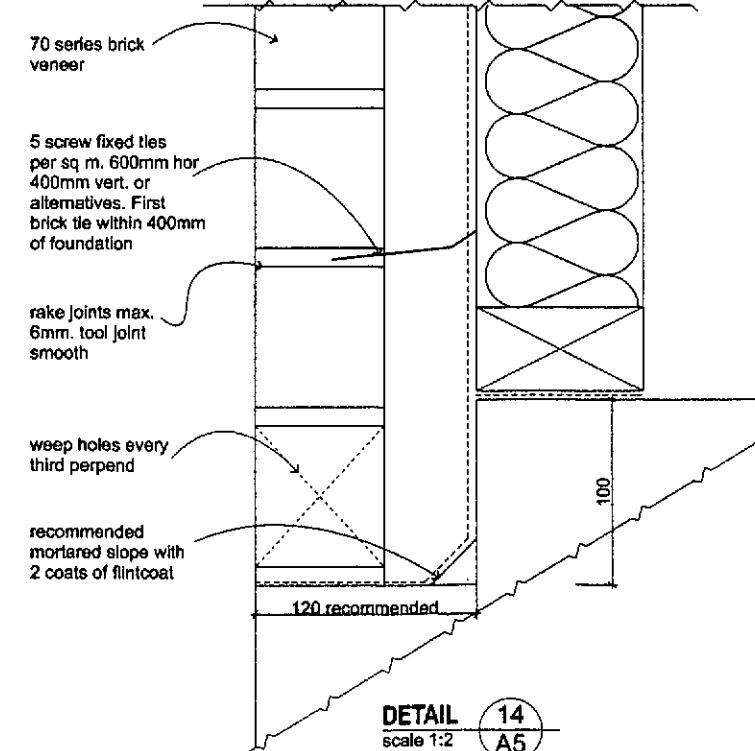
DETAIL 10
scale 1:2
A5



DETAIL 11
scale 1:2
A5

DETAIL 12
scale 1:2
A5

DETAIL 13
scale 1:2
A5



DETAIL 14
scale 1:2
A5



All dimensions, & underground service locations to be checked prior to commencement of all works. DO NOT scale off drawings. Cross reference all drawings, confirm site levels, floor heights & restrictions prior to earthworks. If any discrepancies occur, contact Highmark Homes immediately before commencing works or ordering. COPYRIGHT : These drawings are the property of HIGHMARK HOMES LTD and are provided for use as described above and may not be used or reproduced in whole or part without written permission. Producer statements issued by all suppliers & tradesmen where applicable. Any site/construction works are not to commence until building permit becomes unconditional.

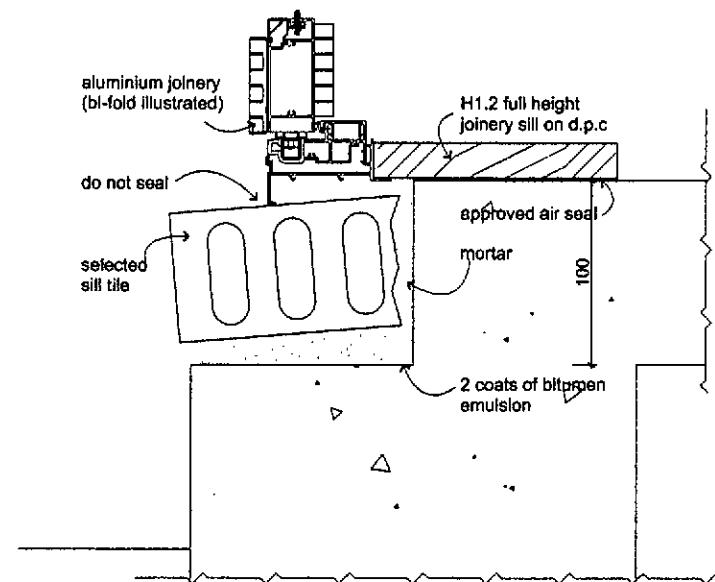
project

PROPOSED RESIDENCE FOR
OSBORNE/DEHARING
61 BIG STONE ROAD
BRIGHTON
DUNEDIN

sheet contents

DETAILS

ref.	amendments	date	by	job number
A	for building consent	13/05/13	G F	10182
				www.highmarkhomes.co.nz
				date drawn 13th May 2013
				drawn by Glenn
				checked
				sheet of rev A16 A
				sheet scales 1:20 A1 1:40 A1
				cad file

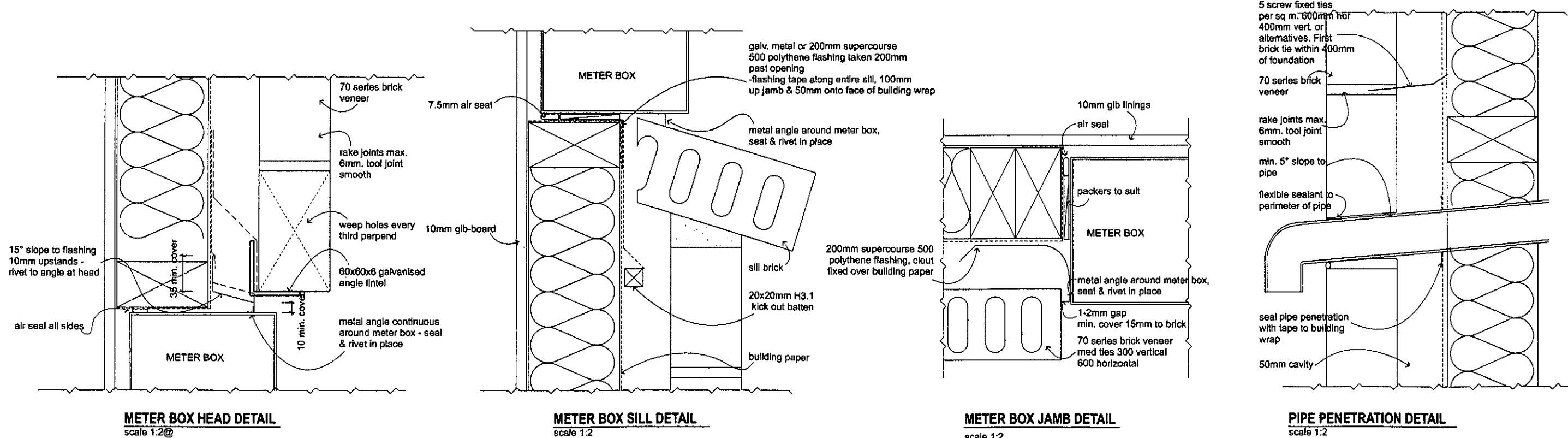


DUNEDIN CITY COUNCIL
...KOVED BUILDING CONSENT DOCUMENT

2013 1214

DETAIL 15
scale 1:2 A5

Note: WANZ aluminium support bar omitted for clarity



METER BOX HEAD DETAIL
scale 1:2@

METER BOX SILL DETAIL
scale 1:2

METER BOX JAMB DETAIL
scale 1:2

PIPE PENETRATION DETAIL
scale 1:2



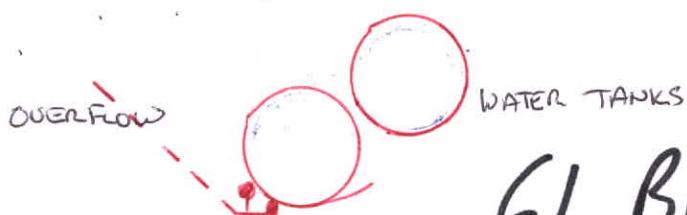
All dimensions & underground service locations to be checked prior to commencement of all works. DO NOT scale off drawings. Cross reference all drawings, confirm site levels, floor heights & restrictions prior to earthworks. If any discrepancies occur, contact Highmark Homes immediately before proceeding. © 2013 HIGHMARK HOMES LTD. All rights reserved. This document is the property of HIGHMARK HOMES LTD and is provided for use as described above and may not be used or reproduced in whole or part without written permission. Product statements issued by all suppliers & tradesmen where applicable. Any site/construction works are not to commence until building permit becomes unconditional.

project
PROPOSED RESIDENCE FOR
OSBORNE/DEHARING
61 BIG STONE ROAD
BRIGHTON
DUNEDIN

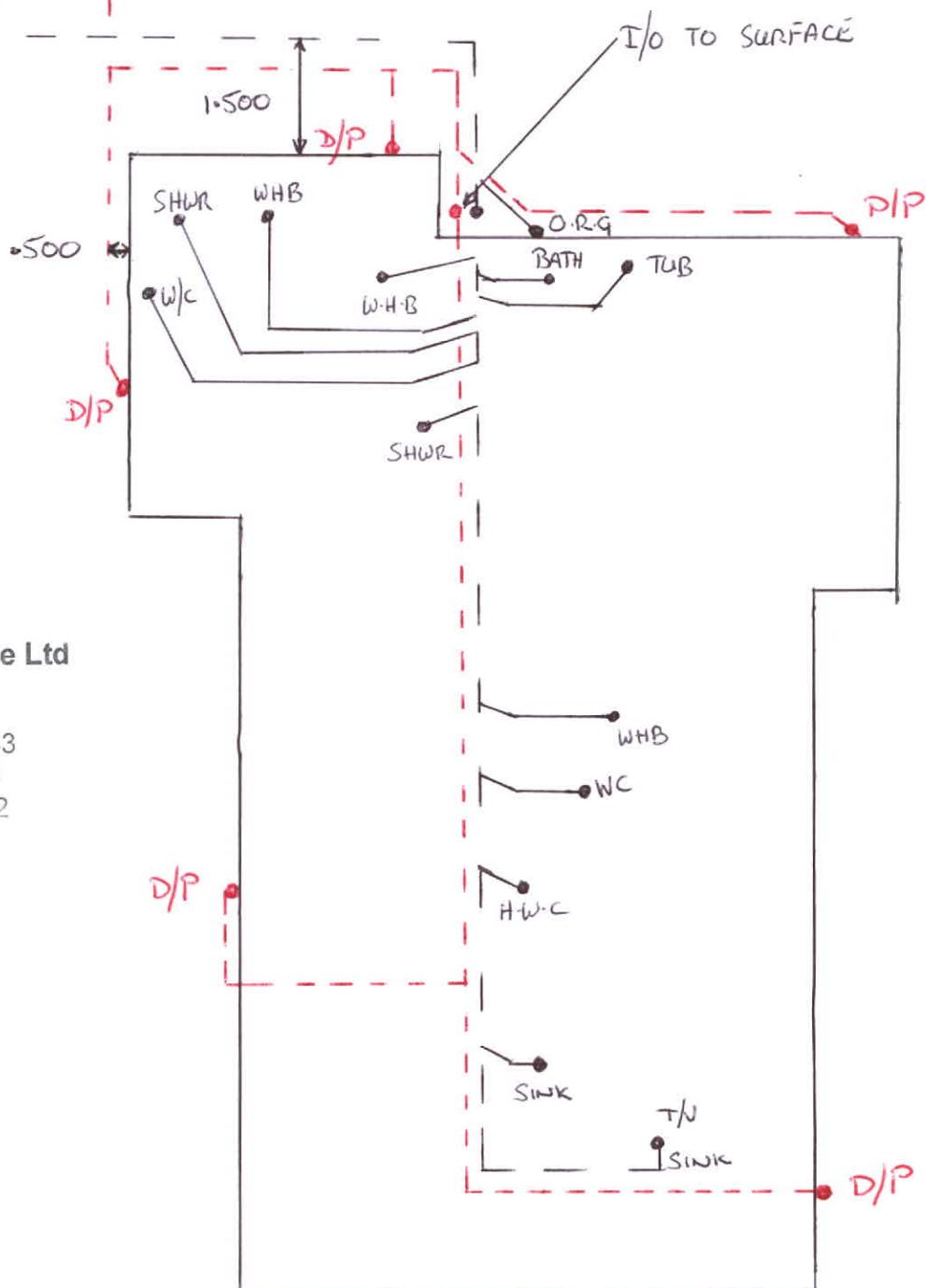
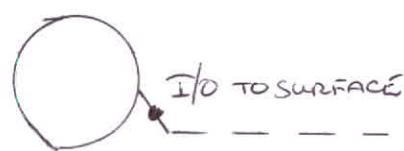
sheet contents

DETAILS

rev.	amendments	date	by	Job number	
A	for building consent	13/05/13	O.F.	10182	www.highmarkhomes.co.nz
					date drawn 13th May 2013
					drawn by Glen
					checked
					sheet of rev.
					17 A
					sheet scales 1:2 @ A1 1:4 @ A3
					cad file



SEPTIC TANK



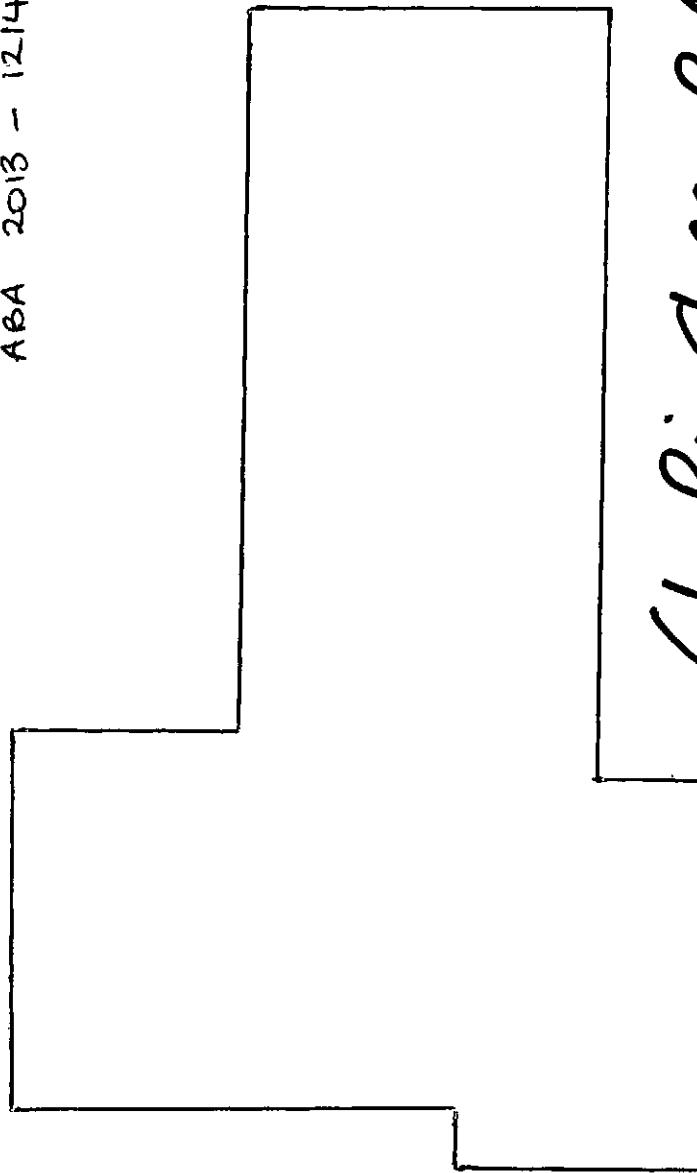
M.N. Butler
Plumbing & Drainage Ltd
71 Hall Road
Sawyers Bay
Phone: 03 472 8543
Fax: 03 472 8573
Cell: 027 472 8542

AS BUILT DRAINAGE PLAN
63 BIG STONE RD

As Built Plan

Received by: NMAC
Date: 19/12/2013
ABA No: 2013-1214

YOLANDER HEARING
61 BIG STONE ROAD
ABA 2013 - 1214



61 Big Stone Rd
ABA 2013 - 1214
As built Damage Plan

As Built Plan

Received by: NMAC
Date: 19/12/2013
ABA No: 2013-1214

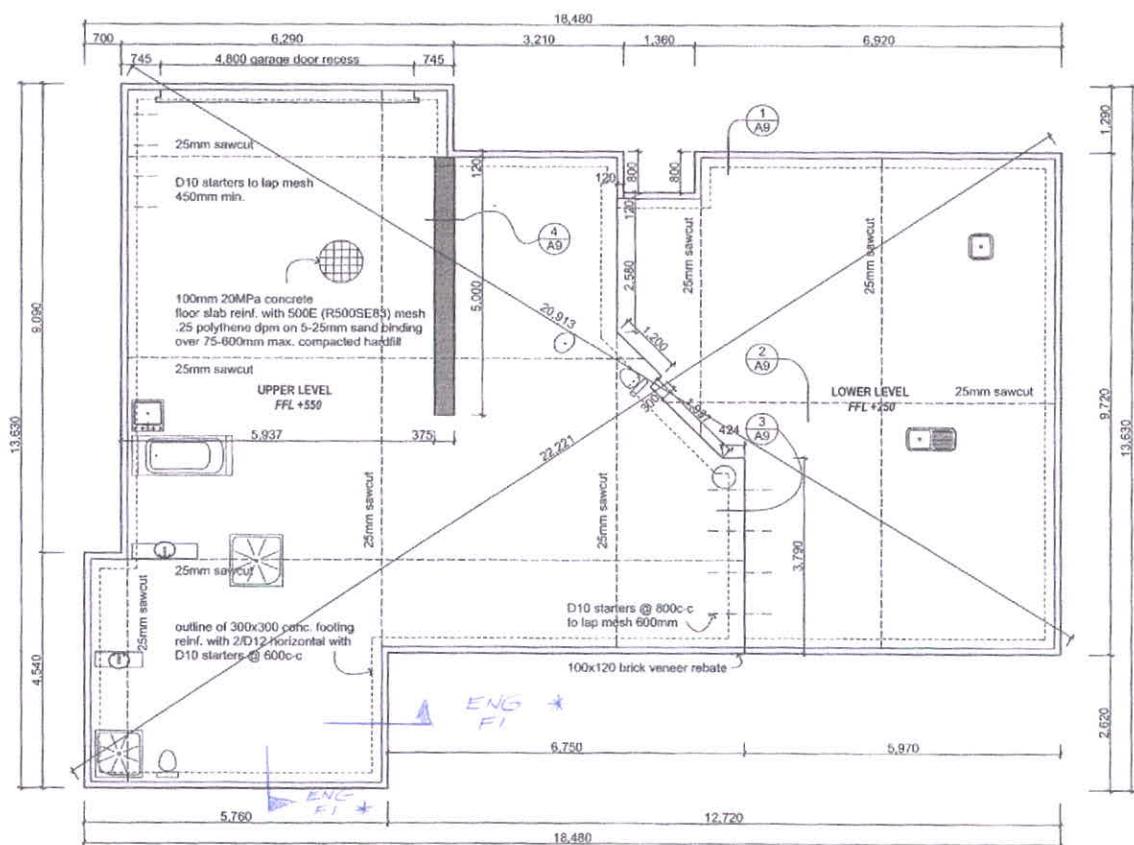


PUMP LINE

EFFLUENT DISPERSAL FIELD.
PINNED DOWN IN PINE TREES



As Built Plan
Received by: Paul Martin
Date: 19/12/2013
ABA No: 2013-2083



FOUNDATION PLAN

scale 1:50

Note : Truss manufacturer to confirm internal loadbearing walls where slab thickenings will be necessary.

Note : Overall exterior dimension : 65,820

DESIGN ENGINEER

The structural elements designated
on this drawing have been designed by Kirk Roberts
Consulting Engineers Ltd.

Job No. 132425 Signari

17/08/2013



All dimensions & underground services locations to be checked prior to commencement of all work. DO NOT write on/off drawings. Cross references are required for all dimensions. All dimensions are in metres and are approximate. If any dimensions do not agree, contact [fishpath.com](http://www.fishpath.com) immediately before commencing work or enclosing. COPYRIGHT: These drawings remain the property of HOMERAK HOUSES Ltd and are given free for use as described above and may not be used or re-produced in whole or part, without written permission. Copyright statements issued by all template & trademark sellers apply. Any site/consent/outline works are not to commence until building permit becomes unconditional.

1

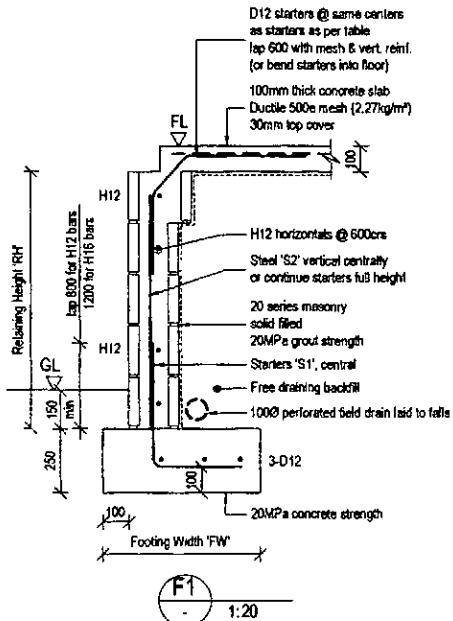
PROPOSED RESIDENCE FOR
OSBORNE/DEHARING
61 BIG STONE ROAD
BRIGHTON
DUNEDIN

Other payments

FOUNDATION PLAN

GENERAL NOTES

1. Do not scale of drawing. If in doubt - ask!
2. All structural details to be used in conjunction with the architectural drawings.
3. Refer to the architect if changes for all wall and dimensions and loads.
4. Where differences occur between architect and structural details, refer to Architect for direction before proceeding with site.
5. Comply with of OSH and specific Health and Safety requirements of all relevant codes.
6. Formwork systems to be installed in accordance with specification.
7. Shoring arrangements are not shop drawings. If required, due to complex earthwork, seek advice from designer.
8. Panels at least 24 hours (48 hours preferred) before any inspection required.
9. External plants to be held up guaranteed.
10. Contractor to verify:
 - All structural drawings are the latest construction details
 - All dimensions are up to date prior to commencing any work



RETAINING WALL TABLE 'F2'			
Retaining Height 'RH' (in mm)	Footing Width 'FW' (in mm)	Starters 'S1'	Steel 'S2'
800 max	450	H12 @ 600	H12 @ 600
1200 max	600	H12 @ 600	H12 @ 600
1800 max	900	H12 @ 600	H12 @ 600

NOTE: Steel 'S2' can be omitted if
steel 'S1' extends entire wall.

