



## Dunedin City Council – Land Information Memorandum

Property Address: 61 Big Stone Road Brighton

Prepared for: Sonja Natacha Nightingale

Prepared on: 01-Dec-2025

### Property Details:

<b>Property ID</b>	5112452
<b>Address</b>	61 Big Stone Road Brighton
<b>Parcels</b>	LOT 1 DP 378151, LOT 2 DP 378151

### Disclaimer:

Issued in accordance with Section 44A of the Local Government Official Information and Meetings Act 1987

Should you require further clarification of any of the information listed in this report, please phone our Customer Services Agency on 03 477 4000.

This Land Information Memoranda (LIM) has been prepared in accordance with Sections 44A, 44B, 44C, and 44D of the Local Government Official Information and Meetings Act 1987. It contains only information obtained from the records held by the Dunedin City Council as at 01-Dec-2025

The Dunedin City Council has not carried out an inspection of the land and/or buildings for the purposes of preparing this LIM. The Dunedin City Council records may not show illegal or unauthorised buildings or works on the land. Accordingly this report may not necessarily reflect the current status of the property. Examples of situations which affect the property but are not recorded in this report include: unauthorised work not known to Council and breaches of Consents or Licences that are not the subject of a formal Requisition or Notice. The applicant is solely responsible for ensuring that the land or any building or works on the land is suitable for a particular purpose. The applicant should check the Certificate(s) of Title as this report may not include information that is registered on the Certificate(s) of title. The Certificate(s) of title may record further information or obligations relating to the land.

Further information about this property may be available from other agencies such as the Otago Regional Council, Nova Gas, Telecom New Zealand (Chorus) or Delta Utility Services Limited.

## Contents

Dunedin City Council – Land Information Memorandum .....	1
Property Address: 61 Big Stone Road Brighton .....	1
Prepared for: Sonja Natacha Nightingale .....	1
Prepared on: 01-Dec-2025 .....	1
Property Details: .....	1
Disclaimer: .....	1
s44A(2)(a) Information identifying any special feature or characteristics of the land .....	4
District Plan Hazard Information .....	4
Other Natural Hazard Information .....	4
Flood Hazards .....	4
Land Stability Hazards .....	4
Coastal Hazards .....	4
Seismic Hazards .....	4
Other Natural Hazards .....	4
Otago Regional Council Hazard Information .....	4
Contaminated Site, Hazardous Substances and Dangerous Goods .....	4
Contaminated Site Information .....	4
Historic Dangerous Goods Licence(s) .....	4
Hazardous Substances .....	4
s44A(2)(b) Information on private and public stormwater and sewerage drains .....	5
Drainage .....	5
Foul Sewer and Waste Water .....	5
Public Sewer Sheets .....	5
Dunedin City Council Private Drainage plans incomplete .....	5
s44A(2)(bb) Information Council holds regarding drinking water supply to the land .....	5
Water Supply .....	5
s44A(2)(c) Information relating to any rates owing in relation to the land .....	6
Rates Details .....	6
Rates Assessment Details .....	6
s44A(2)(d) Consents, Certificates, Notices, Orders or Requisitions affecting the land or any buildings on the land .....	6
(da) the information required to be provided to a territorial authority under section 362T(2) of the Building Act 2004:s44A and .....	6
(2)(e) Information concerning any Certificate issued by a Building Certifier pursuant to the Building Act 1991 or the Building Act 2004 .....	6
Building and Drainage Consents .....	6
Building and Drainage Permits .....	7
Building Notices .....	7
Resource Consents .....	7
Consent Notices .....	9
Alcohol Licensing .....	9
Health Licensing .....	9
s44A(2)(ea) Information notified under Section 124 of the Weathertight Homes Resolution Services Act 2006 .....	9

s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use .....	9
District Plan.....	9
District Plan Map .....	11
s44A(2)(g) Information regarding the land which has been notified to Council by another statutory organisation.....	11
s44A(2)(h) Information regarding the land which has been notified to Council by any network utility operator pursuant to the Building Act 1991 or Building Act 2004 .....	11
Section 44A(3) Information concerning the land as the authority considers, at its discretion, to be relevant.	12
Building Information.....	12
Minimum Floor Levels .....	12
Planning .....	12
Resource Consents within 50m of 61 Big Stone Road Brighton.....	12
3 Waters .....	16
Information Regarding Watercourses .....	16
Transport .....	16
Glossary of Terms and Abbreviations.....	18
Consent, Permit, Licence & Complaint types .....	18
Terms used in Permits & Consents.....	18
General terms .....	19
Appendices .....	20

## s44A(2)(a) Information identifying any special feature or characteristics of the land

### District Plan Hazard Information

Refer to District Plan for Natural Hazards Information *section: s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use.*

### Other Natural Hazard Information

#### Flood Hazards

No information.

#### Land Stability Hazards

##### **EROSION**

Description: Land stability assessment for a proposed subdivision

*Reference Number: 10405*

#### Coastal Hazards

No information.

#### Seismic Hazards

No information.

#### Other Natural Hazards

No information.

### Otago Regional Council Hazard Information

The Regional Council is required to provide information that it holds on Natural Hazards:

<https://www.orc.govt.nz/managing-our-environment/natural-hazards/otago-natural-hazards-database>

### Contaminated Site, Hazardous Substances and Dangerous Goods

#### Contaminated Site Information

No information.