Design by	Date	Rev
Drawn by	Job No	132425
Reviewed by	Date	01/01/2025
Approved by	Date	01/01/2025
This drawing is the property of Kirk Roberts Ltd. It is to be used only for the project for which it was issued. Any unauthorized copying or distribution is illegal.		
Design No	Drawn No	Rev
S1.0	01	

KIRK ROBERTS
CONTRACTING ENGINEERS LTD

21 Birkdale Road, PO Box 10-300, Christchurch, New Zealand. P: (03) 311 0000 F: (03) 311 0001 E: kirkroberts@xtra.co.nz www.kirkroberts.co.nz

OSBOURNE DEHARING
61 BIG STONE ROAD,
BRIGHTON, DUNEDIN

Client
HIGHMARK HOMES

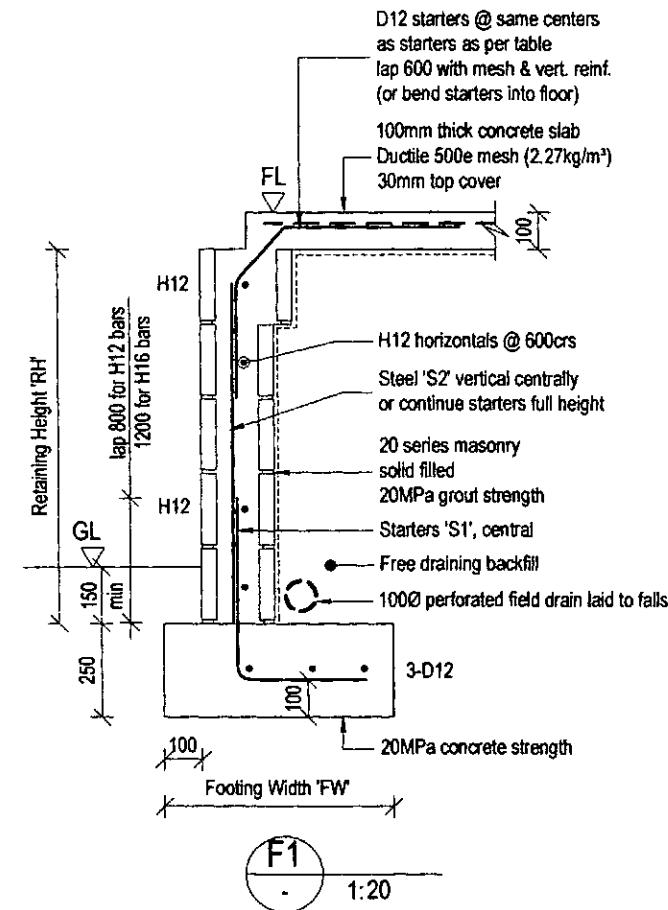
No.
FOUNDATION DETAIL

As Built Plan

Received by: Paul Martin

Date: 19/12/2013

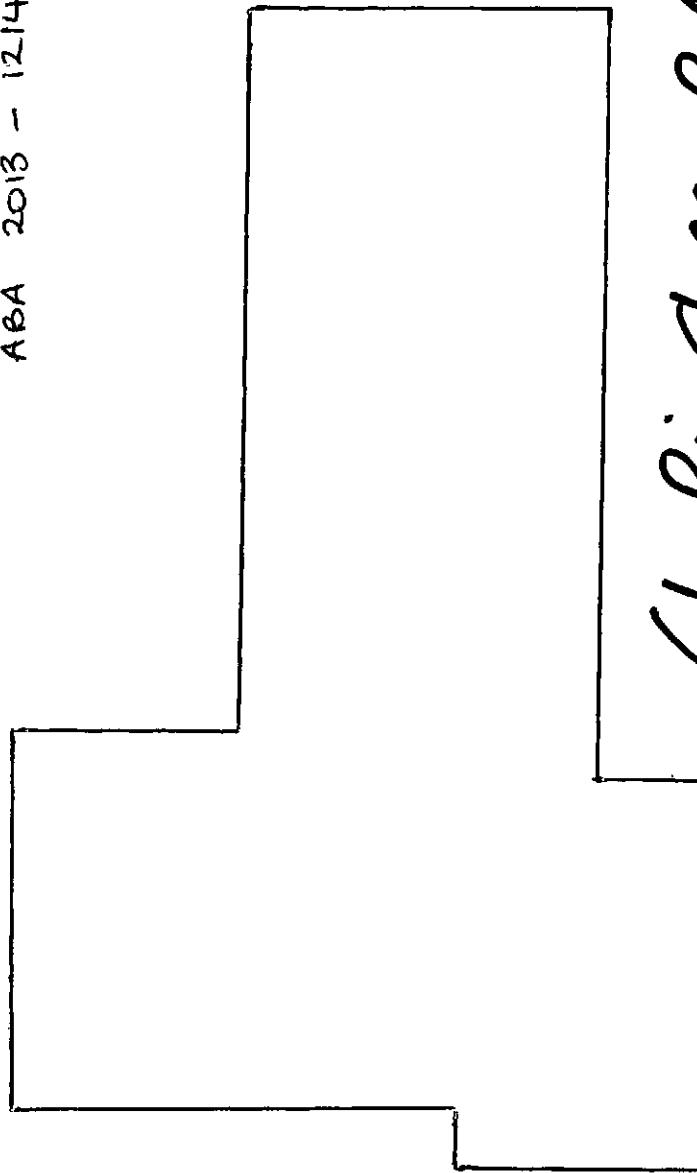
ABA No: 2013-1214



RETAINING WALL TABLE 'F2'

Retaining Height 'RH' (in mm)	Footing Width 'FW' (in mm)	Starters 'S1'	Steel 'S2'
----------------------------------	-------------------------------	---------------	------------

YOLANDER HEARING
61 BIG STONE ROAD
ABA 2013 - 1214



61 Big Stone Rd
ABA 2013 - 1214
As built Damage Plan

As Built Plan

Received by: NMAC
Date: 19/12/2013
ABA No: 2013-1214



PUMP LINE

EFFLUENT DISPERSAL FIELD.
PINNED DOWN IN PINE TREES



ABA 2013-1214

**PRODUCER STATEMENT – CONSTRUCTION
(PS3)
Effluent Disposal Systems**

ISSUED BY: Dave Brownie Drainage Services
(Installer/contractor)

to: Yakima Ben Herring (Owner)

IN RESPECT OF: Pressure ... Compacted ... dryline ... irrigation
(Type of system)

AT: 63 Big Stone Road.....
(Address)

BUILDING CONSENT AUTHORITY: Dunedin City Council

BUILDING CONSENT BCB - 2012-1214
NUMBER:

Dave Bradie a duly authorised representative of the above contractor, can confirm that I have sighted the issued building consent and read any associated conditions. As the contractor/authorised representative I can confirm that the building works mentioned above have been completed in accordance with the New Zealand Building Code, the conditions of the building consent, and the approved building consent documents.

STRUCTURE OF ADAPTED ACIDS ON TESTED OF THE CRUICERITY

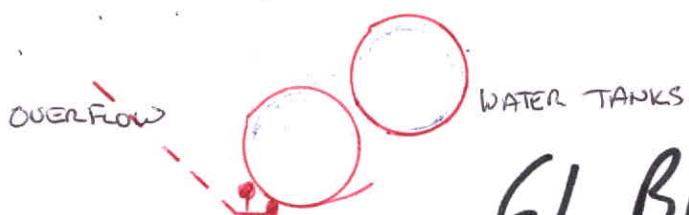
19.12.2013

1. *What is the primary purpose of the study?*

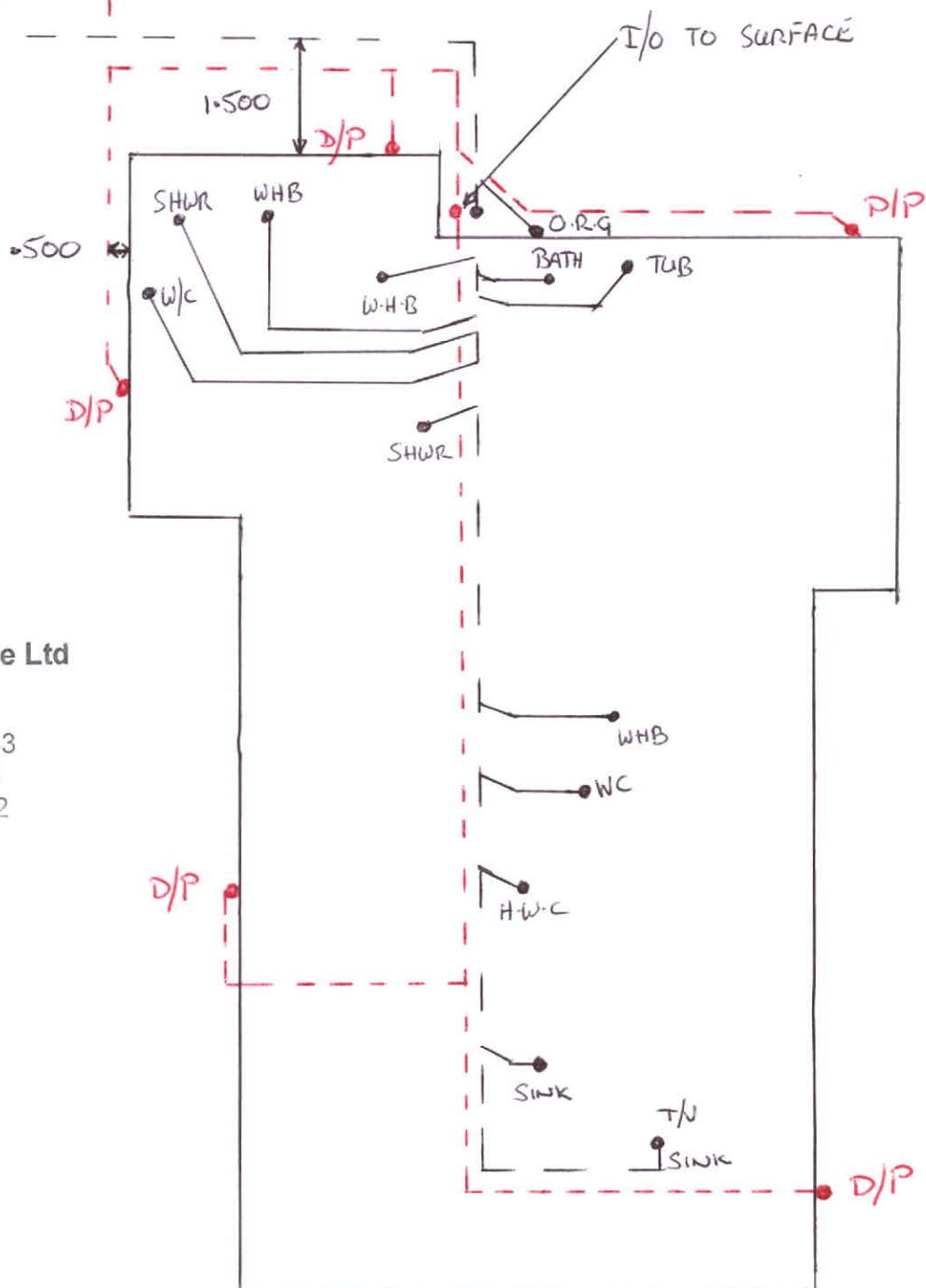
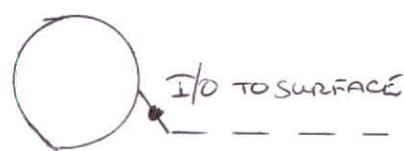
Received by: *ANNA*

Date: 19/12/2013

ABA No: 2013-1214



SEPTIC TANK



M.N. Butler
Plumbing & Drainage Ltd
71 Hall Road
Sawyers Bay
Phone: 03 472 8543
Fax: 03 472 8573
Cell: 027 472 8542

AS BUILT DRAINAGE PLAN
63 BIG STONE RD

As Built Plan

Received by: NMAC
Date: 19/12/2013
ABA No: 2013-1214

BUILDING CONSENT - ABA-2021-1237

(Section 51, Building Act 2004)

Form 5

The building

Street address of building: 61 Big Stone Road Brighton

Legal description of land where building is located: LOT 1 DP 378151, LOT 2 DP 378151

Building Name: n/a

Location of building within site/block number: n/a

Level/unit Number: n/a

The owner

Name of owner: C J Parsons and L Parsons

Contact person: C J Parsons and L Parsons

Mailing address: C/O Widespan South Island 2015 Limited, 19 Southwark Street, Christchurch 8011

Street address/registered office:

Mobile: 021 058 4200

Landline:

Email address: leanne.chrispo@gmail.com

First point of contact for communications with the building consent authority: As above

Building work

The following building work is authorised by this building consent:

Erect 3 Bay Garage.

This building consent is issued under Section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

Compliance Schedule

A compliance schedule is not required for the building.

Attachments

Copies of the following documents are attached to this building consent:

Record of required site inspections (section 90(2) of the Building Act 2004)

Project Consideration PCON-2021-335



Grant Sutton

Authorised Officer

On behalf of Dunedin City Council

Date: 8 July 2021



2018-2019, copyright DCC/Aerial Surveys Ltd/ORC, CC BY 4.0 NZ

Photographic Map

Scale at A3:
1:2,000
9/06/2021
3:43:20 PM



PARCEL LINES CAN VARY FROM
LEGAL PARCEL BOUNDARIES
This map is for illustration purposes only
and is not accurate to surveying, engineering
or orthophotographic standards. Every effort
has been made to ensure correctness and
timeliness of the information presented.

2018-2019 Urban, Copyright DCC/Aerial Surveys
Ltd, Rural, ORC/Aerial Surveys Ltd, CC BY 4.0 NZ

2013 Urban and rural photography Jan/Feb 2013,
Copyright DCC, CC BY 3.0 NZ

2006/2007 Urban photography March 2007,
copyright NZAM, Rural photography March
2006, copyright Teralink International Ltd.



Legend

Water Supply

	Manifold Box		Water Pump Station
	Water Meter		Water Bore
	Toby		Water Treatment Plant
	Meter without manifold box		Water Storage Tank
	Retic Flow Meter		Supply Main
	Combination Meter		Trunk Main
	Manifold Box With Restrictor		Disused
	Water Valve - Zone		Reticulation
	Non Return Valve		Rider
	Water Valve - Gate		Scour
	Water Valve - Sluice		Water Service Lateral
	Water Hydrant		Water Fire Service Lateral
	Water Backflow Preventor - RPZ		Water Critical Service Lateral
			Water Zone Boundary
			Water Reservoir
			Redundant Water Main

NOTE:
RPZ Private water services have the same symbols as those above, however they are coloured pink.

Foul Sewerage

	Standard Manhole		Treatment Plant
	Valve Chamber (pressurised)		Vent
	Boundary Kit		Foul Sewer Node
	Non-Return Valve		Foul Drains in Common (public)
	Pump Station Domestic		Sewer
	Drop Manhole		Trunk Sewer
	Inspection Manhole		Vent Line
	Inspection Opening		Rising Main
	Lamphole		Redundant Foul Sewer Pipe
	Outlet	NOTE: Private foul drains have the same symbols as those above, however they are coloured	

NOTE:
Private foul drains have the same symbols as those above, however they are coloured orange.

Stormwater

	SW Bubble-up Tank		Roading Bubble-Up Tank
	SW Drop Manhole		Roading Mudtank
	SW Insp Chamber and Grating Inlet		Stormwater Main
	SW Inspection Manhole		Stormwater Trunk Main
	SW Inspection Opening		DCC Open Channel
	SW Lamphole		Piped WC
	SW Mudtank Inlet		Open WC
	SW Outlet		Culvert
	SW Pipe Inlet		Stormwater Mudtank Pipe
	SW Pressure Manhole		Redundant Stormwater Main
	SW Standard Manhole		SW Sump
	SW Stormwater Node		SW Pump Station

NOTE:
Private stormwater drains have the same symbols as those above, however they are coloured light green.

General

General

- DCC Water & Waste Structure
- Railway Centreline

Cadastral

- Parcel
- Road/Rail
- Hydro
- Motorway Parcels
- State
- Former (shown as a dashed line)

2018-2019, copyright DCC/Aerial Surveys Ltd/ORC, CC BY 4.0 NZ

Information shown is the best available at the time of publishing. The accuracy and completeness of This information is variable. Private assets are typically not mapped. Recent changes may not be reflected. Verify on site before commencing work. For all enquiries phone 03 477 4000.

Scale at A3

Scale at 1:500

1

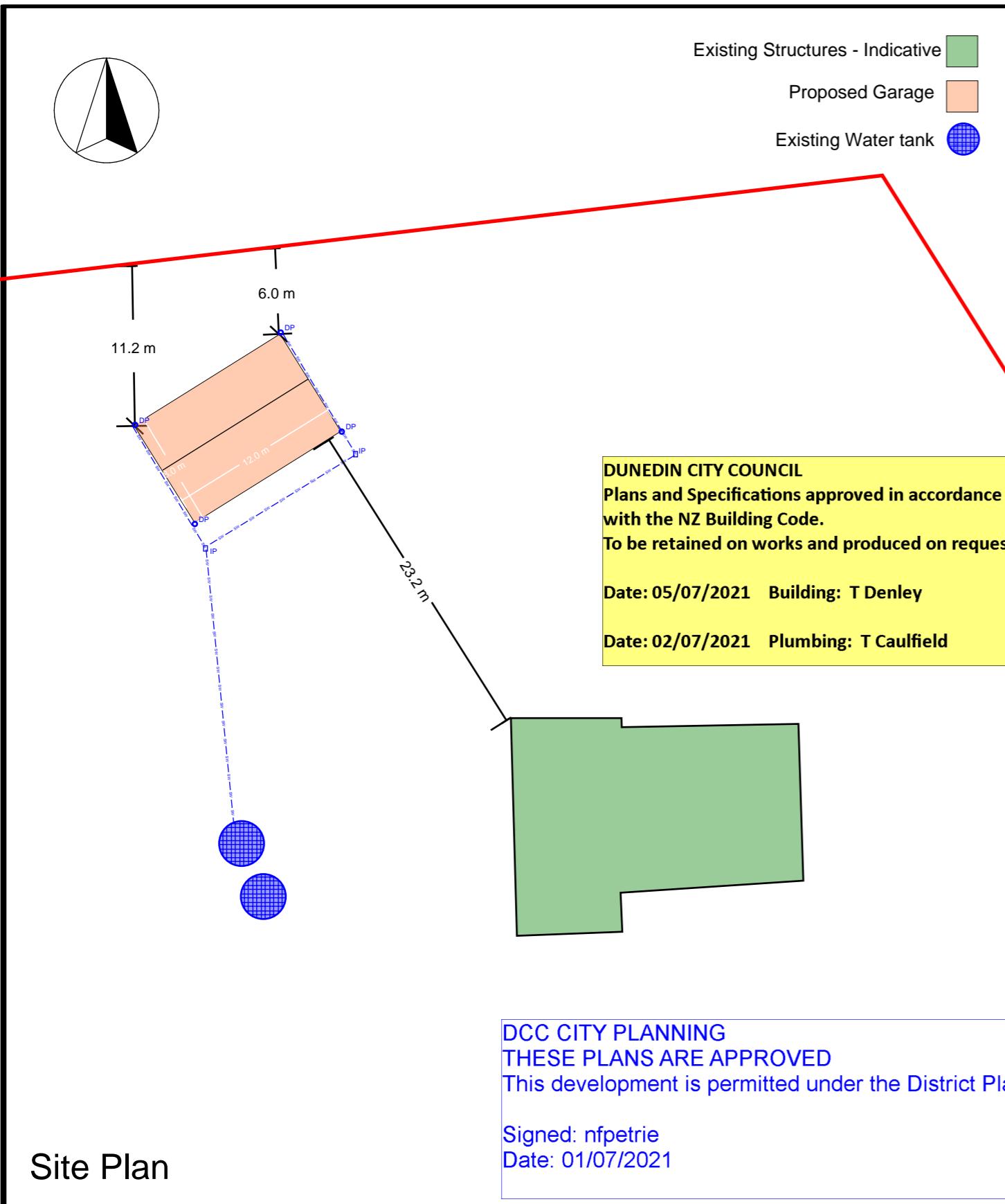
1

2018-2019 Urban, Copyright DCC/Aerial Survey Ltd. Rural, ORC/Aerial Surveys Ltd. CC BY 4.0

2013 Urban and rural photography Jan/Feb 2
Copyright DCC, CC BY 3.0 NZ

not accurate to surveying, engineering photographic standards. Every effort is made to ensure correctness and less of the information presented

Council Water & Drainage Services



LEGAL DESCRIPTION
Lot: 2
DP: 378151
Gross Site Area: 2.4012ha

RESOURCE MANAGEMENT PLANNING
Territorial Authority: Dunedin City Council
Zoning: Rural

BUILDING DESIGN DATA
Wind Zone: High
EQ Zone: 1
Corrosion Zone: C
Snow Zone: N5

Total Roof Area: 96m²
Roof Pitch: 22.5°
Usage: Outbuilding - Garage
Rainfall Range: 40 - 50

Notes:
Excavation maximum 8m³ (Site Scrape & Piers)
FFL - min 150mm above Finished ground level
All stormwater drainage to comply with E1/AS1 NZBC
Downpipe 80Ø - 24m²
Owner to Provide a Flat Level building platform before construction begins
Appropriate barriers in place to comply with F5/AS1
100Ø UPVC Stormwater Pipe @ 1:120 - connection to existing water tank.

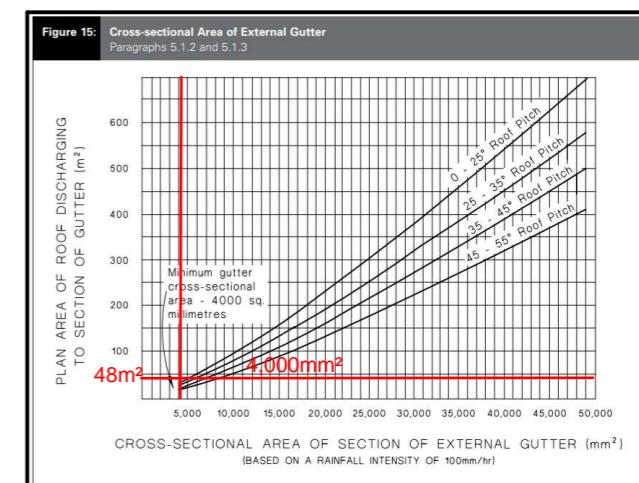


Table 5: Downpipe Sizes for Given Roof Pitch and Area
Paragraph 4.2.1

Downpipe size (mm) (minimum internal sizes)	0-25°	25-35°	35-45°	45-55°
63 mm diameter	60	50	40	35
74 mm diameter	85	70	60	50
100 mm diameter	155	130	110	90
150 mm diameter	350	290	250	200
65 x 50 rectangular	60	50	40	35
100 x 50 rectangular	100	80	70	60
75 x 75 rectangular	110	90	80	65
100 x 75 rectangular	150	120	105	90

Plan area of roof served by the downpipe (m²)



ALL DIMENSIONS ARE SHOWN IN MILLIMETRES UNLESS OTHERWISE INDICATED. ALL DOCUMENT DISCREPANCIES TO BE DISCUSSED WITH WIDESPAN SOUTH ISLAND 2015 LTD.

PROJECT: Garage at 61 Big Stone Road, Brighton for Chris Parsons	COHESIVE DESIGN	DRAWING TITLE: Site Plan	SCALE: (Original size A3) 1:400	SHEET No: A101
			DRAWN: MC	DATE: 15/06/2021
			CHECKED:	REV: B JOB No: ZSOU211130

GENERAL NOTES

These documents show the general arrangement of the building and include some items not supplied (refer to the quotation for nomination of all items to be provided). All items not nominated therein shall be supplied and installed by others.

The plans provided here are the latest at the time of print. Earlier plans provided may have become outdated due to engineering changes and should not be used. The plans and drawings are extensive and give all the information needed for a competent person to erect the building. The building is not designed to stand up by itself when it is partially complete. Consequently, construction bracing is critical during erection.

The owner has been requested to check off the BOM after the building delivery. You should check that you are able to locate all materials nominated in the BOM. You should also confirm that the length and size (including thickness), nominated in the BOM is what has been provided. Any missing items are the responsibility of the client once correct delivery has been confirmed as per Terms and Conditions of Sale.

DESIGN CRITERIA

These building plans have been prepared to comply with the standards nominated in the engineer's letter. All plans are not to Scale.

ADDITIONAL DOCUMENTATION TO BE SUPPLIED BY PURCHASER/OWNER

The Purchaser/Owner is responsible for:

* Provision of Soils Report for the site and in the building area on which the building is to be erected

* Site/Drainage Plans

* Any other plans not covered by these engineering plans requested by the local Council or the authority

BUILDING CONSTRUCTION REQUIREMENTS

The Purchaser/Owner is to be ensured that all building construction is carried out in accordance with the Plans, the Construction Manual and the Bill of Materials (BOM).

SLAB AND/OR PIER DETAILS - GENERAL

* The minimum size of Piers under the columns and End Wall Mullions are nominated on the Material Specifications Plan. When the slab and piers are poured as one pour, the depth of the pier is to the bottom of the slab.

* Pier Reinforcement: for any piers over 1100mm, deformed bar to within 100mm of base and minimum 75mm top cover. Minimum side cover 75mm, maximum 100mm. Rod to be caged horizontally at least twice and at a maximum of 300mm spacing. Where pier diameter is less than 450mm diameter, use 6 D12. For diameters equal to and over 450mm, use 8 D16.*

Where columns or end wall mullions have been removed, piers are not required.

* End wall mullion spacing may move due to location of openings or doors. Check layout and component position plan, and relocate piers as required.

- * The Slab Plan indicates those parts of the slab which are 50mm below main slab/piers.
- * Footings and slabs, including internal and edge beams, must be founded on good ground with a minimum allowable bearing capacity of 300kPa. Design covers for a class 5 building.
- * The footing designs have been calculated with adhesion values of 0kPa, 25kPa and 50kPa for clay soils and dense sand soils only.
- * A site specific geotechnical investigation has not been performed. The builder will need to verify the soil type and conditions.
- * Site conditions different to those specified require a modified design.
- * Sub grade shall be excavated and compacted to a minimum of 100% standard dry density ratio and within 2% of the OMC to comply with AS2159.
- * Designs are in accordance with NZS 3101 and AS/NZS 4671
- * All concrete to be in accordance with NZS 3101 and AS/NZS 4671. Minimum 25 Mpa, with 80mm slump. 40 MPa located in coastal/sea spray regions.
- * Concrete should be cured for 7 days before commencing construction of the building.

Concrete Slab

- * Concrete piers under Roller Doors Jambs to be a minimum size as below: MC15015 - 300mm dia x 375mm deep, centered to the C Section
- Where heavy traffic is to go through the roller doors, it is recommended that the slab edge should be thickened to 200mm deep by 300mm wide for the length between the mullions. Place an additional section of SE62 mesh, 50mm from the base in all thickening.

Concrete Piers Only

- * * Concrete piers under Roller Door Jambs to be a minimum size as below: MC15015 - 300mm dia x 750mm deep, centered to the C Section

BRACING NOTES

- * Refer to Connection Details.
- * Knee bracing clearance from FFL is X = Main Building: 2.906m.
- * All Cross Bracing is achieved with 0.95mm Strap G550.
- * Cross bracing is to be fixed taut and secured with 14.20 x 22 frame screws at each end, quantity as per connection details.
- * Fly bracing to be fixed to the purlins/girts on all mid portal rafters, columns and end wall mullions. Fly bracing is to be fitted to every second purlin/girt, or, on every one, where the spacing between fly braces would exceed the maximum specified below for the relevant column/rafter size:

- C150 - maximum 1800mm spacing
- C200, C250 - maximum 2200mm spacing
- C300 - maximum 2800mm spacing
- C350 - maximum 2800mm spacing
- C400 - maximum 2800mm spacing

Initial measurement is from the haunch of the column/rafter, and from the rafter for any end wall mullions.

* All bracing strap ends to be located as close as practical to structural member's (columns, rafters, mullions) centerline.

BOLTS

- * Unless otherwise nominated, all bolts are grade 4.6
- * All tensioned bolts shall be tensioned using the part turn method (refer to AS4100). For the erector, full details are in the construction manual.

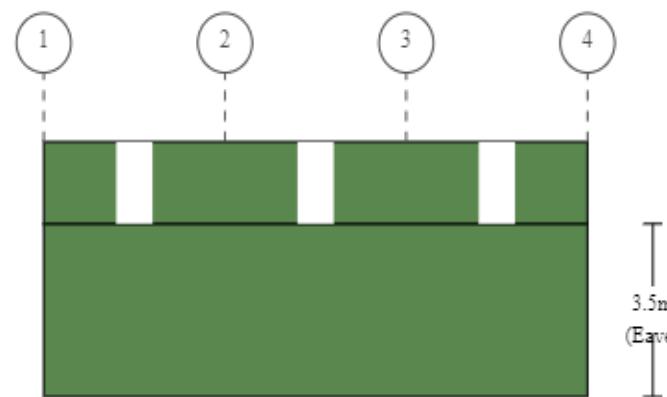
Roller Doors

All comments regarding roller doors are based from inside the building looking out.

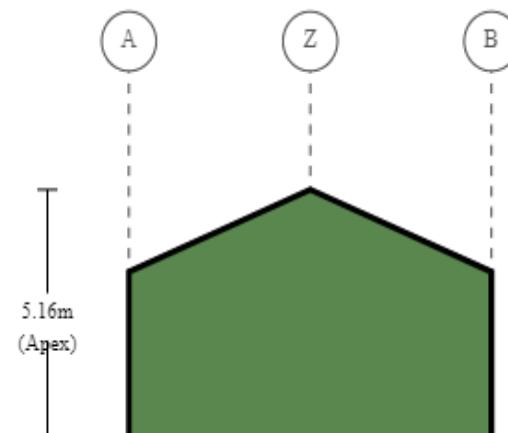
OTHER MATERIALS NOTES

- * All Sheeting, Flashing and framing screws are Climaseal 4.
- * All purlin material has Z350 zinc coating with minimum strength of 450MPa.

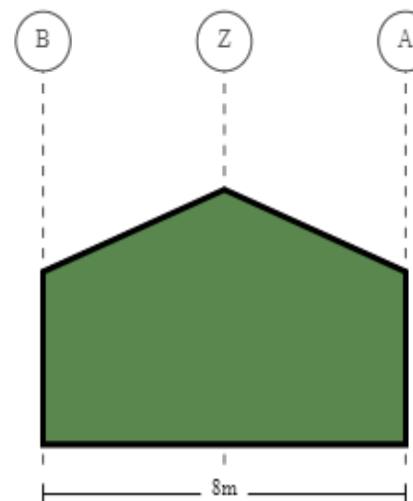
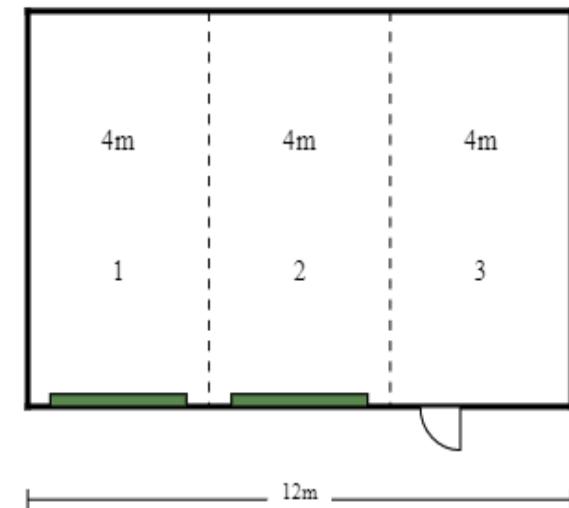
Revision	Date	Initial	Purchaser Name: Christopher and Leanne Parsons	General Notes Page 1 of 1 ©Copyright Steelx IP Pty Ltd	Seller: Wide Span Sheds South Island Ltd Name: WideSpan South Island 2015 Ltd Phone: 3 550 2768 Fax: Email: kevin.lynch@sheds.co.nz	
			Site Address: 61 Big Stone Rd Dunedin New Zealand			
			Drawing # ZSOU211130 - 2		Print Date: 23/05/2021	



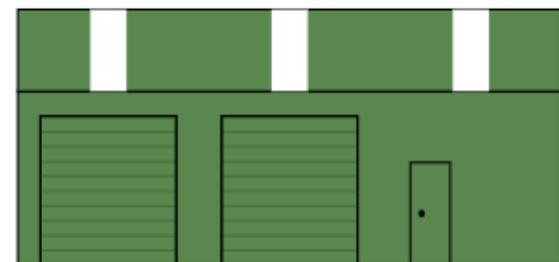
Left Side



Left End



Right End



Right Side

Purchaser Name: Christopher and Leanne Parsons

Site Address: 61 Big Stone Rd Dunedin New Zealand

Drawing # ZSOU211130 - 3

Print Date: 23/05/21

Layout
Not to Scale
© Copyright Steelx IP Pty Ltd

Seller: Wide Span Sheds South Island Ltd
WideSpan South Island 2015 Ltd
Phone: 3 550 2768
Fax
Email: kevin.lynch@sheds.co.nz

MATERIAL SPECIFICATIONS

For further information regarding the tabulated values shown, refer to the General Notes

Building Dimensions

Categories	Span	Length	Pitch	Height	Grid(s)	Portal(s)
Main Building	8	12	22.5	3.5	A - B	1 - 4

Portal Frame Elements

Grid / Portal Number		1	2	3	4
Columns	A	C15015	C20023	C20023	C15015
	B	C15015	C20023	C20023	C15015
Rafters	A - Apex	C15012	C20015	C20015	C15012
	Apex - B	C15012	C20015	C20015	C15012
End Wall Mullions	Z	C15015	-	-	C15015
Apex Braces	Apex	-	MC15012(MC) @ 2.4m	MC15012(MC) @ 2.4m	-
Knee Braces	A - Apex		MC15012(MC) @ 1.31m	MC15012(MC) @ 1.31m	
	Apex - B		MC15012(MC) @ 1.31m	MC15012(MC) @ 1.31m	

Bay Section Elements

Grid / Bay Number		1	2	3	Maximum
Bay Widths		4	4	4	
Roof Purlins (refer to Purlin And Girt Plan)		TH100	TH100	TH100	
Roof Purlin Spacing (End)	A - Apex	0.856	0.856	0.856	0.900
	Apex - B	0.856	0.856	0.856	0.900
Roof Purlin Spacing (Internal Spans)	A - Apex	0.856	0.856	0.856	1.200
	Apex - B	0.856	0.856	0.856	1.200
Eave Purlin	A	MC15012	MC15012	MC15012	
	B	MC15012	MC15012	MC15012	
Side Girts (refer to Purlin And Girt Plan)		TH100	TH100	TH100	
Side Girts Spacing (End)	A	1.083	1.083	1.083	1.350
	B	1.083	1.083	1.083	1.350
Side Girts Spacing (Internal)	A	1.083	1.083	1.083	1.700
	B	1.083	1.083	1.083	1.700
Roller Door Header	B	C10010	C10010	-	
Roller Door Jambs	B	MC15015	MC15015	-	
PA Door Header	B	-	-	C10010	
PA Door Jambs	B	-	-	C10012	

End Bay Section Elements

Grid / Portal Number		1	4	Maximum
End Girts (refer to Purlin And Girt Plan)		TH100	TH100	
End Girts Spacing (End)	A - Z	1.083	1.083	1.350
	Z - B	1.083	1.083	1.350
End Girts Spacing (Internal)	A - Z	1.083	1.083	1.700
	Z - B	1.083	1.083	1.700

Cladding Elements

Category	Colour	Product
Roof Sheeting	Colorsteel	Corrugate 0.4 BMT
Roof Flashings	Colorsteel	BlueScope 0.55 BMT
Wall Sheeting	Colorsteel	High Profile 0.40 BMT
Wall Flashing	Colorsteel	BlueScope 0.55 BMT

Revision	Date	Initial	Purchaser Name: Christopher and Leanne Parsons	
			Site Address: 61 Big Stone Rd Dunedin New Zealand	
			Drawing # ZSOU211130 - 4	
			Print Date: 23/05/2021	

Specification Sheet

Seller: Wide Span Sheds South Island Ltd
Name: WideSpan South Island 2015 Ltd
Phone: 3 550 2768
Fax:
Email: kevin.lynch@sheds.co.nz

Page 1 of 2
©Copyright Steelx IP Pty Ltd

MATERIAL SPECIFICATIONS

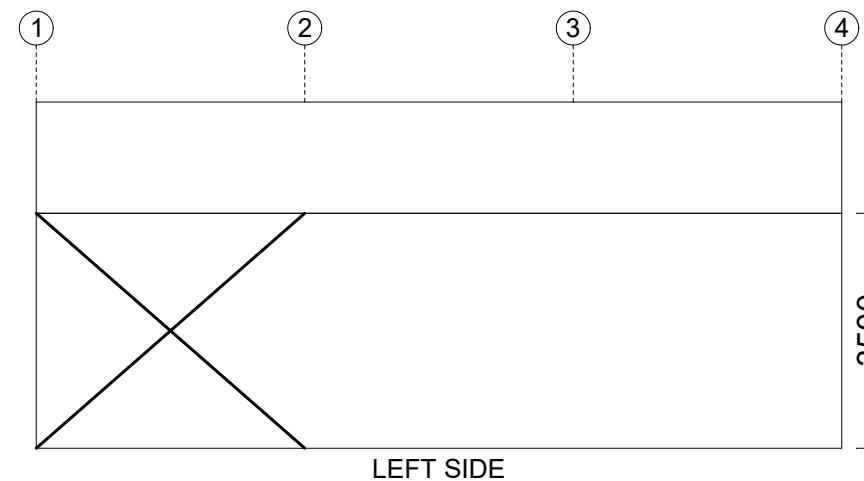
For further information regarding the tabulated values shown, refer to the General Notes

Pier Sizes

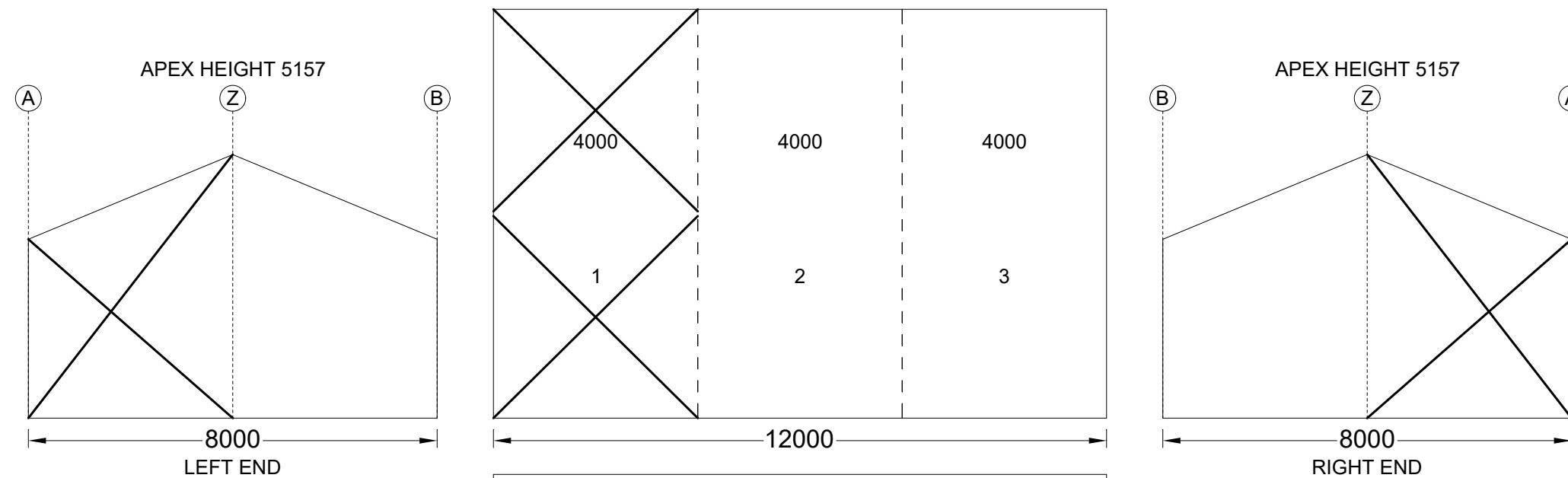
Adhesion (kPa)	Soil Description	Diameter (m)	Depth (m) - when NO Slab		Depth (m) - with Slab	
			BP1	BP2	BP1	BP2
0	Sandy Soil	0.3	1.2	-	0.45	-
		0.45	0.9	1.4	0.45	0.45
		0.6	0.7	1	0.45	0.45
25	Soft to Firm Clay	0.3	0.8	-	0.45	-
		0.45	0.8	1	0.45	0.45
		0.6	0.7	1	0.45	0.45
50	Stiff to Very Stiff Clay	0.3	0.7	-	0.45	-
		0.45	0.7	1	0.45	0.45
		0.6	0.7	1	0.45	0.45

Revision	Date	Initial	Purchaser Name: Christopher and Leanne Parsons	Specification Sheet	Seller: Wide Span Sheds South Island Ltd Name: WideSpan South Island 2015 Ltd Phone: 3 550 2768 Fax: Email: kevin.lynch@sheds.co.nz			
			Site Address: 61 Big Stone Rd Dunedin New Zealand					
			Drawing # ZSOU211130 - 4		Print Date: 23/05/2021			
					PAGINATION ©Copyright Steelx IP Pty Ltd			

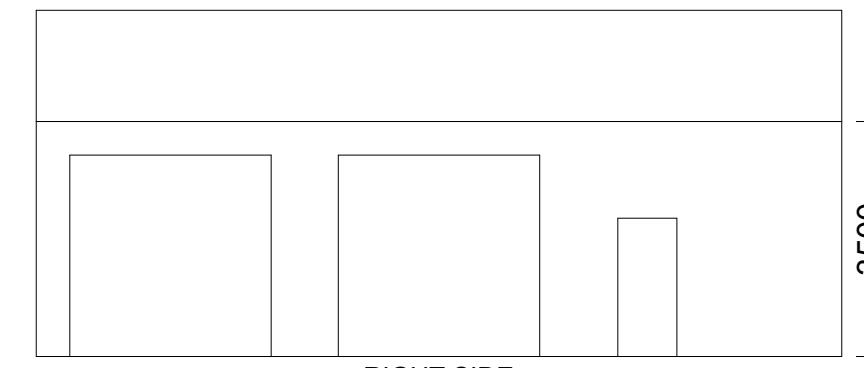
Cross Bracing is achieved with 0.95mm Strap. Refer to Connection Details.