#### Historic Dangerous Goods Licence(s)

No information.

#### Hazardous Substances

No information.

#### **WARNING – Change in legislation and management of hazardous substances**

On 1 April 2004, all Dunedin City Council Dangerous Goods Licences expired. From this date they became the responsibility of the Environmental Protection Authority (EPA) under the Hazardous Substances and New Organisms Act 1996.

All new licences for hazardous substances were issued by independent Test Certifiers approved by the EPA. The Council no longer holds current information on the use of hazardous substances at these premises and hazardous substances may be present without the Council's knowledge.



The Council was advised by the EPA in 2016 that Worksafe had taken over responsibility for managing Location Test certificates under the Hazardous Substances and New Organisms Act 1996. The EPA no longer hold any information in relation to Location Test Certificates. If you have any questions, please contact Worksafe.

## s44A(2)(b) Information on private and public stormwater and sewerage drains

### Drainage

Drainage plans on file are indicative only.

Obtaining your own independent review may be required before commencing drainage works.

### Foul Sewer and Waste Water

#### **No Services Available**

No Dunedin City Council-owned stormwater or foul sewer services are available for connection at the subject property.

### Public Sewer Sheets

**WARNING.** Please note that public sewer reticulation sheets are scaled in either Imperial feet or Metric metres. Please check with the Duty Drainage Inspector if in doubt.

### Dunedin City Council Private Drainage plans incomplete

**WARNING.** The Dunedin City Council's private drainage records (plans) prior to 1 January 1993 may be incomplete or not clearly recorded. Owners therefore are advised to carry out work with due care to avoid damage to any private drain not detailed because of the lack of information filed in the Council's records.

## s44A(2)(bb) Information Council holds regarding drinking water supply to the land

### Water Supply

#### **No reticulated water service available**

No Dunedin City Council-owned water services are available for connection at the subject property.

## s44A(2)(c) Information relating to any rates owing in relation to the land

### Rates Details

#### Rates Assessment Details

<b>Rate Account</b>	4020182
<b>Address</b>	61 Big Stone Road Brighton
<b>Valuation Number</b>	27901-08108

#### Latest Valuation Details

Capital Value	\$1,190,000
Land Value	\$520,000
Value of Improvements	\$670,000
Area (Hectares)	2.4012HA
Units of Use	1

#### Current Rates

Current Rating Year Starting	01-Jul-2025
Dunedin City Council Rates	\$3,738.16

<b>Rates Outstanding for Year</b>	\$2,803.62
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For further explanation on the rate account, or to enquire about information referred to on this page, please contact Rates Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

## s44A(2)(d) Consents, Certificates, Notices, Orders or Requisitions affecting the land or any buildings on the land

(da) the information required to be provided to a territorial authority under section 362T(2) of the Building Act 2004:s44A and

(2)(e) Information concerning any Certificate issued by a Building Certifier pursuant to the Building Act 1991 or the Building Act 2004

### Building and Drainage Consents

The following consents are recorded for this property:

Status Key:	BC	-	Building Consent Issued
	CCC	-	Code Compliance Certificate Issued
	Archived	-	In accordance with section 93(2)(b) of the Building Act, the consent was reviewed for code compliance after two years. Compliance with the Building Code could not be established and therefore the Code Compliance Certificate has been refused.
	/CCC	-	
	Refused	-	Work has not commenced and no extension of time applied for within 12 months of date of consent issue. Consent is of no further effect
	Lapsed	-	

NOTE: This is not a comprehensive list of all building consent statuses

[ABA-2013-1214](#) Building Consent - Erect Dwelling with Attached Garage, Install Yunca Monte Fire in Dwelling, Install Septic Tank System and Rainwater Tank System

Lodgement Date	25-Jun-2013
Decision	Granted
Decision Date	26-Jul-2013
Current Status	<b>CCC Issued</b>
Previous Number	
<i>(Applications before 2007)</i>	

[ABA-2021-1237](#) Building Consent - Erect 3 Bay Garage

Lodgement Date	08-Jun-2021
Decision	Granted
Decision Date	06-Jul-2021
Current Status	<b>CCC Issued</b>
Previous Number	
<i>(Applications before 2007)</i>	

### Building and Drainage Permits

There are no Building or Drainage Permits recorded for this property. In some instances permits may have been recorded as building consents, please also check the consent section of the LIM.

### Building Notices

No Building Notices

### Resource Consents

The following Resource Consent(s) are recorded for this property:

[RMA-2006-370341](#) - Resource Management Act (Historical Data)

Description	THREE LOT SUBDIVISION
Lodgement Date	29-Jun-2006
Decision	Granted
Decision Date	23-Aug-2006
Current Status	<b>s224c Issued</b>

Consent Stages

Type	s223 Certificate
Issued Date	05 February 2007
Further Details	

Type	s224 Certificate
Issued Date	05 February 2007
Further Details	

[RMA-1991-354791](#) - Resource Management Act (Historical Data)

Description	6 LOT SUBDIVISION OF LOT 7 DP 21252 Ownr:G J ALLEN / App: PATERSON PITTS BOX 1083 DUNEDIN
Lodgement Date	25-Dec-1991
Decision	Granted
Decision Date	03-Feb-1992
Current Status	<b>Consent Issued</b>
Consent Stages	
Type	s223 Certificate
Issued Date	26 March 1992
Further Details	
Type	s224 Certificate
Issued Date	26 March 1992
Further Details	