LEFT SIDE



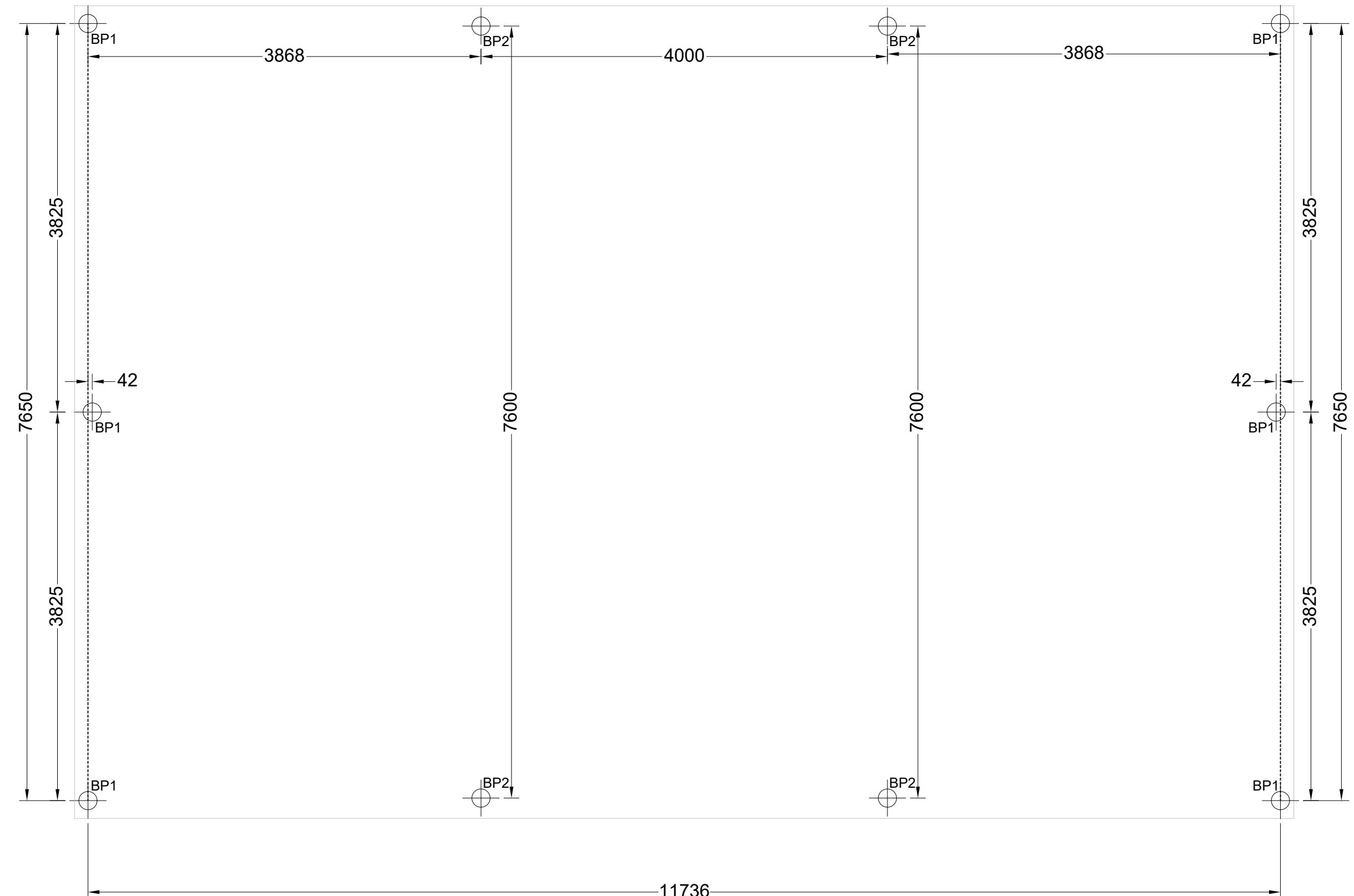
RIGHT END



RIGHT SIDE

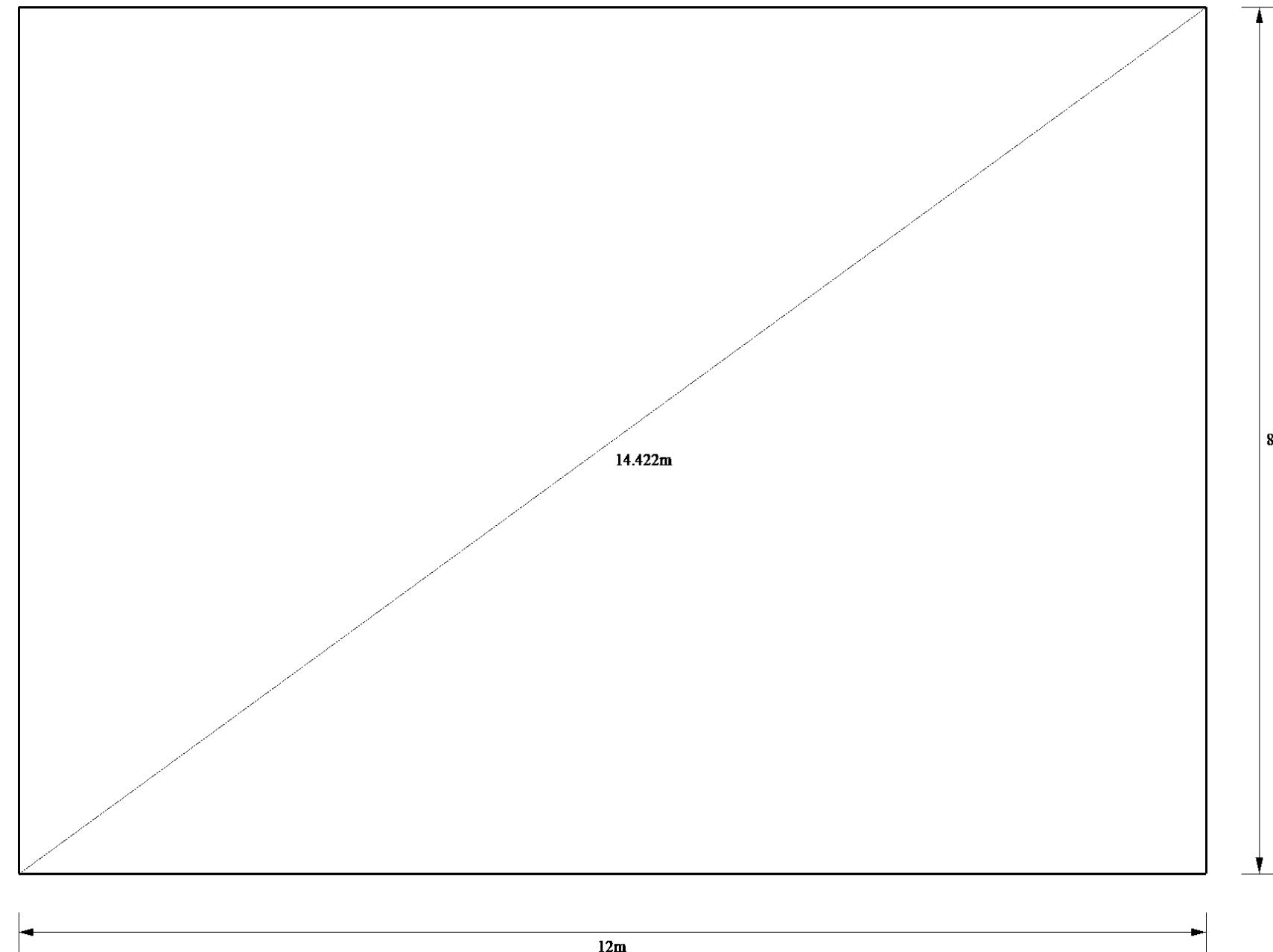
Revision	Date	Initial	Purchaser Name: Christopher and Leanne Parsons	Bracing NOT TO SCALE Page 1 of 1 ©Copyright Steelx IP Pty Ltd	Seller: Wide Span Sheds South Island Ltd Name: WideSpan South Island 2015 Ltd Phone: 3 550 2768 Fax: Email: kevin.lynch@sheds.co.nz
			Site Address: 61 Big Stone Rd Dunedin New Zealand		
			Drawing # ZSOU211130 - 5	Print Date: 23/05/2021	

These dimensions are provided as a guide only. It is the responsibility of the concreter to confirm that all dimensions are correct.
Refer to Material Specifications Plan for BP dimensions.



Revision	Date	Initial	Purchaser Name: Christopher and Leanne Parsons	Concrete Piers PIER MEASUREMENT ONLY NOT TO SCALE Page 1 of 1 ©Copyright Steelx IP Pty Ltd	Seller: Wide Span Sheds South Island Ltd Name: WideSpan South Island 2015 Ltd Phone: 3 550 2768 Fax: Email: kevin.lynch@sheds.co.nz
			Site Address: 61 Big Stone Rd Dunedin New Zealand		
			Drawing # ZSOU211130 - 6	Print Date: 23/05/2021	

These dimensions are provided as a guide only. It is the responsibility of the concreter to confirm that all dimensions are correct.



Purchaser Name: Christopher and Leanne Parsons

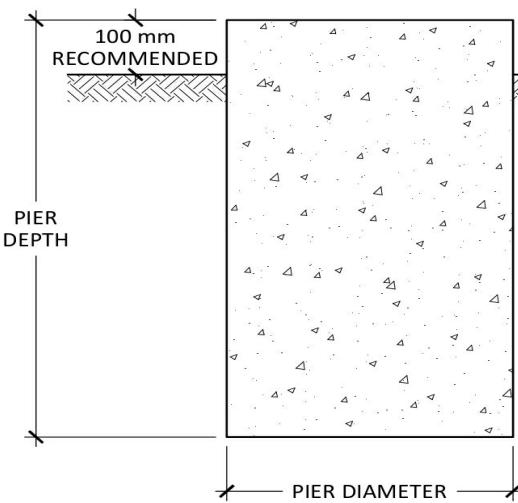
Site Address: 61 Big Stone Rd Dunedin New Zealand

Drawing # ZSOU211130 - 7

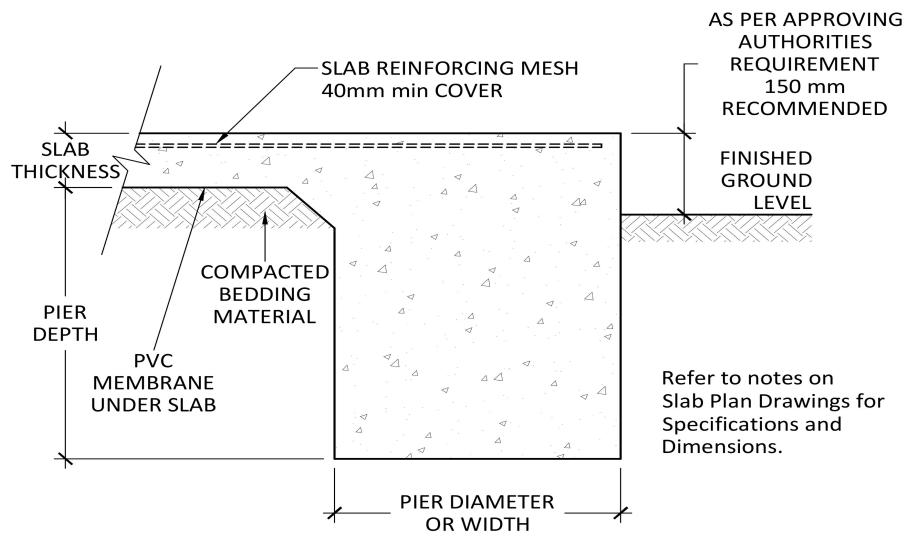
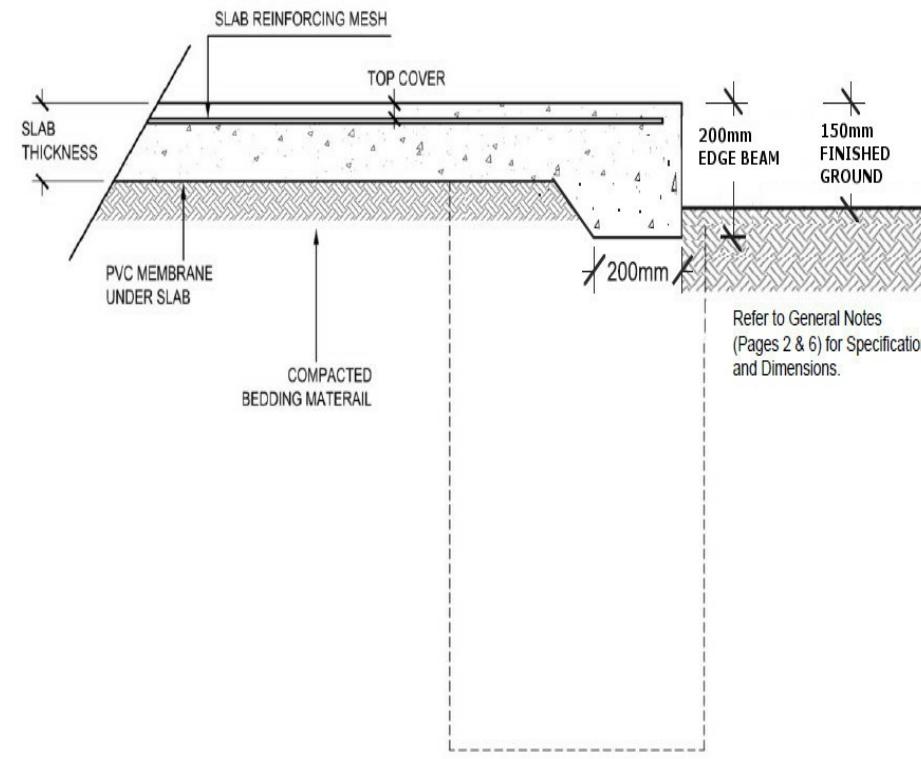
Print Date: 23/05/21

Slab Dimensions
Also refer to Concrete Piers Plan
Not to Scale
© Copyright Steelx IP Pty Ltd

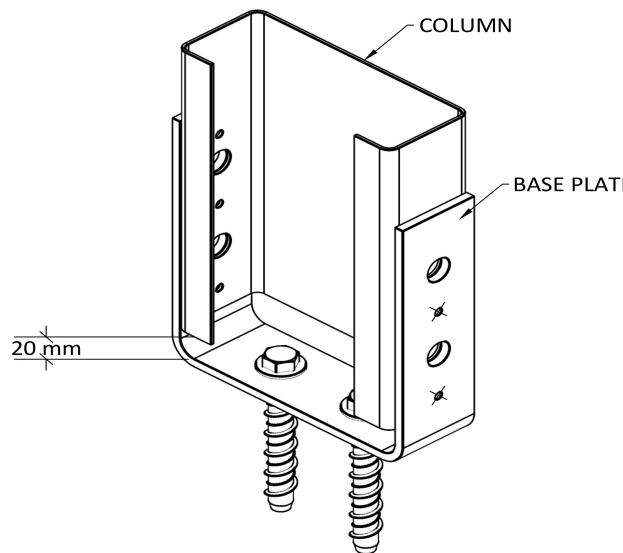
Seller: Wide Span Sheds South Island Ltd
WideSpan South Island 2015 Ltd
Phone: 3 550 2768
Fax:
Email: kevin.lynch@sheds.co.nz



BORED PIER

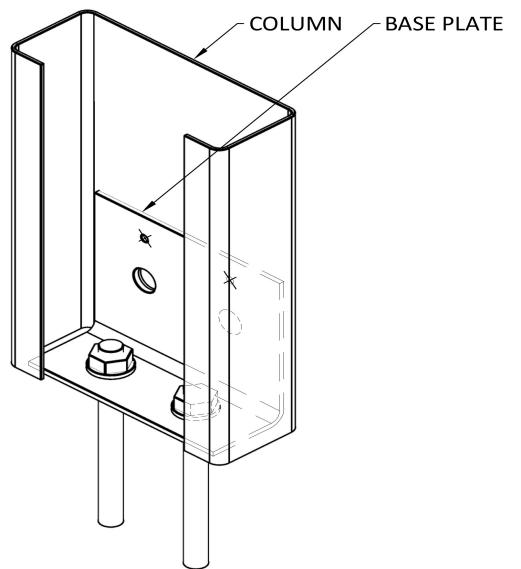


SLAB AND PIER DETAIL



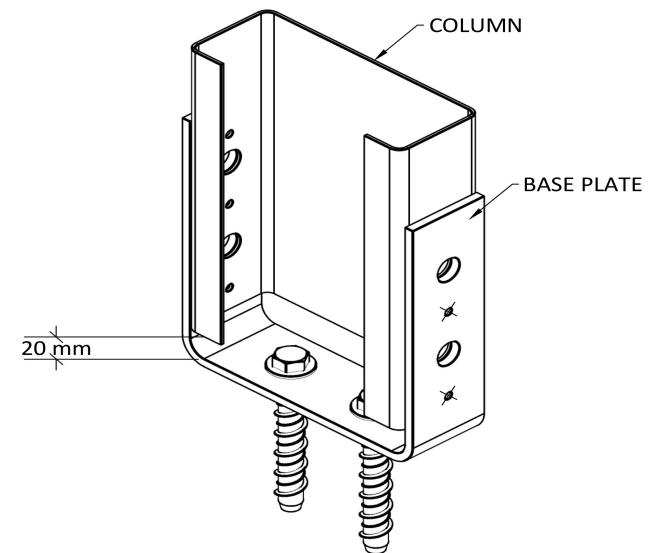
FIXING BOLTS - 2 of M12 x 100 SCREWBOLT
 FIXING BOLTS - 4 of M12 x 30
 FIXING SCREWS - 4 of 12.24 x 38 Series 500

C150 COLUMN FIXING



FIXING BOLTS - 2 of M12 x 80 TRUEBOLT
 FIXING BOLTS - 2 of M12 x 30
 FIXING SCREWS - 2 of 14.20 x 22

C150 MULLION BASE PLATE



FIXING BOLTS - 2 of M12 x 100 SCREWBOLT
 FIXING BOLTS - 4 of M12 x 30
 FIXING SCREWS - 4 of 12.24 x 38 Series 500

C200 COLUMN FIXING

Purchaser Name: Christopher and Leanne Parsons

Site Address: 61 Big Stone Rd Dunedin New Zealand

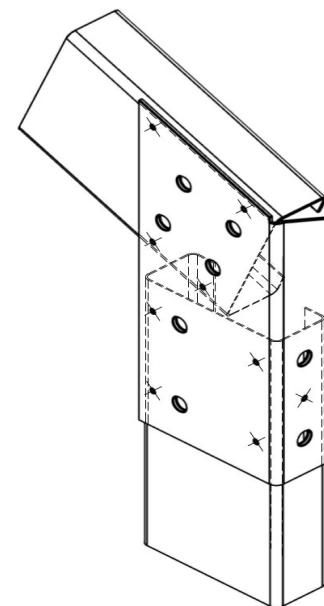
Drawing # ZSOU211130 - 8

Print Date: 23/05/21

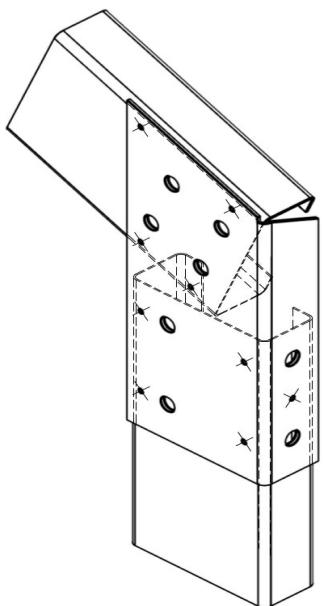
Connection Details

Not to Scale
 Page 1 of 6
 © Copyright SteelxIP Pty Ltd

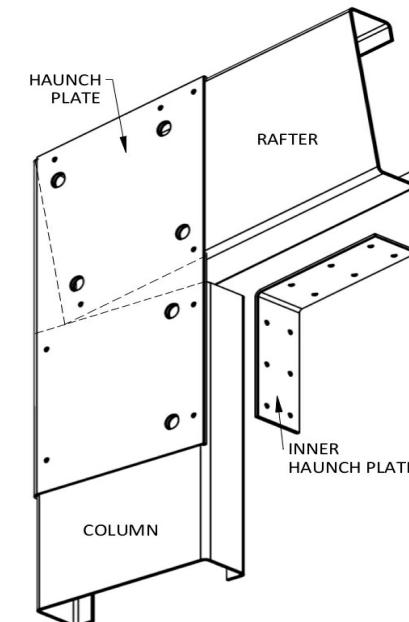
Seller: Wide Span Sheds South Island Ltd
 WideSpan South Island 2015 Ltd
 Phone: 3 550 2768
 Fax:
 Email: kevin.lynch@sheds.co.nz



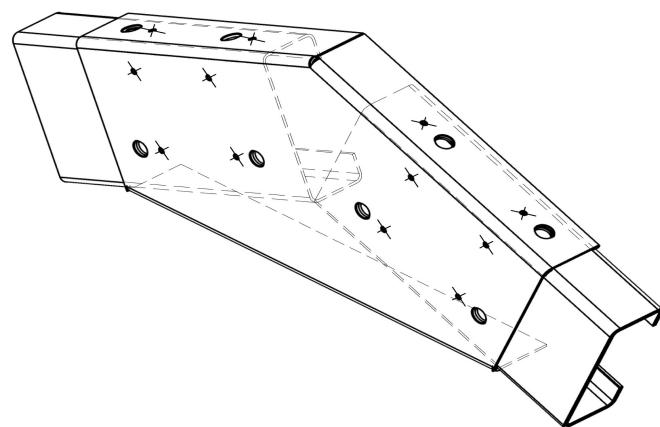
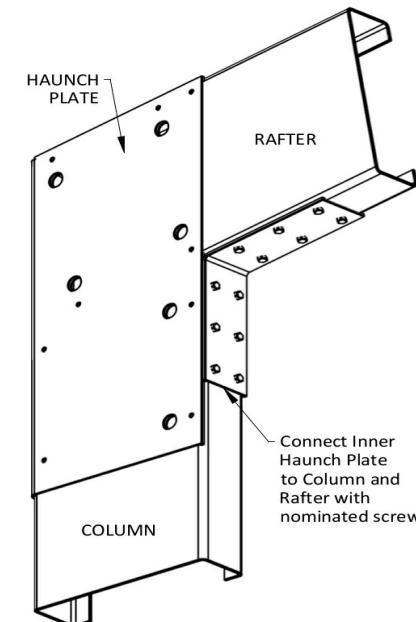
○ FIXING BOLTS - 8 of M12 x 30
× FIXING SCREWS - 9 of 14.20 x 22
HAUNCH BRACKET - C150, 22.5°