[RMA-1994-356598](#) - Resource Management Act (Historical Data)

Description	SUBDIVISION OF LOT 2 DP 22601 Ownr:T B HENDRY
Lodgement Date	20-Oct-1994
Decision	Granted
Decision Date	21-Nov-1994
Current Status	<b>Consent Lapsed</b>
Consent Stages	
Type	s223 Certificate
Issued Date	21 November 1994
Further Details	
Type	s224 Certificate
Issued Date	21 November 1994
Further Details	

[SUB-1972-354074](#) - Subdivision Consent

Description	scheme plan 125 - subdivision of CT OT243/182
Lodgement Date	14-Aug-1973
Decision	Granted
Decision Date	29-Aug-1973
Current Status	<b>Completed</b>

[SUB-1988-354627](#) - Subdivision Consent

Description	scheme plan 447 - subdivision of CT OT9C/1118
Lodgement Date	22-Mar-1988
Decision	Granted
Decision Date	11-May-1988
Current Status	<b>Completed</b>

[SUB-1983-354288](#) - Subdivision Consent

Description	scheme plan 291 - subdivision of CT OT72/220 into three 2ha lots, balance area and road
Lodgement Date	22-Feb-1983
Decision	Granted
Decision Date	11-May-1983
Current Status	<b>Completed</b>

[POL-2022-28](#) - Planning Other Legislation

Description	realign the legal right of way
Lodgement Date	30-May-2022
Decision	Granted
Decision Date	14-Jun-2022
Current Status	<b>Consent Issued</b>

## Consent Notices

### Consent Notice

The record of title for this property has a consent notice recorded against it:

- CONO 815461

A copy of the consent notice is attached to this LIM. The conditions in the consent notice must be complied with on an ongoing basis.

## Alcohol Licensing

There are no records of any Alcohol Licences for this property.

## Health Licensing

There are no records of any Health Licences for this property.

## s44A(2)(ea) Information notified under Section 124 of the Weathertight Homes Resolution Services Act 2006

No information.

## s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use

## District Plan

**The information on district plan requirements is correct at the date this LIM is issued.** Note that the Dunedin City Second Generation District Plan ("The 2GP") is subject to change at any time. To check whether any changes have occurred since the date this LIM was issued, consult the information and relevant planning maps in the 2GP, which can be found on our website at <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan> as well as at all Dunedin City Council service centres and libraries.

## SECOND GENERATION DISTRICT PLAN INFORMATION

### Zoning

- Rural Residential 1 (refer Section 17, Rural Residential)

### Scheduled Items

- Nil

### Overlay Zones

- Nil

### Mapped Areas

- Nil

Dunedin currently has an Operative Dunedin City District Plan, and the Proposed Second Generation Dunedin City District Plan (2GP). Accordingly, both of these plans may affect the development potential of this site and surrounding properties.

As a general principle, rules in the 2GP must be considered along with the rules of the Operative District Plan until such time as the rules of the 2GP become operative, or are treated as operative. The policies and objectives of both plans should also be considered.

The 2GP was publicly notified on Saturday 26 September 2015. The submission period closed on Tuesday 24 November 2015. Decisions on the 2GP were released on Wednesday 7 November 2018. The appeal period closed on Wednesday 19 December 2018. The schedule of appeals can be viewed at <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan/appeals-received-on-the-2gp>.

You are advised to refer to our website to determine which rules in the 2GP have legal effect or are fully operative, and to determine which rules in the Operative District Plan are now inoperative.

The 2GP is subject to change at any time. Variation 2 (Additional Housing Capacity) to the 2GP was notified on Wednesday 3 February 2021. No rule changes proposed in Variation 2 had legal effect from the date of notification. Rules that did not have submissions in opposition to them are deemed operative.

Please refer to our website for more information on Variation 2 at <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan/plan-change-dis-2021-1-variation-2>

Further rules will come into legal effect and/or become fully operative at the release of decisions and the resolution of appeals.

You should check with the Council whether any changes have occurred since the date this LIM report was issued. The information provided with this LIM on district plan requirements is applicable as at the date this LIM is issued: there may be changes to the district plan rules following the release of this LIM that may affect this site and surrounding properties.

You should ensure that you consult the information and relevant planning maps in the Operative District Plan which can be found on our website at <https://www.dunedin.govt.nz/council/district-plan/district-plan-2006> and the 2GP which can be found on our website at <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan> as well as at all Dunedin City Council service centres and libraries.

## OPERATIVE DISTRICT PLAN INFORMATION

### Zoning

This property is zoned as follows in the District Plan.

*Zone*

RURAL RESIDENTIAL

### Indigenous Vegetation and Fauna - Interim Rule 16.6.2

Rule 16.6.2 applies in the Rural and Rural Residential zones, but not in any Urban Landscape Conservation Area. The rule imposes controls on the clearance or modification of indigenous vegetation, and on earthworks in respect of coastal habitat, wetland, skink habitat and indigenous vegetation. Also refer to Planning Map 79.

*Type*

5.0ha

### Noise

This property is located in a Noise Area where the noise limits outlined below apply. Rule 21.5.1(i)(b) also specifies a maximum noise limit of 75 dBA Lmax between 9.00 pm on any night and 7.00 am the following day measured at the boundary of the site or within any other site. Note that some activities have a resource consent or existing use rights that allow these limits to be exceeded. Some activities are also exempted from noise limits. Furthermore, the actual limits that apply will also depend on whether this site adjoins a Noise Area Boundary and whether there are Special Audible Characteristics. Refer to Section 21.5 of the District Plan for further details. Every occupier of land is also under a general duty to adopt the best practicable option to ensure that the emission of noise from land does not exceed a reasonable level.

*Noise Zone*

55 Dt/40Nt dBA within 50m of a residence

### District Plan Map

The District Plan map is available [online here](#). Instructions on how to use the map are [available here](#).

You can also access the District Plan map and instructions by visiting the Dunedin City Council 2GP Website at:

<https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan>

s44A(2)(g) Information regarding the land which has been notified to Council by another statutory organisation

No information.

s44A(2)(h) Information regarding the land which has been notified to Council by any network utility operator pursuant to the Building Act 1991 or Building Act 2004

No information.

Section 44A(3) Information concerning the land as the authority considers, at its discretion, to be relevant.

## Building Information

Drainage

### **Form 5 (building consent) copy**

This property contains building consent application/s where a copy of the building consent (Form 5) is not able to be provided.

This may be due to the age of the consent and/or processes that were in place at the time.

### Minimum Floor Levels

Clause E1.3.2 of the New Zealand Building Code requires that surface water, resulting from an event having a 2% probability of occurring annually, shall not enter buildings. This requirement applies to Housing, Communal Housing, Communal Residential and Communal non-residential buildings. For guidance when establishing minimum floor levels please refer to : <https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels> and for links to specific areas:

<https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels/mfl-guidance>

For further explanation on the current status of any consent, or to enquire about information referred to on this page, please contact Building Control Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

## Planning

### Resource Consents within 50m of 61 Big Stone Road Brighton

#### **5044435 117 Big Stone Road Brighton**

[SUB-1988-354627](#) Subdivision Consent scheme plan 447 - subdivision of CT OT9C/1118. The outcome was Granted on 11/05/1988.

[SUB-1972-354074](#) Subdivision Consent scheme plan 125 - subdivision of CT OT243/182. The outcome was Granted on 29/08/1973.

[SUB-1983-354288](#) Subdivision Consent scheme plan 291 - subdivision of CT OT72/220 into three 2ha lots, balance area and road. The outcome was Granted on 11/05/1983.

#### **5066890 105 Big Stone Road Brighton**

[SUB-1988-354627](#) Subdivision Consent scheme plan 447 - subdivision of CT OT9C/1118. The outcome was Granted on 11/05/1988.

[SUB-1972-354074](#) Subdivision Consent scheme plan 125 - subdivision of CT OT243/182. The outcome was Granted on 29/08/1973.

[SUB-1983-354288](#) Subdivision Consent scheme plan 291 - subdivision of CT OT72/220 into three 2ha lots, balance area and road. The outcome was Granted on 11/05/1983.

[RMA-1998-361725](#) Resource Management Act (Historical Data) SHED WITH FRONT YARD ENCROACHMENT (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 02/03/1998.

#### **5069103 63 Big Stone Road Brighton**

[RMA-2006-370343](#) Resource Management Act (Historical Data) LAND USE CONSENT FOR RESIDENTIAL ACTIVITY ON BALANCE SITE CREATED BY RMA 2006-0561 (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 23/08/2006.

[RMA-2006-370341](#) Resource Management Act (Historical Data) THREE LOT SUBDIVISION (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 23/08/2006.



**5069544 97 Big Stone Road Brighton**

**SUB-1988-354627** Subdivision Consent scheme plan 447 - subdivision of CT OT9C/1118. The outcome was Granted on 11/05/1988.

**SUB-1972-354074** Subdivision Consent scheme plan 125 - subdivision of CT OT243/182. The outcome was Granted on 29/08/1973.

**SUB-1983-354288** Subdivision Consent scheme plan 291 - subdivision of CT OT72/220 into three 2ha lots, balance area and road. The outcome was Granted on 11/05/1983.

**5100861 57 Big Stone Road Brighton**

**POL-2022-28** Planning Other Legislation realign the legal right of way. The outcome was Granted on 14/06/2022.

**SUB-1988-354627** Subdivision Consent scheme plan 447 - subdivision of CT OT9C/1118. The outcome was Granted on 11/05/1988.

**SUB-1972-354074** Subdivision Consent scheme plan 125 - subdivision of CT OT243/182. The outcome was Granted on 29/08/1973.

**SUB-1983-354288** Subdivision Consent scheme plan 291 - subdivision of CT OT72/220 into three 2ha lots, balance area and road. The outcome was Granted on 11/05/1983.

**RMA-1994-356598** Resource Management Act (Historical Data) SUBDIVISION OF LOT 2 DP 22601 Ownr:T B HENDRY (Non-Notified - Non Complying). This consent has since Lapsed.

**RMA-1991-354791** Resource Management Act (Historical Data) 6 LOT SUBDIVISION OF LOT 7 DP 21252 Ownr:G J ALLEN / App: PATERSON PITTS BOX 1083 DUNEDIN (Non-Notified - Non Complying). The outcome was Granted on 03/02/1992.

**5100862 49 Big Stone Road Brighton**

**SUB-1988-354627** Subdivision Consent scheme plan 447 - subdivision of CT OT9C/1118. The outcome was Granted on 11/05/1988.