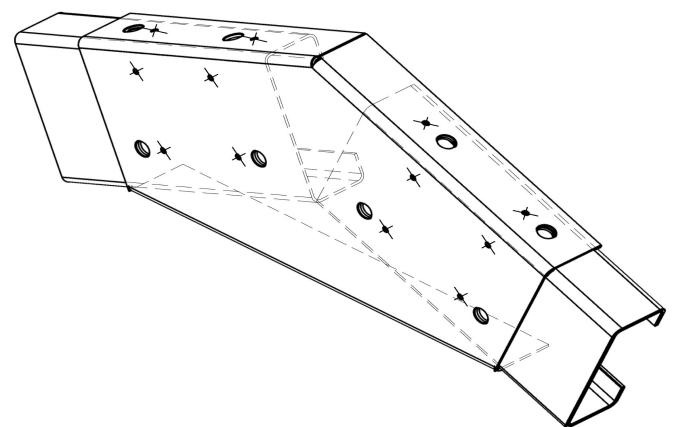
○ FIXING BOLTS - 8 of M12 x 30
× FIXING SCREWS - 9 of 14.20 x 22
HAUNCH BRACKET - C200, 22.5°



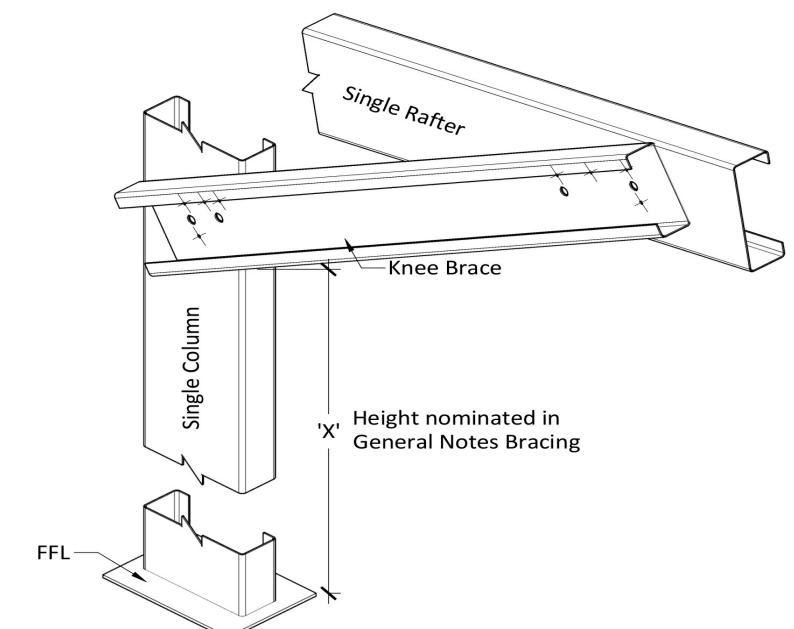
○ FIXING BOLTS - 8 of M12 x 30
× FIXING SCREWS - 12 of 14.20 x 22
INNER HAUNCH BRACKET - SINGLE RAFTER



○ FIXING BOLTS - 8 of M12 x 30
× FIXING SCREWS - 12 of 14.20 x 22
APEX PLATE, C150, 22.5°



○ FIXING BOLTS - 8 of M12 x 30
× FIXING SCREWS - 12 of 14.20 x 22
APEX PLATE, C200, 22.5°



○ FIXING BOLTS - 4 of M12 x 30
× FIXING SCREWS - 8 of 14.20 x 22
**C200 KNEE BRACE FOR
SINGLE COLUMN + SINGLE RAFTER**

Purchaser Name: Christopher and Leanne Parsons

Site Address: 61 Big Stone Rd Dunedin New Zealand

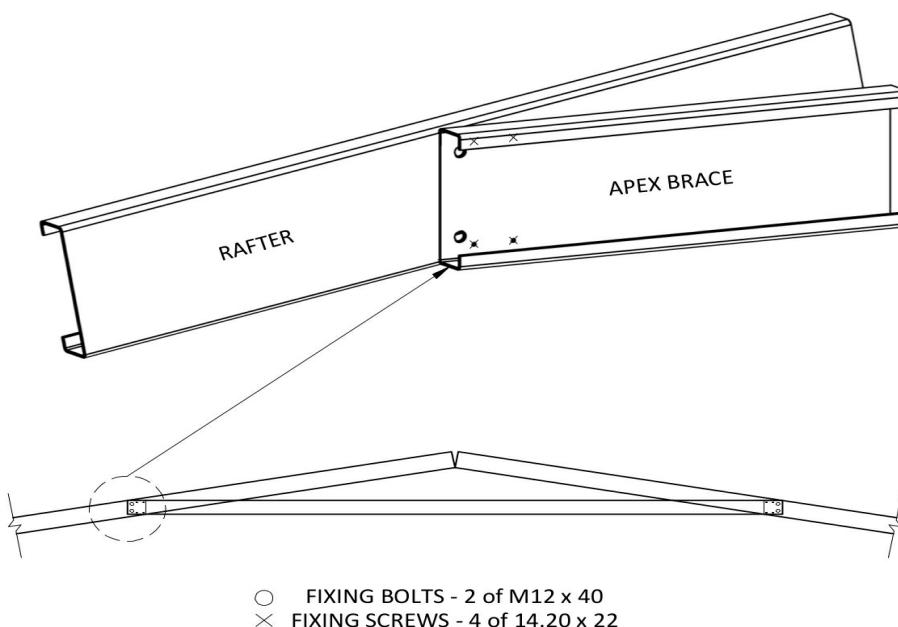
Drawing # ZSOU211130 - 8

Print Date: 23/05/21

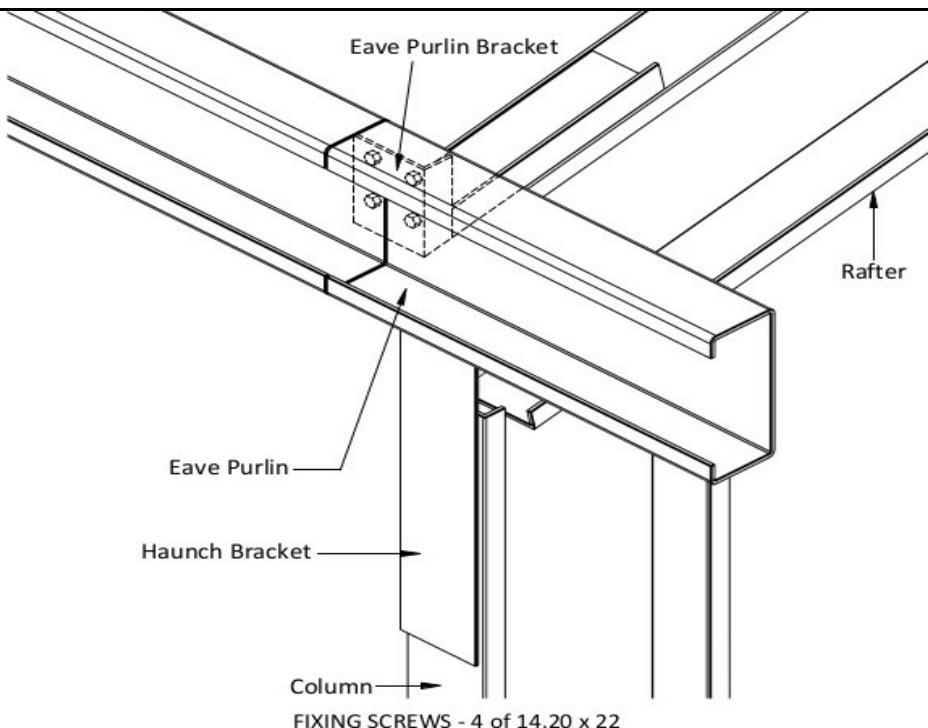
Connection Details

Not to Scale
Page 2 of 6
© Copyright SteelxIP Pty Ltd

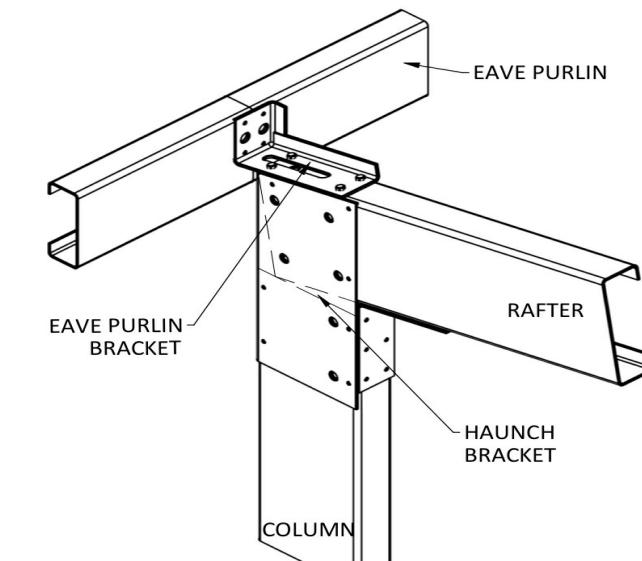
Seller: Wide Span Sheds South Island Ltd
WideSpan South Island 2015 Ltd
Phone: 3 550 2768
Fax:
Email: kevin.lynch@sheds.co.nz



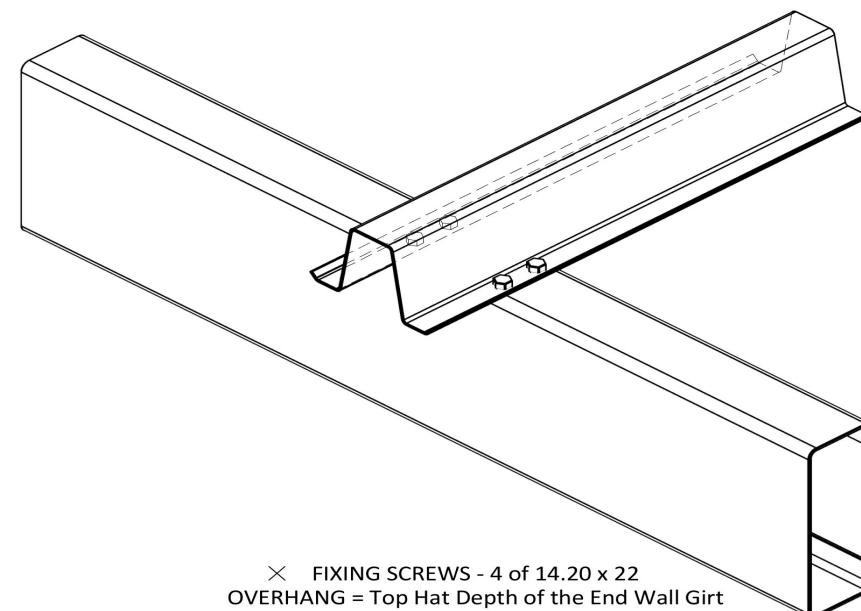
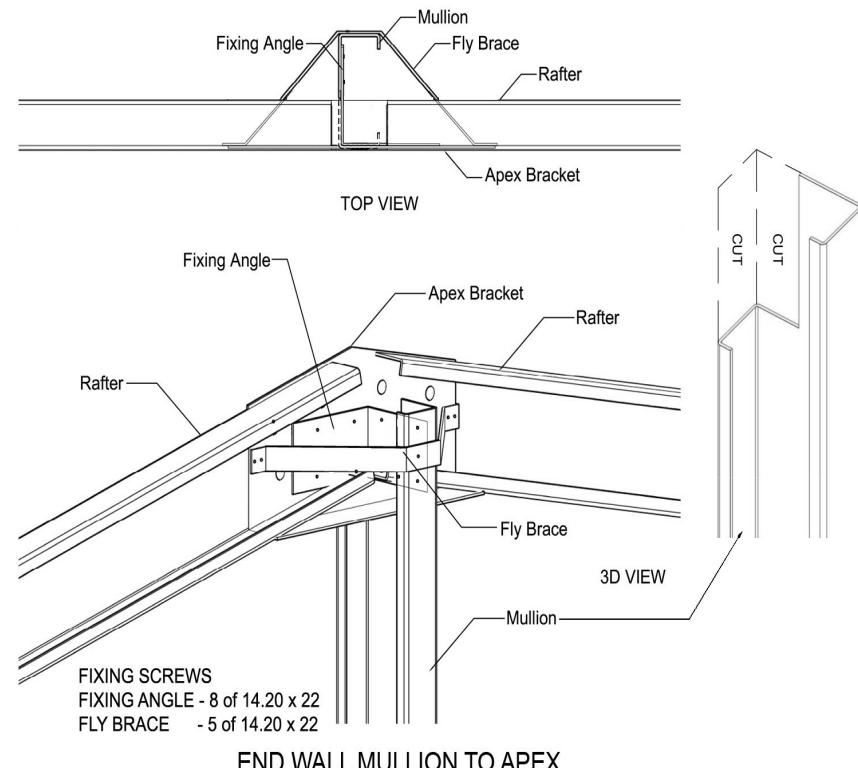
APEX BRACE FOR SINGLE RAFTER



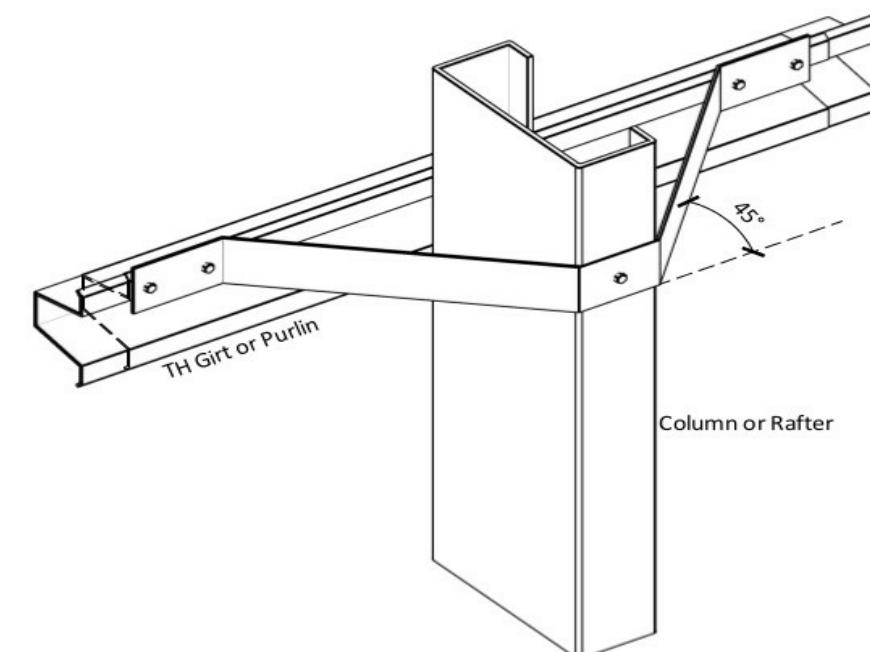
EAVE PURFLIN TO EAVE PURFLIN BRACKET



EAVE PURFLIN BRACKET TO RAFTER



**PURFLIN & SIDE GIRT END WALL FIXING
TOP HAT - SINGLE COLUMN OR RAFTER**



FLY BRACING

Purchaser Name: Christopher and Leanne Parsons

Site Address: 61 Big Stone Rd Dunedin New Zealand

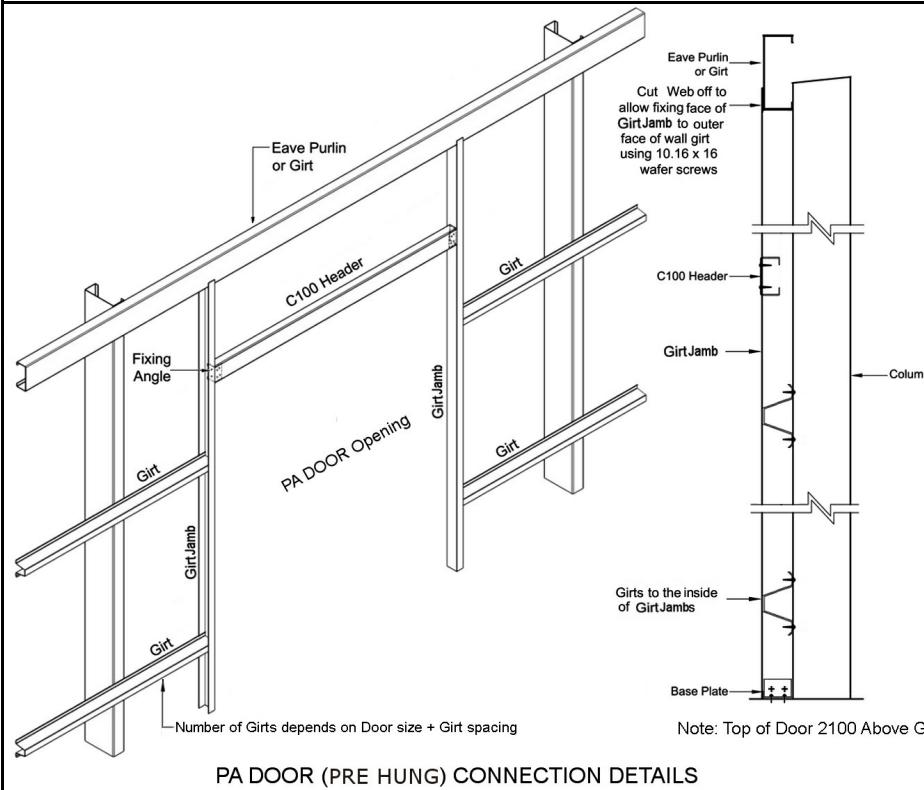
Drawing # ZSOU211130 - 8

Print Date: 23/05/21

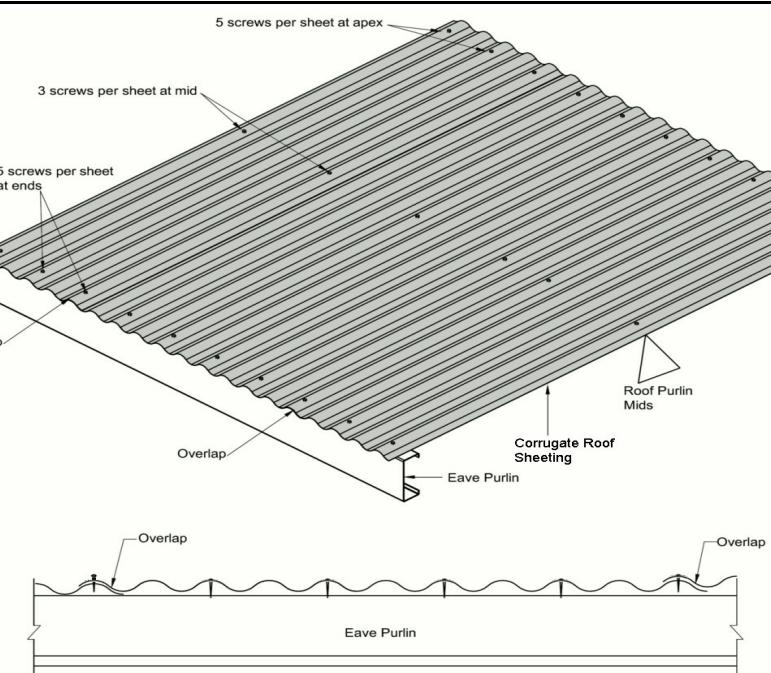
Connection Details

Not to Scale
Page 3 of 6
© Copyright SteelxIP Pty Ltd

Seller: Wide Span Sheds South Island Ltd
WideSpan South Island 2015 Ltd
Phone: 3 550 2768
Fax:
Email: kevin.lynch@sheds.co.nz