**SUB-1972-354074** Subdivision Consent scheme plan 125 - subdivision of CT OT243/182. The outcome was Granted on 29/08/1973.

**SUB-1983-354288** Subdivision Consent scheme plan 291 - subdivision of CT OT72/220 into three 2ha lots, balance area and road. The outcome was Granted on 11/05/1983.

**RMA-1995-358605** Resource Management Act (Historical Data) CERTIFICATE OF COMPLIANCE - PROPOSED NEW DWG (Other). The outcome was Granted on 06/08/1995.

**RMA-1991-354791** Resource Management Act (Historical Data) 6 LOT SUBDIVISION OF LOT 7 DP 21252 Ownr:G J ALLEN / App: PATERSON PITTS BOX 1083 DUNEDIN (Non-Notified - Non Complying). The outcome was Granted on 03/02/1992.

**5102727 133 Big Stone Road Brighton**

**LUC-2013-375** Land Use Consent establish a dwelling. The outcome was Granted on 09/10/2013.

**SUB-1986-354521** Subdivision Consent scheme plan 399. The outcome was Granted on 28/07/1986.

**SUB-1985-354434** Subdivision Consent subdivision. The outcome was Declined on 11/09/1985.

**RMA-1998-362154** Resource Management Act (Historical Data) TO ALLOW DWGS TO BE ERECTED ON 2 RURAL SITES LESS THAN 15 HA IN AREA WITHIN NEXT 10 YEARS - CHEQUE/WEBB FARRY TRUST (Non-Notified - Non Complying). The outcome was Granted on 09/04/1999.

**RMA-1999-363258** Resource Management Act (Historical Data) TO CHANGE A CONDITION OF CONSENT NUMBER 980579 TO AMEND THE LOCATION OF A DWELLING Hazards Comments: (Other). The outcome was Granted on 27/08/1999.

**RMA-1993-355851** Resource Management Act (Historical Data) Subdivision creating three rural residential lots Ownr:D B & H M IRVINE / App: D B & H M IRVINE (Non-Notified - Non Complying). The outcome was Granted on 16/12/1993.

**5111826 155 Big Stone Road Brighton**

**SUB-1986-354521** Subdivision Consent scheme plan 399. The outcome was Granted on 28/07/1986.

**SUB-1985-354434** Subdivision Consent subdivision. The outcome was Declined on 11/09/1985.

[RMA-2006-369939](#) Resource Management Act (Historical Data) CHANGE OF CONDITION TO RMA 2005-0592 (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 16/03/2006.

[RMA-2004-368207](#) Resource Management Act (Historical Data) TWO (2) LOT SUBDIVISION (Non-Notified - Restricted Discretionary). The outcome was Granted on 26/10/2004.

[RMA-2005-369200](#) Resource Management Act (Historical Data) ESTABLISH RESIDENTIAL ACTIVITY ON UNDERSIZED RURAL ALLOTMENTS (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 10/08/2005.

[RMA-1993-355851](#) Resource Management Act (Historical Data) Subdivision creating three rural residential lots Ownr: D B & H M IRVINE / App: D B & H M IRVINE (Non-Notified - Non Complying). The outcome was Granted on 16/12/1993.

**[5112451 63 Big Stone Road Brighton](#)**

[POL-2022-28](#) Planning Other Legislation realign the legal right of way. The outcome was Granted on 14/06/2022.

[SUB-1988-354627](#) Subdivision Consent scheme plan 447 - subdivision of CT OT9C/1118. The outcome was Granted on 11/05/1988.

[SUB-1972-354074](#) Subdivision Consent scheme plan 125 - subdivision of CT OT243/182. The outcome was Granted on 29/08/1973.

[SUB-1983-354288](#) Subdivision Consent scheme plan 291 - subdivision of CT OT72/220 into three 2ha lots, balance area and road. The outcome was Granted on 11/05/1983.

[RMA-2006-370343](#) Resource Management Act (Historical Data) LAND USE CONSENT FOR RESIDENTIAL ACTIVITY ON BALANCE SITE CREATED BY RMA 2006-0561 (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 23/08/2006.

[RMA-2006-370341](#) Resource Management Act (Historical Data) THREE LOT SUBDIVISION (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 23/08/2006.

[RMA-1991-354791](#) Resource Management Act (Historical Data) 6 LOT SUBDIVISION OF LOT 7 DP 21252 Ownr: G J ALLEN / App: PATERSON PITTS BOX 1083 DUNEDIN (Non-Notified - Non Complying). The outcome was Granted on 03/02/1992.

**[5112453 47 Big Stone Road Brighton](#)**

[SUB-1988-354627](#) Subdivision Consent scheme plan 447 - subdivision of CT OT9C/1118. The outcome was Granted on 11/05/1988.

[SUB-1972-354074](#) Subdivision Consent scheme plan 125 - subdivision of CT OT243/182. The outcome was Granted on 29/08/1973.

[SUB-1983-354288](#) Subdivision Consent scheme plan 291 - subdivision of CT OT72/220 into three 2ha lots, balance area and road. The outcome was Granted on 11/05/1983.

[RMA-2006-370341](#) Resource Management Act (Historical Data) THREE LOT SUBDIVISION (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 23/08/2006.

[RMA-1994-356598](#) Resource Management Act (Historical Data) SUBDIVISION OF LOT 2 DP 22601 Ownr: T B HENDRY (Non-Notified - Non Complying). This consent has since Lapsed.