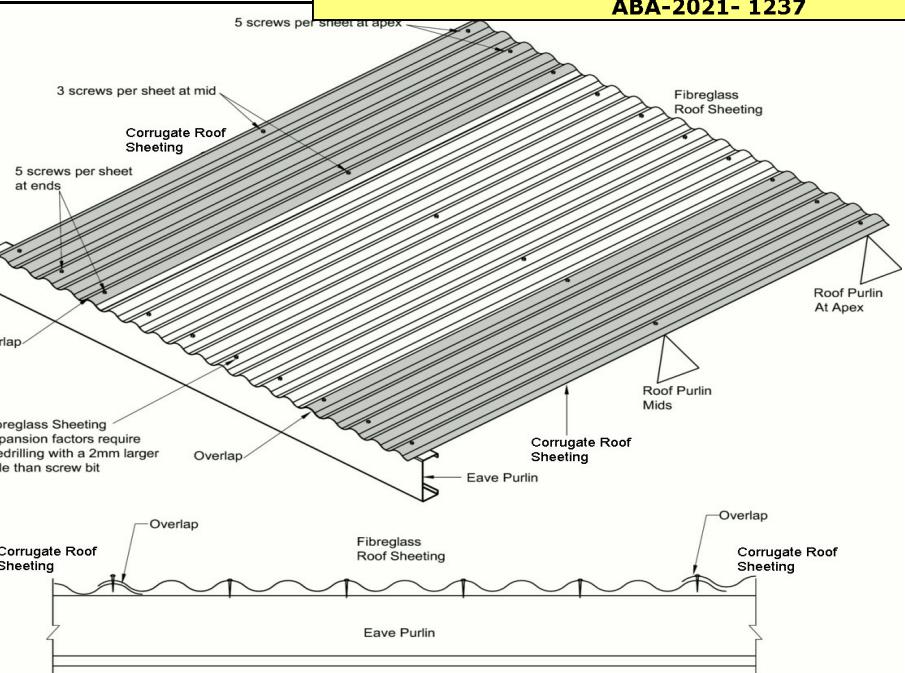


PA DOOR (PRE HUNG) CONNECTION DETAILS



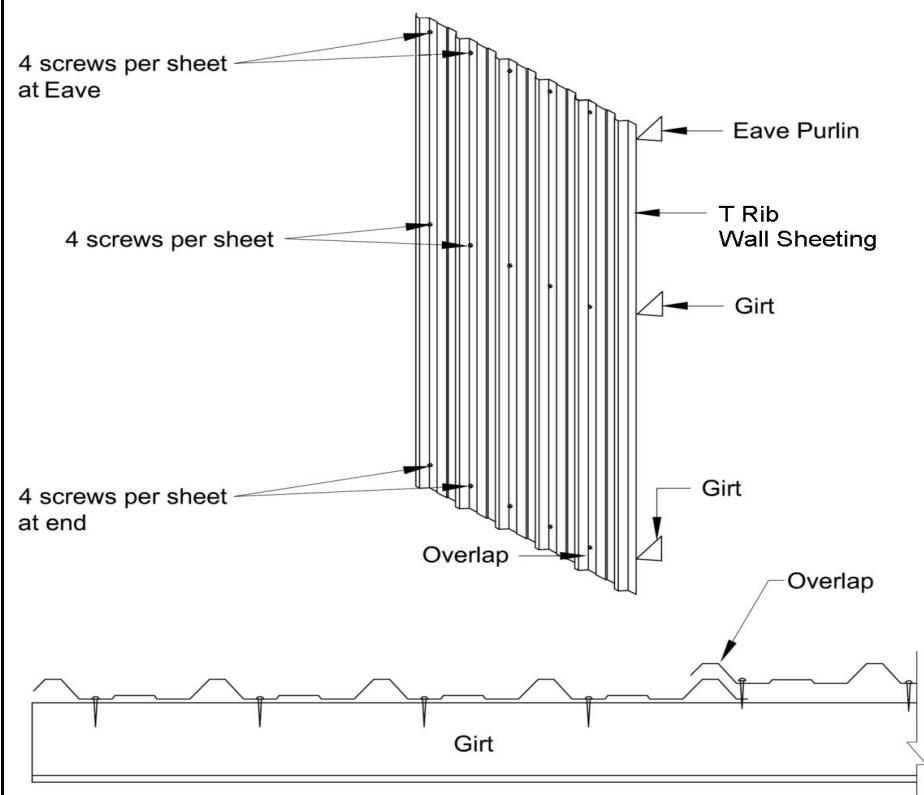
CORRO ROOF SHEET FIXING

Roofing Screws - 12.14 x 35 Hex Seal High Grip



CORRO ROOFING + SKYLIGHT FIXING

Roofing Screws - 12.14 x 35 Hex Seal High Grip
Skylight Screws - 12.14 x 45 Hex with Skylight Rubber Washer



Purchaser Name: Christopher and Leanne Parsons

Site Address: 61 Big Stone Rd Dunedin New Zealand

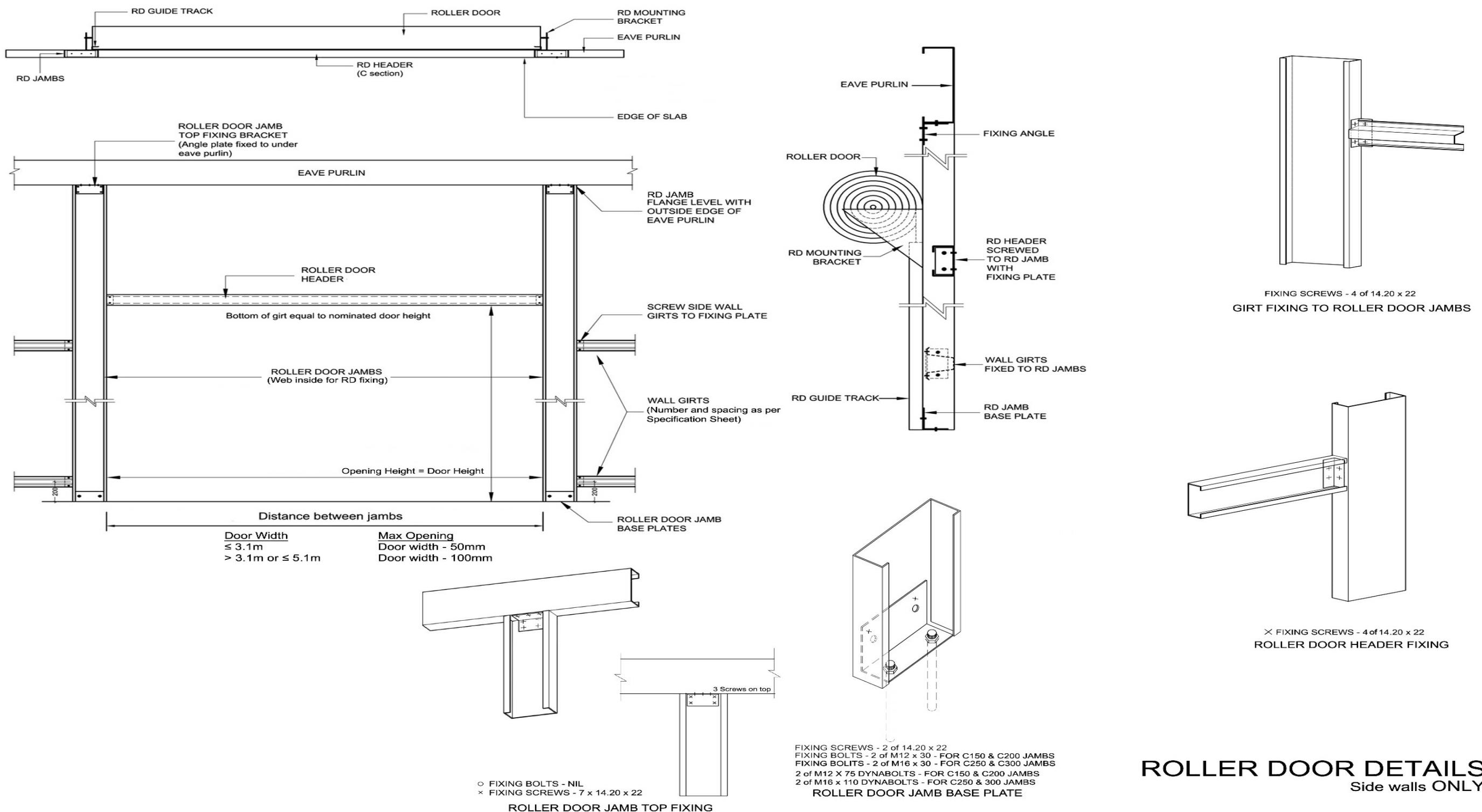
Drawing # ZSOU211130 - 8

Print Date: 23/05/21

Connection Details

Not to Scale
Page 4 of 6
© Copyright SteelxIP Pty Ltd

Seller: Wide Span Sheds South Island Ltd
WideSpan South Island 2015 Ltd
Phone: 3 550 2768
Fax:
Email: kevin.lynch@sheds.co.nz



ROLLER DOOR DETAILS

Side walls ONLY

Purchaser Name: Christopher and Leanne Parsons

Site Address: 61 Big Stone Rd Dunedin New Zealand

Drawing # ZSOU211130 - 8

Connection Details

Not to Scale

Page 5 of 6

© Copyright SteelxIP Pty Ltd

Seller: Wide Span Sheds South Island Ltd

WideSpan South Island 2015 Ltd

Phone: 3 550 2768

Fax:

Email: kevin.lynch@sheds.co.nz

Print Date: 23/05/21

Fixing Instructions

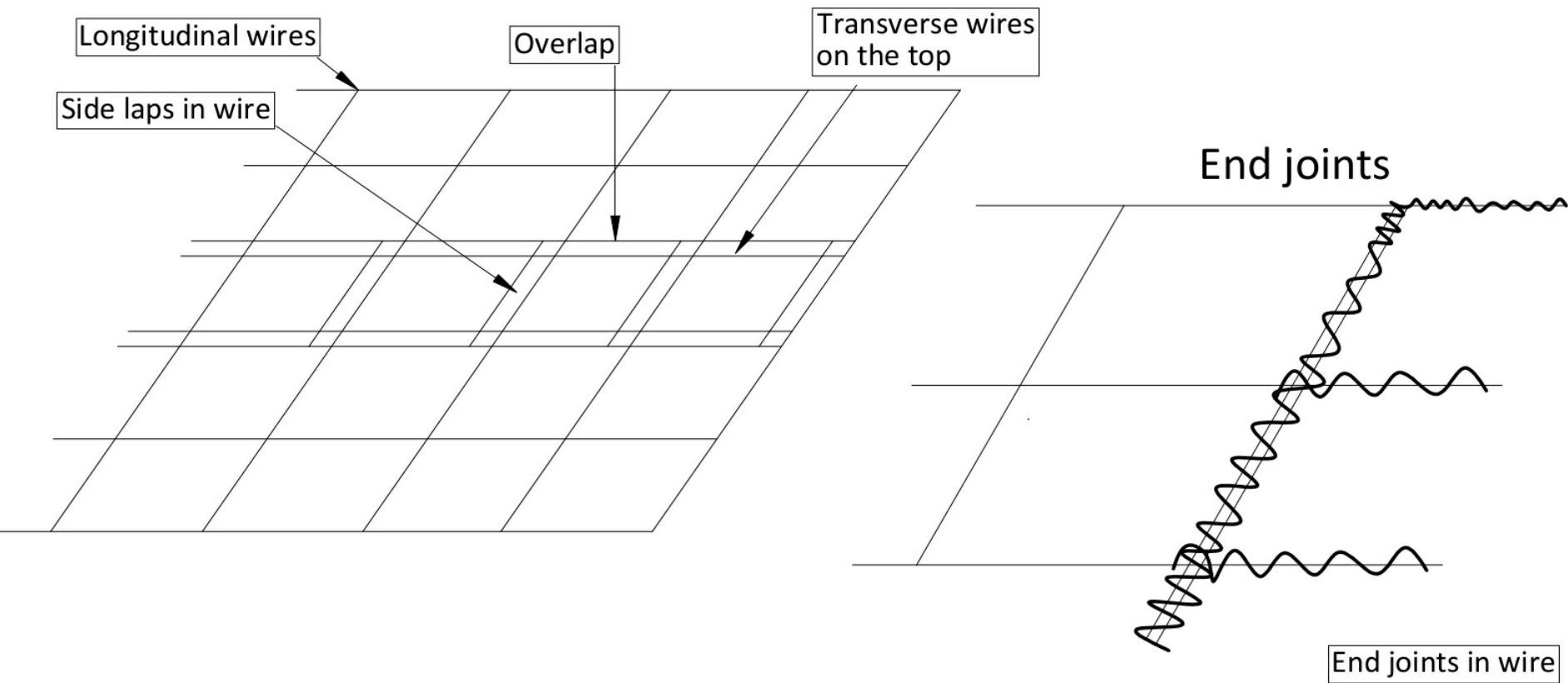
Transverse wires shall be on top of the longitudinal wires

All Longitudinal wires passed around anchor points with the tail of each wire being twisted four times around the main portion of the same wire.

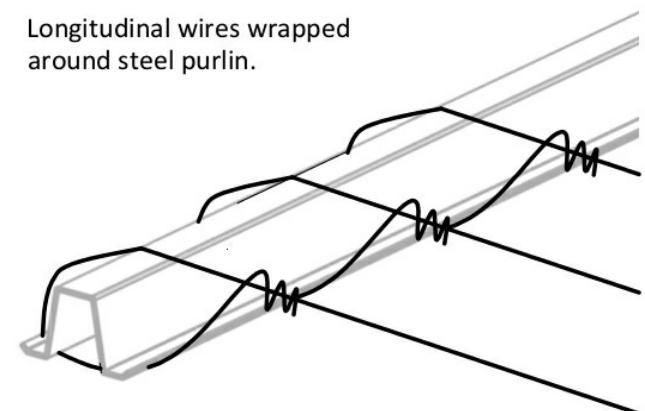
End joints in wire, two transverse wires are placed together, the longitudinal tail wires (approx 300mm long) are tied around each other, one being twisted four times around the main portion of the same wire, the other longitudinal wire twisted once around the main portion of the same wire then four times around the transverse wires.

Side laps (i) For purlin spacing span/less than 1200mm, the runs of mesh shall be side-lapped by a minimum of one mesh spacing (150mm). (ii) For purlin spacing/span between 1200-2200mm, the runs of mesh shall be side-lapped by a minimum of one mesh spacing (150mm). Side laps shall be secured with ring fasteners fabricated from minimum 1.90mm diameter wire, or equivalent, fitted at maximum 900mm centres between each purlin on one side of the lap (iii) For purlin spacing/span greater than 2200mm, the runs of mesh shall be side-lapped by a minimum of two mesh spacing (300mm). Side laps shall be secured with ring fasteners fabricated from minimum 1.90mm diameter wire, or equivalent, fitted at maximum 600mm centers between purlin/span on both sides of the lap.

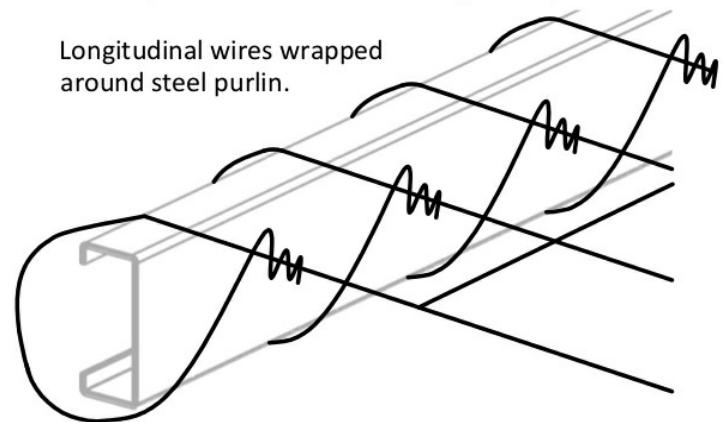
Toughness. Mesh shall be pulled taut to ensure only natural sag between each purlin or roof member.



(Steel Z or Tophat purlin)



(End rafters or Eave purlin)



Purchaser Name: Christopher and Leanne Parsons

Site Address: 61 Big Stone Rd Dunedin New Zealand

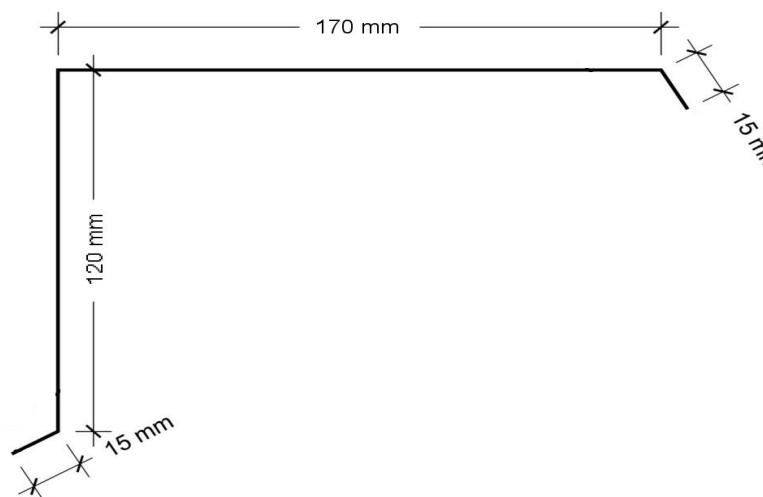
Drawing # ZSOU211130 - 8

Print Date: 23/05/21

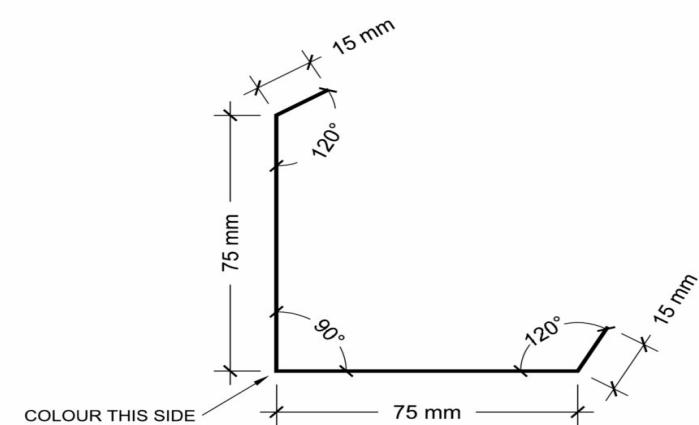
Connection Details

Not to Scale
Page 6 of 6
© Copyright SteelxIP Pty Ltd

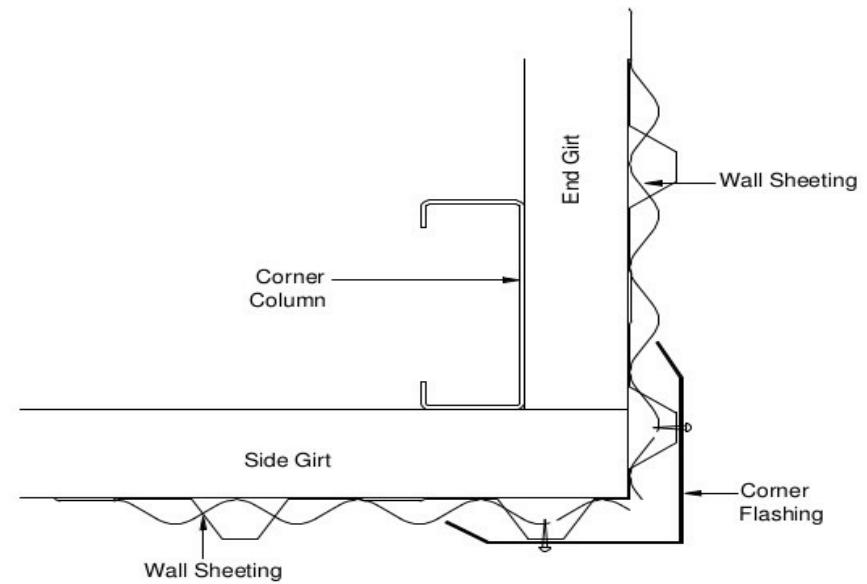
Seller: Wide Span Sheds South Island Ltd
WideSpan South Island 2015 Ltd
Phone: 3 550 2768
Fax:
Email: kevin.lynch@sheds.co.nz



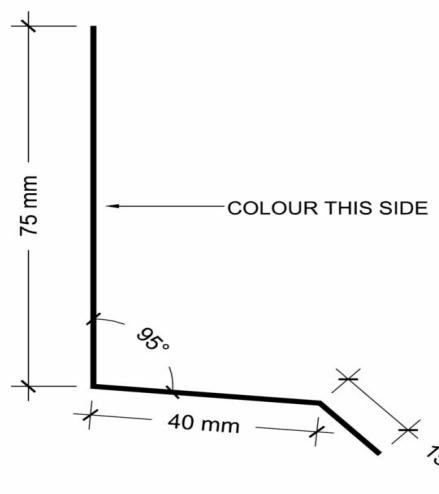
XF 10



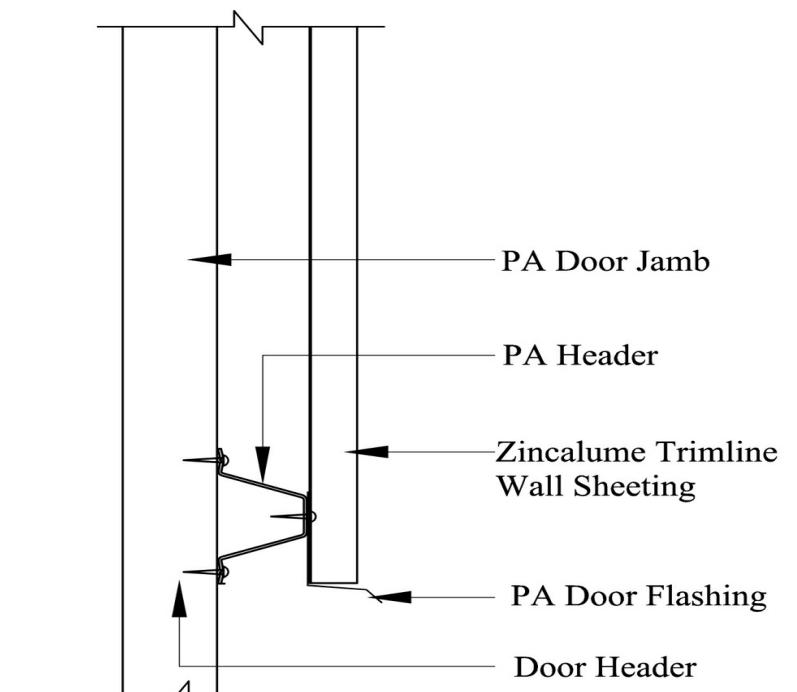
XF 21



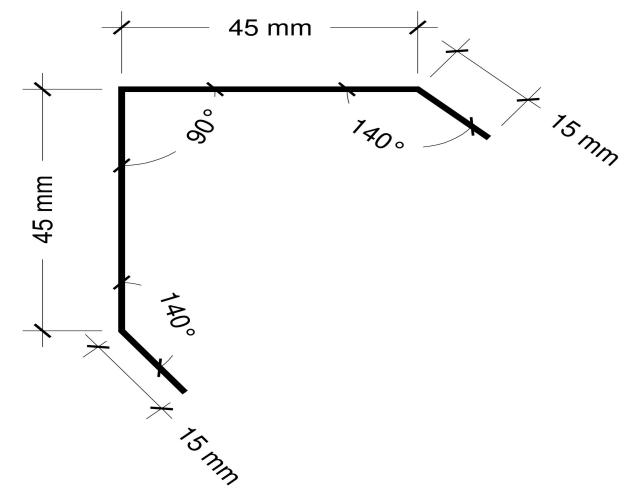
Corner Flashing XF21 - Connection



XF 23



PA Door Header Flashing - XF 23



NZ XF 28

Purchaser Name: Christopher and Leanne Parsons

Site Address: 61 Big Stone Rd Dunedin New Zealand

Drawing # ZSOU211130 - 9

Print Date: 23/05/21

Flashing Fixing Details

Not to Scale

Page 1 of 3

© Copyright SteelxIP Pty Ltd

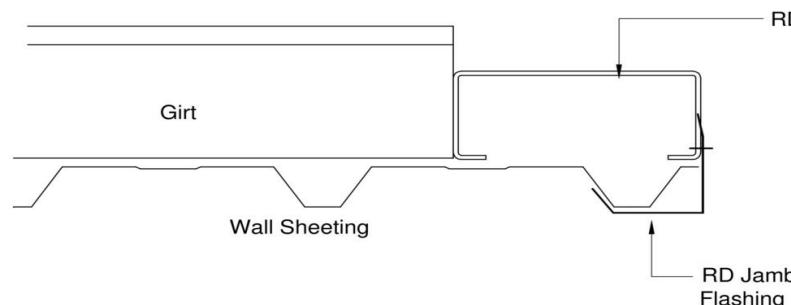
Seller: Wide Span Sheds South Island Ltd

WideSpan South Island 2015 Ltd

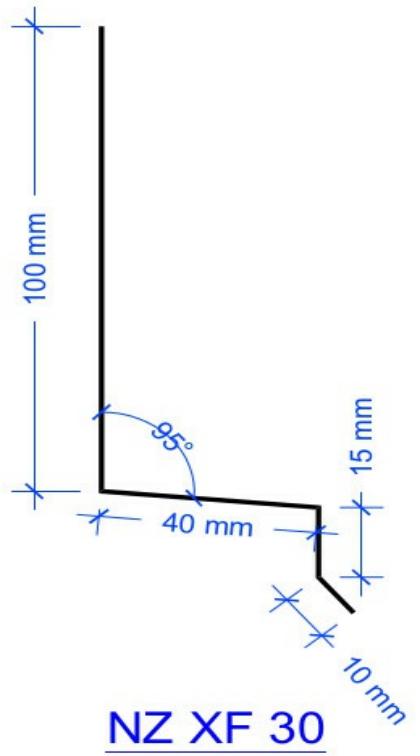
Phone: 3 550 2768

Fax:

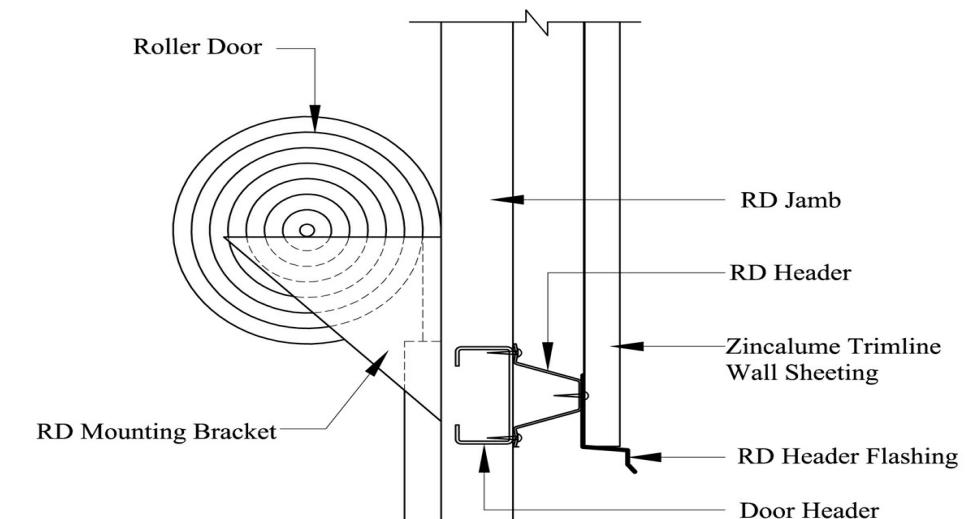
Email: kevin.lynch@sheds.co.nz



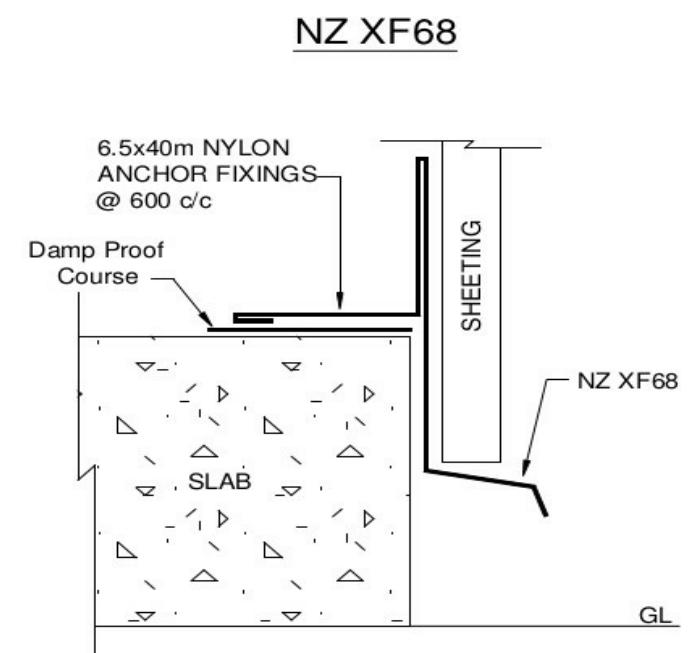
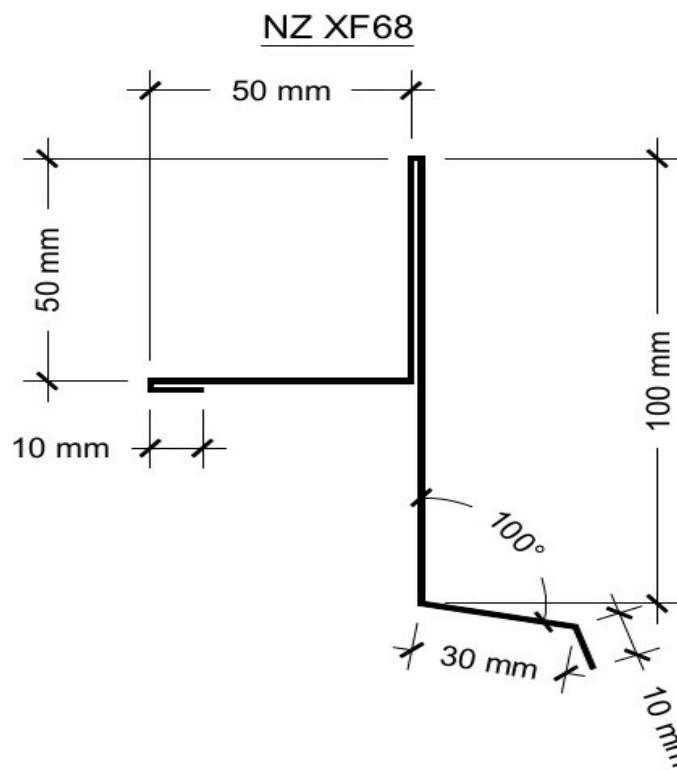
Wall RD Jamb Flashing XF28



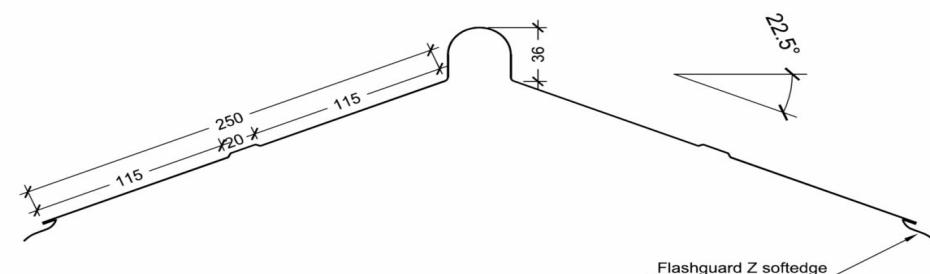
NZ XF 30



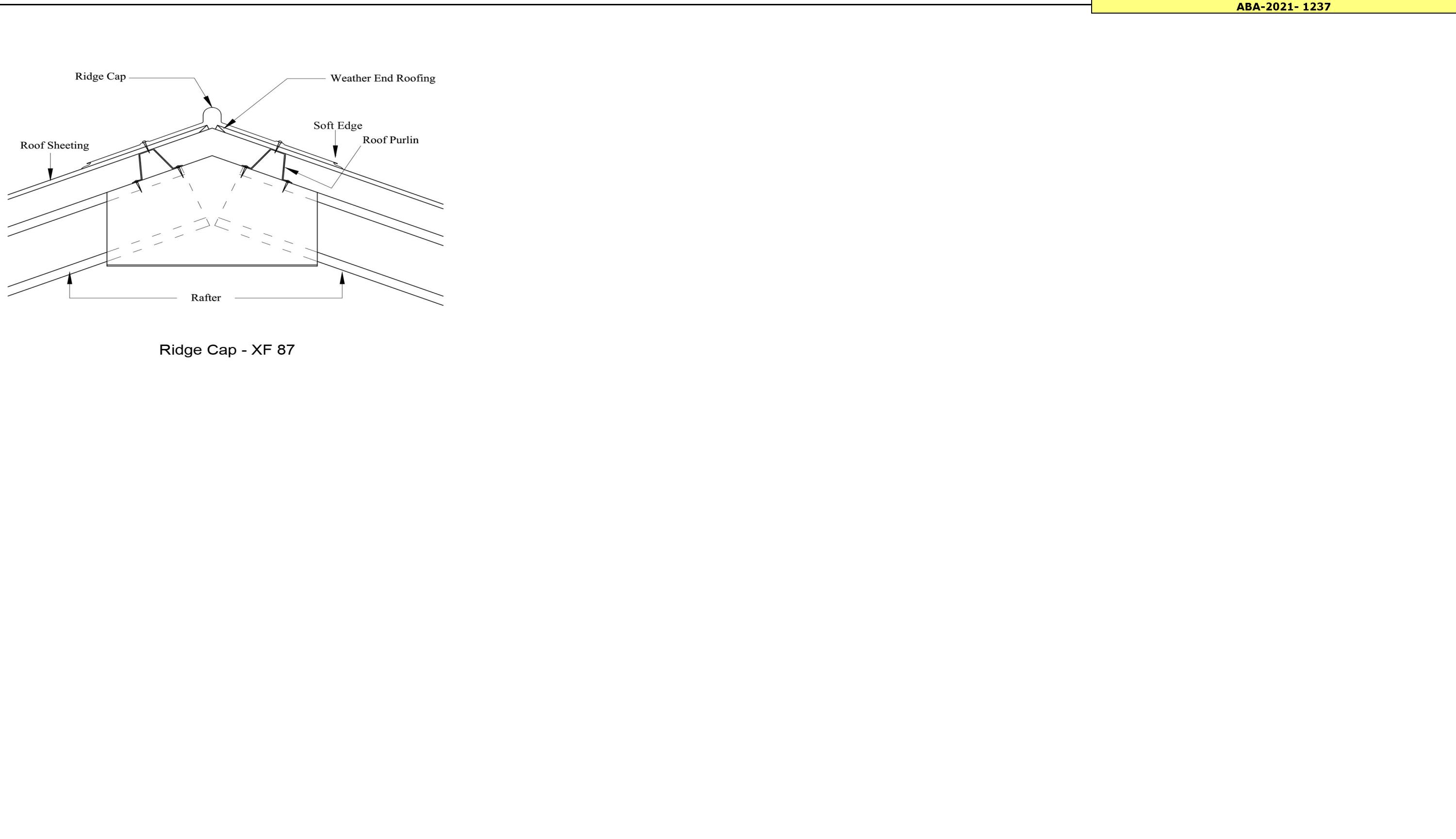
Roller Door Header Flashing - XF 30



VERMIN FLASHING NZ XF68b



XF 87



Ridge Cap - XF 87

Purchaser Name: Christopher and Leanne Parsons

Site Address: 61 Big Stone Rd Dunedin New Zealand

Drawing # ZSOU211130 - 9

Print Date: 23/05/21

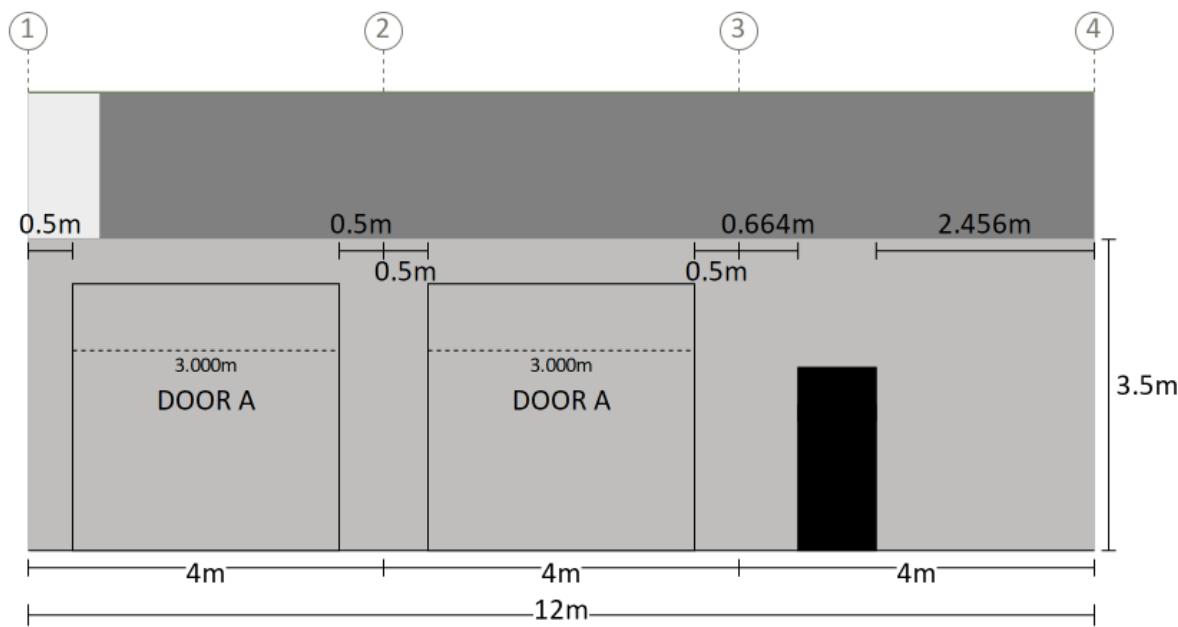
Flashing Fixing Details

Not to Scale
Page 3 of 3
© Copyright Steelx IP Pty Ltd

Seller: Wide Span Sheds South Island Ltd
WideSpan South Island 2015 Ltd
Phone: 3 550 2768
Fax:
Email: kevin.lynch@sheds.co.nz

This setout is provided as a guide only. It is the responsibility of the concreter/erector to confirm that all dimensions are correct.

Right Side



Measurements are from the outside of end girts (end bays) and/or centre of columns (mid bays) to inside of component opening size.

Purchaser Name: Christopher and Leanne Parsons

Site Address: 61 Big Stone Rd Dunedin New Zealand

Drawing # ZSOU211130 - 10

Print Date: 23/05/21

Component Position

Not to Scale
Page 1 of 1
© Copyright Steelx IP Pty Ltd

Seller: Wide Span Sheds South Island Ltd
WideSpan South Island 2015 Ltd
Phone: 3 550 2768
Fax
Email: kevin.lynch@sheds.co.nz

ROOF (TOP VIEW)

LEFT SIDE



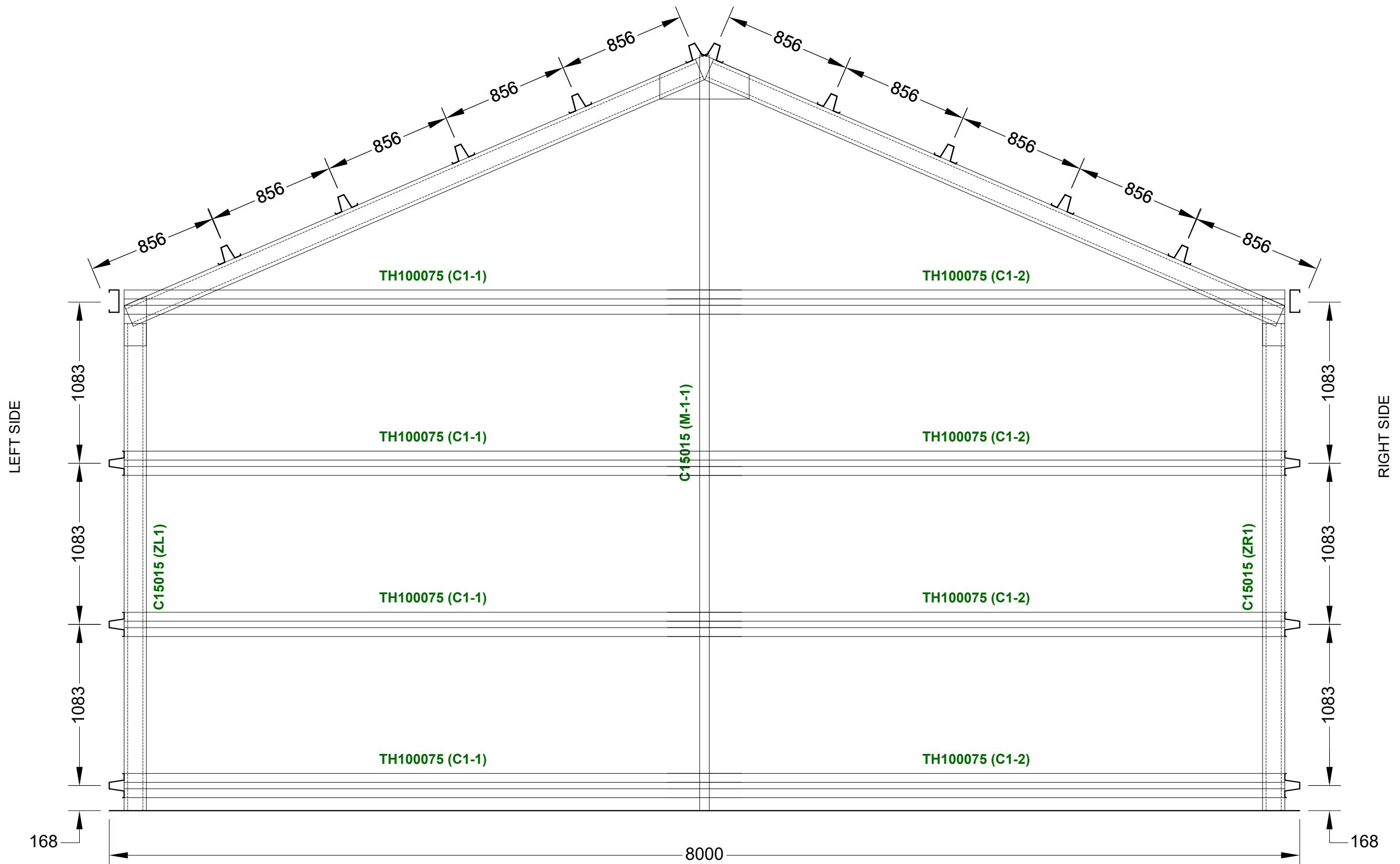
Notes:
Brackets are not shown. Refer to Specification Details
for more information. Opening members not labeled.

RIGHT SIDE

Revision	Date	Initial	Purchaser Name: Christopher and Leanne Parsons	Purlin and Girt Plan NOT TO SCALE Page 1 of 4 ©Copyright Steelx IP Pty Ltd	Seller: Wide Span Sheds South Island Ltd Name: WideSpan South Island 2015 Ltd Phone: 3 550 2768 Fax: Email: kevin.lynch@sheds.co.nz
			Site Address: 61 Big Stone Rd Dunedin New Zealand		
			Drawing # ZSOU211130 - 11		Print Date: 23/05/2021

Notes:
Brackets are not shown. Refer to Specification Details
for more information. Opening members not labeled.