[RMA-1995-358636](#) Resource Management Act (Historical Data) ERECT DOUBLE GARAGE (Non-Notified - Restricted Discretionary). The outcome was Granted on 29/08/1995.

[RMA-1991-354791](#) Resource Management Act (Historical Data) 6 LOT SUBDIVISION OF LOT 7 DP 21252 Ownr: G J ALLEN / App: PATERSON PITTS BOX 1083 DUNEDIN (Non-Notified - Non Complying). The outcome was Granted on 03/02/1992.

The information provided with this LIM on District Plan requirements and resource consents has been verified by City Planning in relation to the subject property only. All information included in relation to other land surrounding the site is indicative.

### **Accuracy of Boundaries**

Knowing the true location of the property boundaries on the ground is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. Please note that the Council's aerial photographs may not accurately depict the extent of the property. The Record of Title for the site should be checked in the first instance. A surveyor may need to be consulted to establish the true location of the title boundaries on the ground.

### **Access to Site**

The legality of any access to the site is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. It is recommended that the Record of Title and/or a lawyer be consulted regarding the legality of any legal and/or physical access to the site (and the maintenance thereof).

### **Heritage New Zealand Pouhere Taonga Act 2014**

The Heritage New Zealand Pouhere Taonga Act 2014 applies in addition to any protection provided to a building or site by the District Plan. The Heritage New Zealand Pouhere Taonga Act 2014 makes it unlawful for any person to destroy, or modify the whole or any part of an archaeological site, whether or not the land on which the site is located is designated, or a resource or building consent has been issued, without the prior authority of Heritage New Zealand. The Heritage New Zealand Pouhere Taonga Act 2014 defines an archaeological site as a place associated with pre-1900 activity, where there may be evidence relating to the history of New Zealand. Pre-1900 buildings are considered archaeological sites under the Heritage New Zealand Pouhere Taonga Act 2014 and are also often associated with subsurface archaeological remains that provide evidence of pre-existing use of the site. Council records may not necessarily identify the precise date upon which an existing building was constructed. Contact the Dunedin office of Heritage New Zealand for further information: [infodeepsouth@heritage.org.nz](mailto:infodeepsouth@heritage.org.nz); 03 477 9871.

### **Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011**

The Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011 came into force on 1 January 2012. The National Environmental Standard applies to any piece of land on which an activity or industry described in the current edition of the Hazardous Activities and Industries List (HAIL) is being undertaken, has been undertaken or is more likely than not to have been undertaken. (The current edition of the HAIL is available on the Ministry for the Environment website at [www.mfe.govt.nz](http://www.mfe.govt.nz).) Activities on HAIL sites may need to comply with permitted activity conditions specified in the National Environmental Standard and/or might require resource consent. (The Otago Regional Council should also be consulted for any rules in might have in regards to the use or development of contaminated sites.)

If a person wishes to establish whether a piece of land has had hazardous activities or industries conducted on it, and thus whether activities on that land are controlled by the National Environmental Standard, then the person must pay for a review of the information about the land held by the Council, or pay for a suitably qualified and experienced practitioner to undertake a preliminary site inspection. Formal confirmation from the Council that resource consent is not required under the National Environmental Standard can only be given through a certificate of compliance application.

If you would like a copy of any Resource Consent decision or advice on the current status and relevance of any planning matter referred to in the LIM, enquiries may be made at the Planning Enquiries desk on the Ground Floor of the Civic Centre, 50 The Octagon, or by phoning 477 4000 and asking for the Duty Planner. Planners are available at the Planning Enquiries desk to answer your enquiries between 8:30am and 5:00pm weekdays.

### 3 Waters

#### Information Regarding Watercourses

The controlling authority for all water and waterbodies in Dunedin City is the Otago Regional Council. The Regional Plan: Water addresses water take and use, diversions, damming, discharges and bed alteration under the Resource Management Act 1991. They are also responsible for the Flood Protection Management Bylaw 2012.

The controlling authority for watercourses in relation to stormwater drainage, and removal of obstructions in accordance with Local Government Act 1974 is the Dunedin City Council. The Council also issues building and resource consents for certain works around watercourses.

Not all watercourses within Dunedin City are recorded or known to the Council, therefore it is recommended that the applicant inspect the property for watercourses.

For further information on watercourses it is recommended the applicant read the Watercourse Information Sheet. A copy of this document is available on request or for download from the Dunedin City Council website [www.dunedin.govt.nz](http://www.dunedin.govt.nz).

Environmental Health

#### Unknown Water Supply

It is believed that this property is serviced by a private water supply. The state of this supply is unknown. As such it is recommended that the water supply be assessed for safety/quality. Advice on water quality can be obtained from Public Health South.

### Transport

**DCC Transport has carried out a desktop inspection of this property and found the following:**

#### Vehicle crossing - shared vehicle access.

It appears that the vehicle access to this property is via a shared driveway. Please consult with your Lawyer to find out if this is registered under your property title and/or there is a formal agreement in place between the owners/users of all private accesses in order, to clarify maintenance responsibilities and access permission for the owners/users.

#### Non-compliant vehicle crossing – not sealed for the first 5 metres.

To meet current Council standards the vehicle crossing would be required to be hard surfaced from the edge of the carriageway to 5m inside the property boundary. This requirement is to prevent debris migrating from inside the property out onto the footpath and/or carriageway. Council accepts this situation but accepts no liability and points out that maintenance is the responsibility of the property owner. The Council may require this to be addressed in the future.

Vehicle access to this property appears to be over adjacent property.

**Private stormwater lateral.**

Private stormwater laterals collect stormwater from private properties guttering and runs under the footpath to the kerb and channel on the roadside. The stormwater laterals are private pipes and are the responsibility of the landowner who they service, the repair and maintenance of these pipe's rests solely with the property owner. As the landowner you must maintain your stormwater lateral to ensure that it doesn't become a safety hazard for pedestrians or other road users.

For further explanations on property owner obligations in regard to local road encroachments, vehicle entrances, vegetation management or retaining structures please refer to the Dunedin City Council website at <http://www.dunedin.govt.nz/services/roads-and-footpaths> or contact Transport on 477 4000.

For properties abutting the state highway, Waka Kotahi NZ Transport Agency is the Road Controlling Authority.

## Glossary of Terms and Abbreviations

The following are abbreviations and terms that may appear as a part of a LIM.

### Consent, Permit, Licence & Complaint types

AAB	DCC Building permit
AAD	DCC Drainage permit
AAG	Green Island drainage permit
AAH	Hyde permit
AAK	St Kilda permit
AAM	Mosgiel permit
AAP	Port Chalmers permit
AAS	Silverpeaks permit
AAT	Maniototo permit
ABA	Application Building Act 1991
AMD	Amendment to a Building Consent
BC	Building Consent
BCC	Building Compliance Certificate - Sale and Supply of Alcohol Act
BCM	Building Complaint
CER	Certifier
COA	Certificate of Acceptance
DGL	Dangerous Goods Licensing
ENV	Health complaint
HTH	Health licence
LIQ	Alcohol licence
NTF	Notice to Fix
NTR	Notice to Rectify
PIM	Project Information Memorandum
POL	Planning Other Legislation
RMA	Resource Management Act - Resource consent
RMC	Resource consent complaint
WOF	Building Warrant of Fitness

### Terms used in Permits & Consents

ALT	Alteration
ADD	Addition
BD D/C	Board drain in common
BLD	Building
BLDNG	Building
BT	Boundary trap
B/T	Boiler tube
CCC	Code Compliance Certificate
DAP	Drainage from adjacent property
DGE	Drainage
DIC	Drain in common
DR	Drainage
DWG	Dwelling
FS	Foul sewer

HEA	Heater
ICC	Interim Code Compliance
MH	Manhole
PL	Plumbing
PLB	Plumbing
PTE	Private
SIS	Sewer in section
WC	Water course
WT	Water table
SW	Stormwater

### General terms

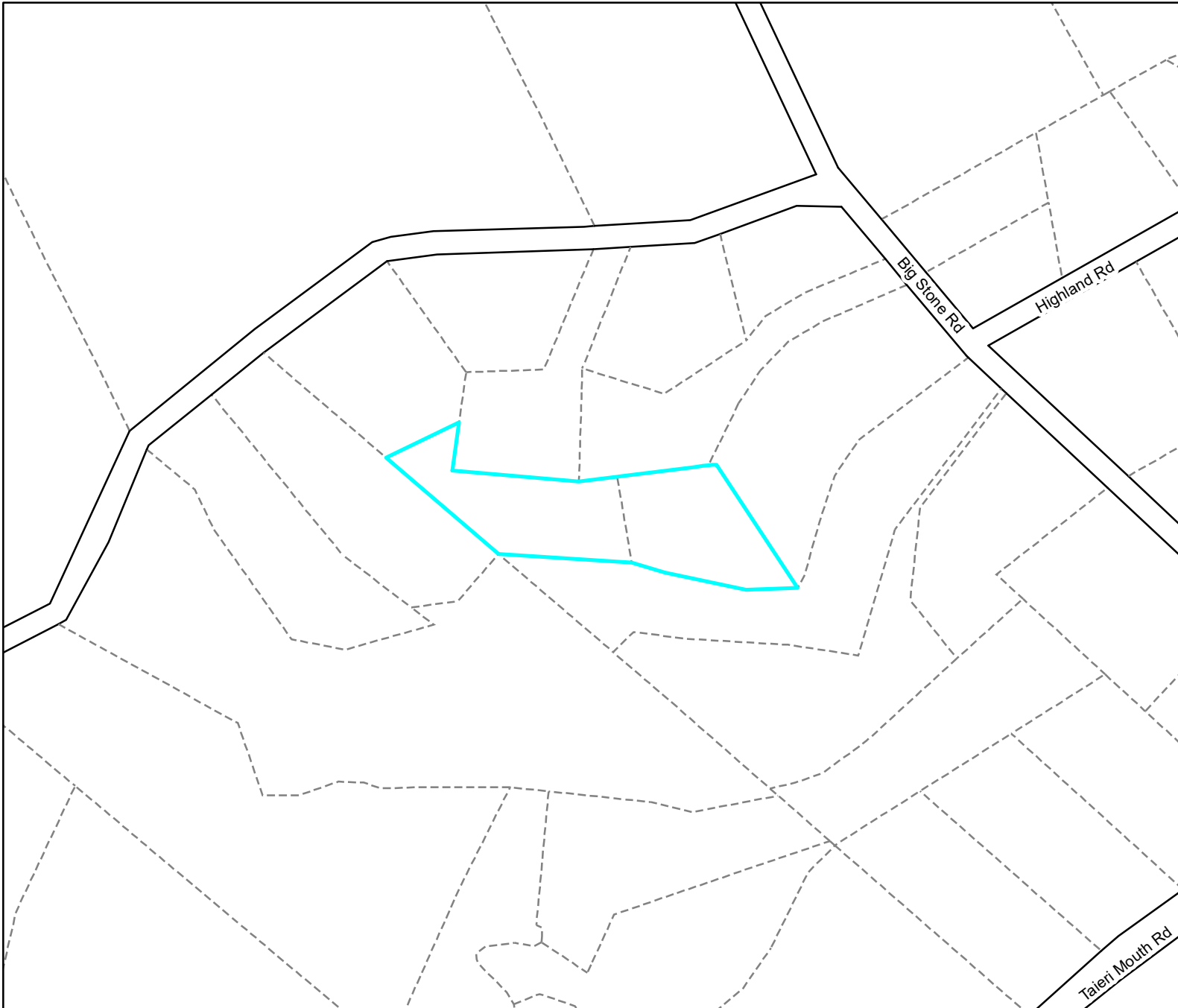
RDMS Records and Document Management System