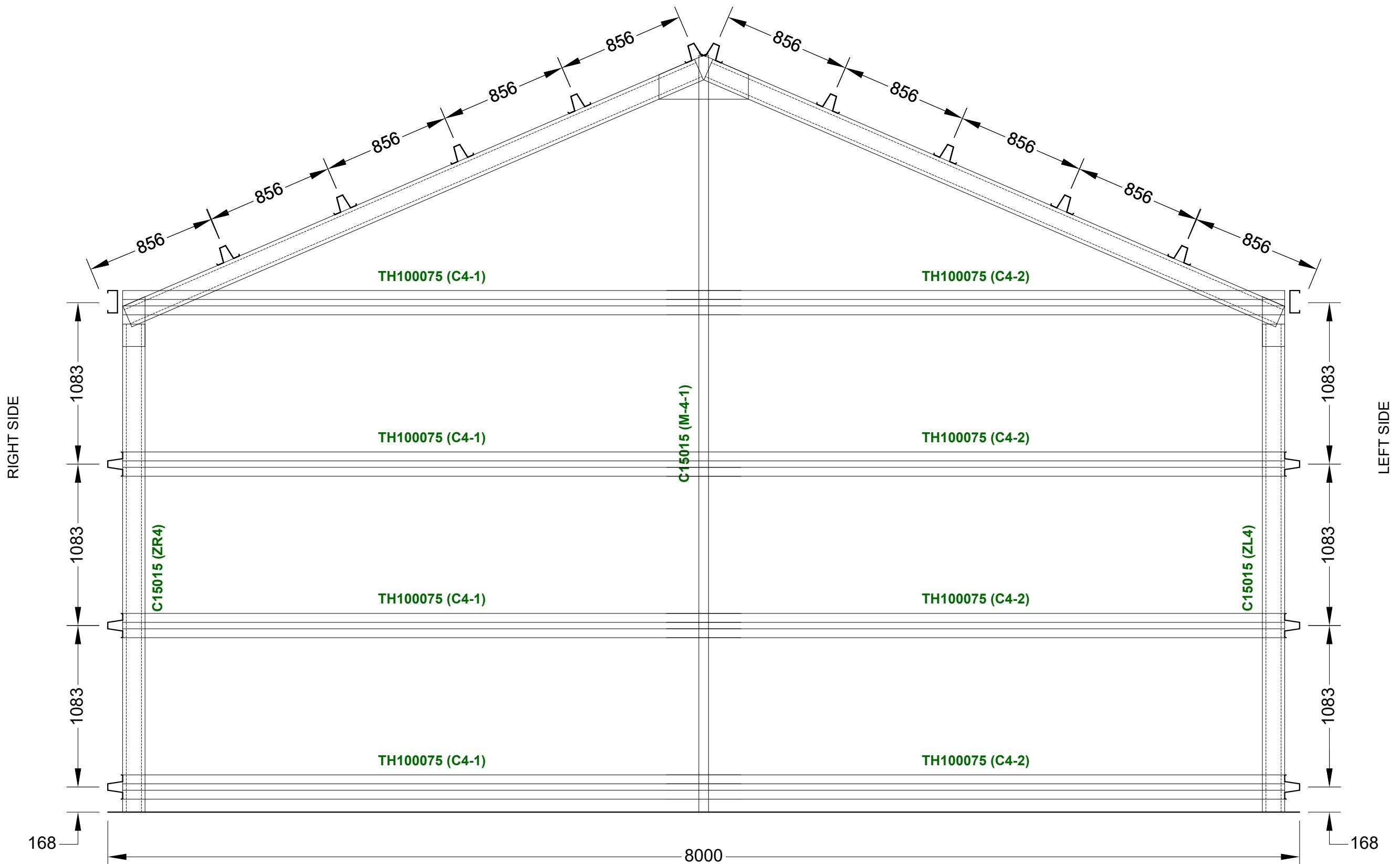
LEFT END ELEVATION



Revision	Date	Initial	Purchaser Name: Christopher and Leanne Parsons	Purlin and Girt Plan	Seller: Wide Span Sheds South Island Ltd Name: WideSpan South Island 2015 Ltd Phone: 3 550 2768 Fax: Email: kevin.lynch@sheds.co.nz
			Site Address: 61 Big Stone Rd Dunedin New Zealand	NOT TO SCALE	
			Drawing # ZSOU211130 - 11	Page 2 of 4	©Copyright Steelx IP Pty Ltd
			Print Date: 23/05/2021		

Notes:
Brackets are not shown. Refer to Specification Details
for more information. Opening members not labeled.

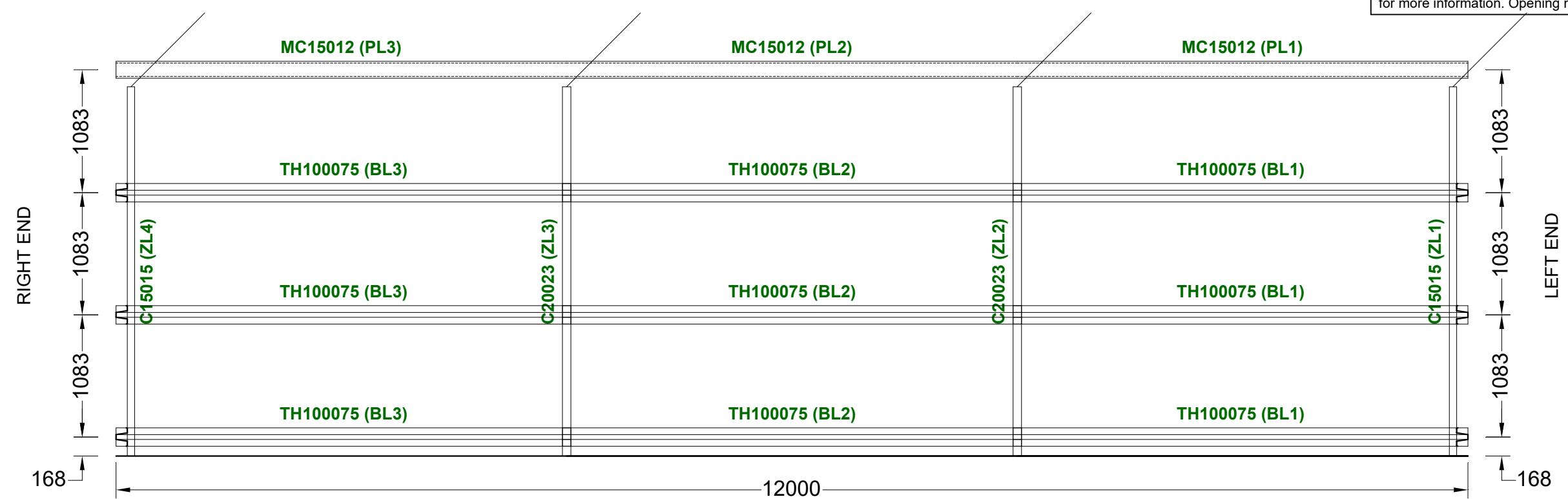
RIGHT END ELEVATION



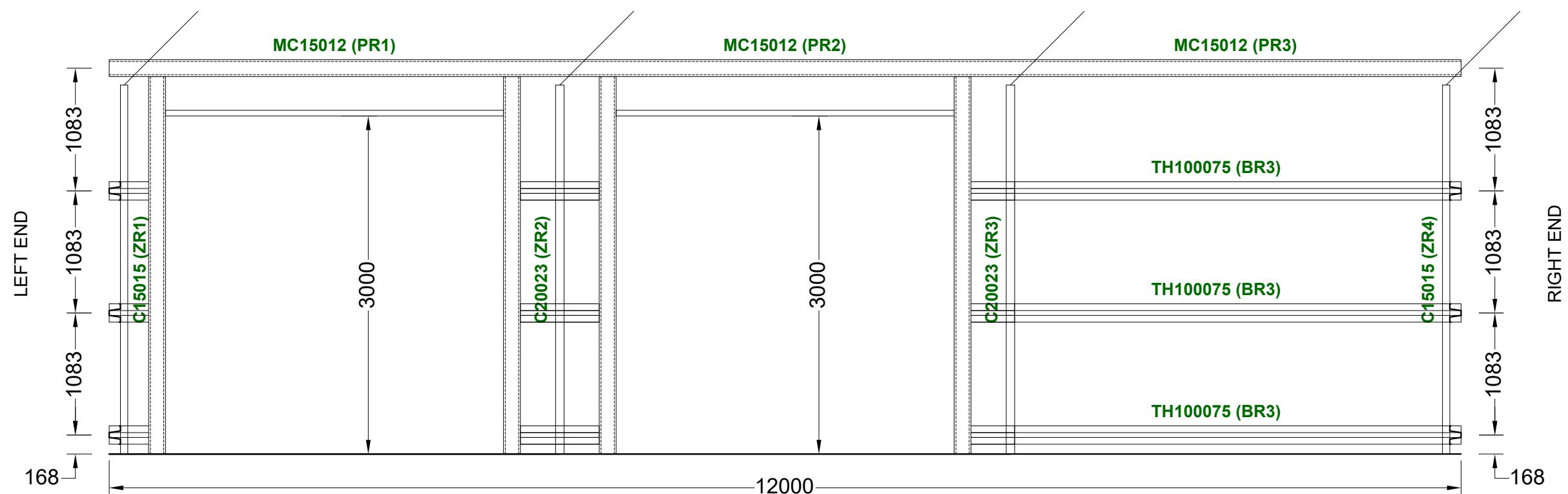
Revision	Date	Initial	Purchaser Name: Christopher and Leanne Parsons	Purlin and Girt Plan NOT TO SCALE Page 3 of 4 ©Copyright Steelx IP Pty Ltd	Seller: Wide Span Sheds South Island Ltd Name: WideSpan South Island 2015 Ltd Phone: 3 550 2768 Fax: Email: kevin.lynch@sheds.co.nz
			Site Address: 61 Big Stone Rd Dunedin New Zealand		
			Drawing # ZSOU211130 - 11	Print Date: 23/05/2021	

Notes:
Brackets are not shown. Refer to Specification Details
for more information. Opening members not labeled.

LEFT ELEVATION



RIGHT ELEVATION



Revision	Date	Initial	Purchaser Name: Christopher and Leanne Parsons Site Address: 61 Big Stone Rd Dunedin New Zealand	Purlin and Girt Plan NOT TO SCALE Page 4 of 4 ©Copyright Steelx IP Pty Ltd	Seller: Wide Span Sheds South Island Ltd Name: WideSpan South Island 2015 Ltd Phone: 3 550 2768 Fax: Email: kevin.lynch@sheds.co.nz
			Drawing # ZSOU211130 - 11	Print Date: 23/05/2021	



**AS-BUILT
DRAINAGE PLAN**

Please nominate:

Building Consent N°: 2021/1237

Site Address: 61 Bigstone RD

Laid by White Plumbing & Dr.
Plumber/Drainlayer: Mike Smeets

Plumber/Drainlayer: Mike Smith

Registration No: 24869

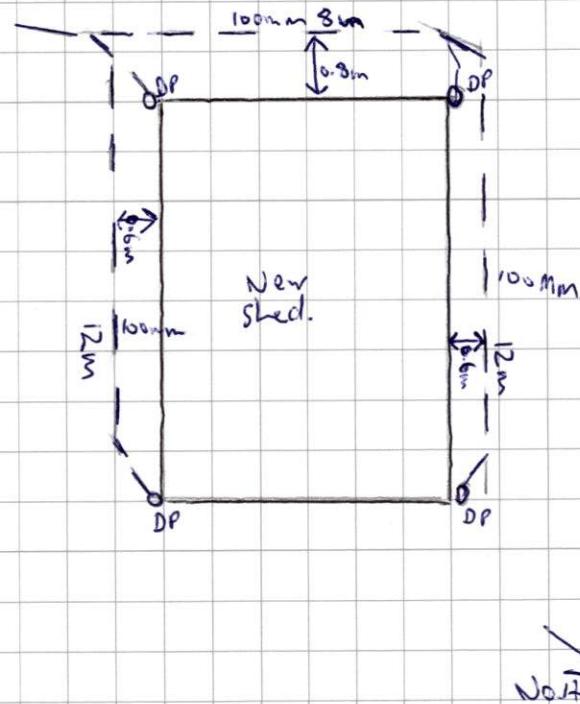
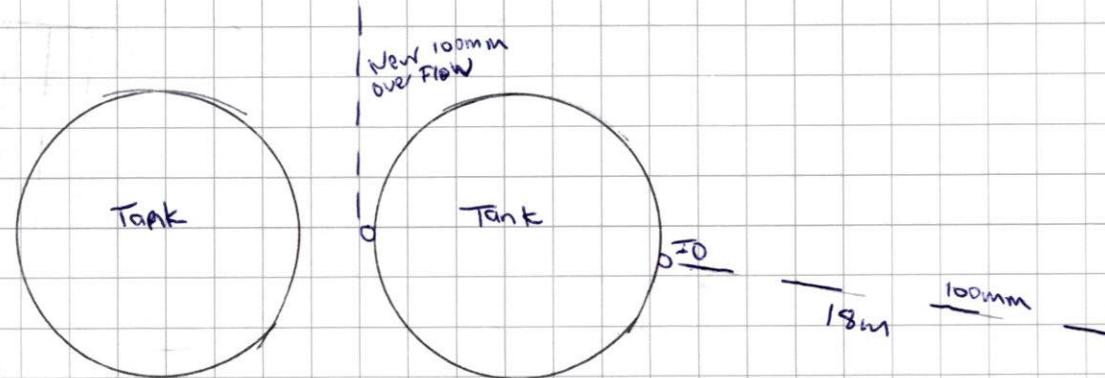
Registration N°: 24864

Please show the following items:

1. Site plan of section
2. Must include street or road names & North point
3. Drain measurements
4. Foul water drains (red ink)
5. Septic tank and effluent lines (red ink)
6. Stormwater drain – including down pipe positions (blue ink)

7. *GT – Gully trap positions*
8. *TV – Terminal vent positions*
9. *IP – Inspection points*
10. *Falls and invert levels*

Scale drawn: N/A
(Plans must not be drawn in pencil)



As Built Plan

Received by: J. Blom

Date: 21-12-21

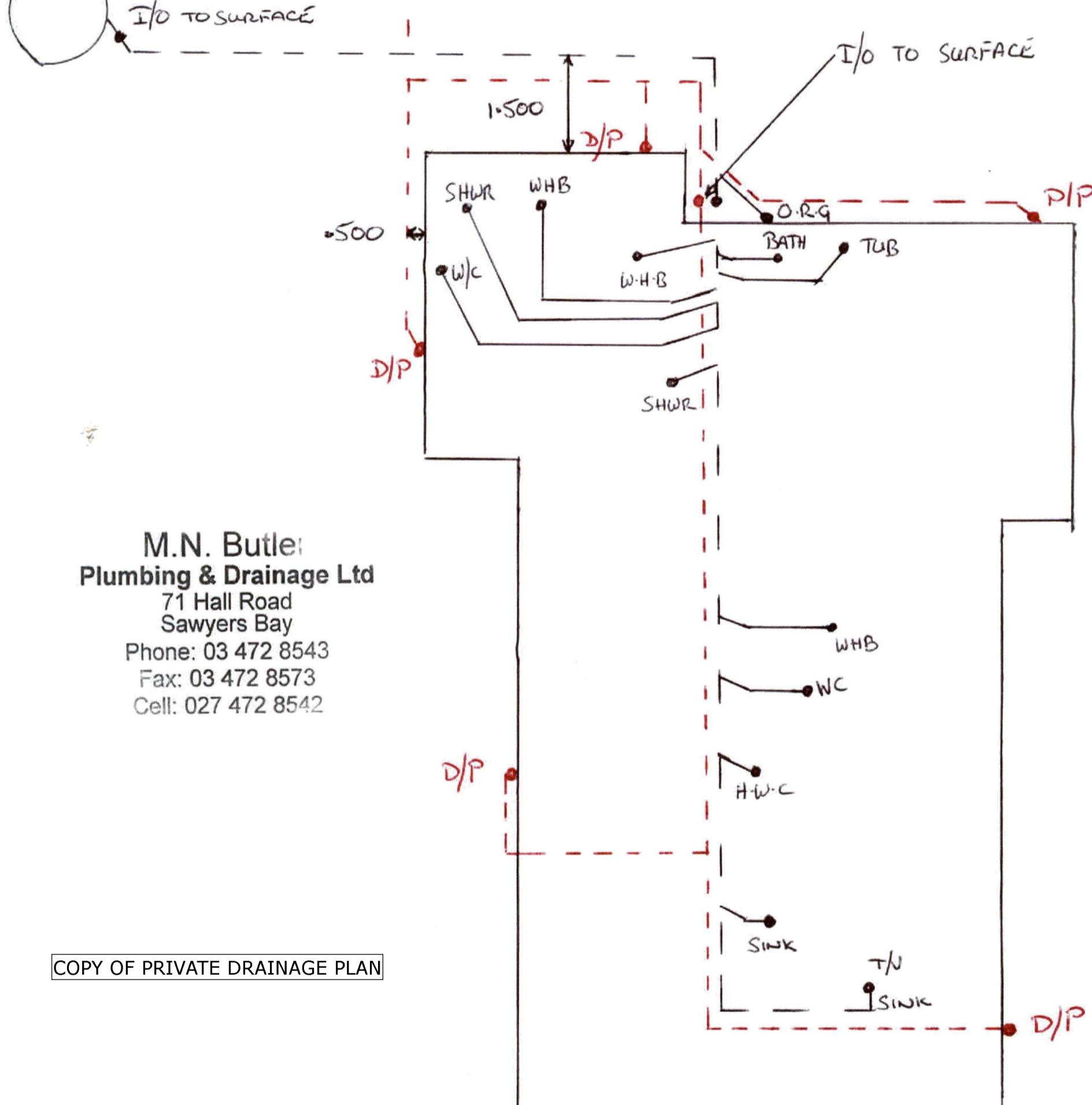
ABA No: 2021-1237



61 Bigstone Rd

ABA 2013-1214

Asbuilt Drainage Plan



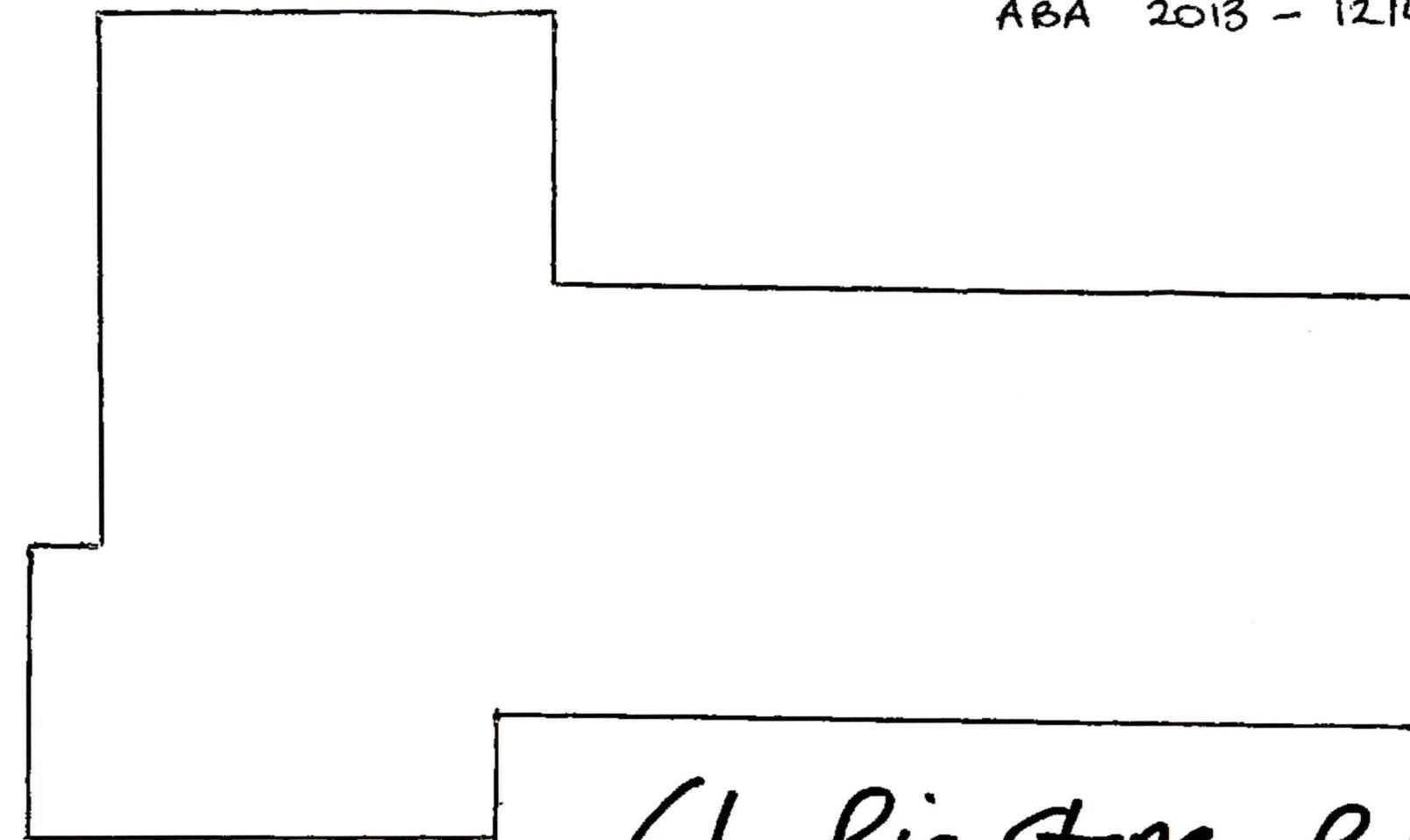
As Built Plan

Received by: ANMAC
Date: 19/12/2013
ABA No: 2013-1214

AS BUILT DRAINAGE PLAN
63 BIG STONE RD

COPY

YOLANDER HEARING
61 BIG STONE ROAD
ABA 2013 - 1214



61 Big Stone Rd
ABA 2013-1214
ASbuilt Drainage Plan



EFFLUENT DISPERAL FIELD.
PINNED DOWN IN PINE TREES

PUMP LINE



COPY OF PRIVATE DRAINAGE PLAN

DUNEDIN CITY COUNCIL

CONSENT NOTICE PURSUANT TO SECTION 221
RESOURCE MANAGEMENT ACT 1991

IN THE MATTER of Lots 1,2 and 5 being a proposed subdivision of Lot 7 Deposited Plan 21252 being part Section 1 Block III Otokia District comprised in Certificate of Title 13A/250.

AND

IN THE MATTER of subdivision Consent pursuant to Sections 105,220 and 221 of The Resource Management Act 1991

Pursuant to Section 221 of the Resource Management Act 1991 the Dunedin City Council by resolution passed under delegated authority on the 30th day of January 1992 imposed the following conditions on the subdivision consent for Lots 1,2 and 5 being a proposed subdivision of Lot 7 Deposited Plan 21252 being part Section 1 Block III Otokia District comprised in Certificate of Title 13A/250.

- a) All native vegetation is to be retained on the steep faces within the gully system.
- b) Where gorse is cleared from the gully faces, suitable tree planting is to be carried out to maintain land stability.
- c) All earthworks are to be supervised by a registered engineer for access and house foundations where cuts exceed 1.2 metres.
- d) Concentrated stormwater from each building site is to be piped to the nearest watercourse.

DATED at Dunedin this 13th day of August 1992

anDee
.....
ADMINISTRATION MANAGER
DUNEDIN CITY COUNCIL

CONO 815461 Consent unit

Cpy - 01/01, Pgs - 002, 23/06/03, 11:59



DocID: 310472183

11.01 05.OCT 92 815461

PARTICULARS ENTERED IN REGISTER
LAND REGISTRY OTAGO
ASS'T LAND REGISTRAR

140/169
140/172.
140/171

RECALL FILE LABEL



F500000500863