## Appendices









Legend

Water Supply

	Manifold Box		Water Non-Return Valve
	Water Meter		Water Pump Station
	Toby		Water Bore
	Meter without manifold box		Water Treatment Plant
	Retic Flow Meter		Water Storage Tank
	Combination Meter		Supply Main
	Manifold Box With Restrictor		Trunk Main
	Water Valve - Zone		Disused
	Non Return Valve		Reticulation
	Water Valve - Gate		Scour
	Water Valve - Sluice		Water Service Lateral
	Water Hydrant		Water Fire Service Lateral
	Water Backflow Preventor - RPZ		Water Critical Service Lateral
			Water Zone Boundary
			Water Reservoir
			Redundant Water Main

NOTE:  
Private water services have the same symbols as those above, however they are coloured pink.

Foul Sewerage

	Standard Manhole		Pump Station
	Valve Chamber (pressurised)		Treatment Plant
	Boundary Kit		Vent
	Non-Return Valve		Foul Sewer Node
	Pump Station Domestic		Foul Drains in Common (public)
	Drop Manhole		Sewer
	Inspection Manhole		Trunk Sewer
	Inspection Opening		Vent Line
	Lamphole		Rising Main
	Outlet		Redundant Foul Sewer Pipe

NOTE:  
Private foul drains have the same symbols as those above, however they are coloured orange.

Stormwater

	SW Bubble-up Tank		Roading Bubble-Up Tank
	SW Drop Manhole		Roading Mudtank
	SW Insp Chamber and Grating Inlet		Stormwater Main
	SW Inspection Manhole		Stormwater Trunk Main
	SW Inspection Opening		DCC Open Channel
	SW Lamphole		Piped WC
	SW Mudtank Inlet		Open WC
	SW Outlet		Culvert
	SW Pipe Inlet		Stormwater Mudtank Pipe
	SW Pressure Manhole		Redundant Stormwater Main
	SW Standard Manhole		SW Sump
	SW Stormwater Node		SW Pump Station

NOTE:  
Private stormwater drains have the same symbols as those above, however they are coloured light green.

General

	DCC Water & Waste Structure		Parcel		Road/Rail
	Railway Centreline		Hydro		Motorway Parcels
			Strata		Easment (where recorded)

Full legend can be viewed at <https://www.dunedin.govt.nz/council-online/webmaps/waterservices>



Council Water & Drainage Services

Information shown is the best available at the time of publishing. The accuracy and completeness of This information is variable. Private assets are typically not mapped. Recent changes may not be reflected. Verify on site before commencing work. For all enquiries phone 03 477 4000.

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PARCEL LINES CAN VARY FROM LEGAL PARCEL BOUNDARIES This map is for illustration purposes only and is not accurate to surveying, engineering or orthophotographic standards. Every effort has been made to ensure correctness and timeliness of the information presented.

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## CODE COMPLIANCE CERTIFICATE

DCCBCA-F4-07-v3.0

Section 95, Building Act 2004

CCC NO:	ABA-2013-1214	Telephone No:	03 477 4000
<b>APPLICANT</b>		<b>PROJECT</b>	
Y Den Haring and K V Osborne 76 Ravenswood Road Dunedin 9012		<b>Work Type:</b> New Construction  <b>Intended Use/Description of Work:</b> Erect Dwelling with Attached Garage, Install Yunca Monte Fire in Dwelling, Install Septic Tank System and Rainwater Tank System	
<b>PROJECT LOCATION</b>		<b>Intended Life:</b> Indefinite, not less than 50 years.  <b>This CCC also applies to the following Amended Consents:</b> N/A	
61 Big Stone Road Brighton			
<b>LEGAL DESCRIPTION</b>			
<b>Legal Description:</b> LOT 1 DP 378151, LOT 2 DP 378151 <b>Valuation Roll No:</b> 27901-08108 <b>Building Name:</b> N/A			

The Building Consent Authority named above is satisfied, on reasonable grounds, that:

- (a) The building work complies with the Building Consent, and
- (b) The specified systems in the building are capable of performing to the performance standards set out in the Building Consent.

☐ Compliance Schedule attached

**Signed for and on behalf of the Council:**

**Team Leader Inspections**

Date: 9 January 2014

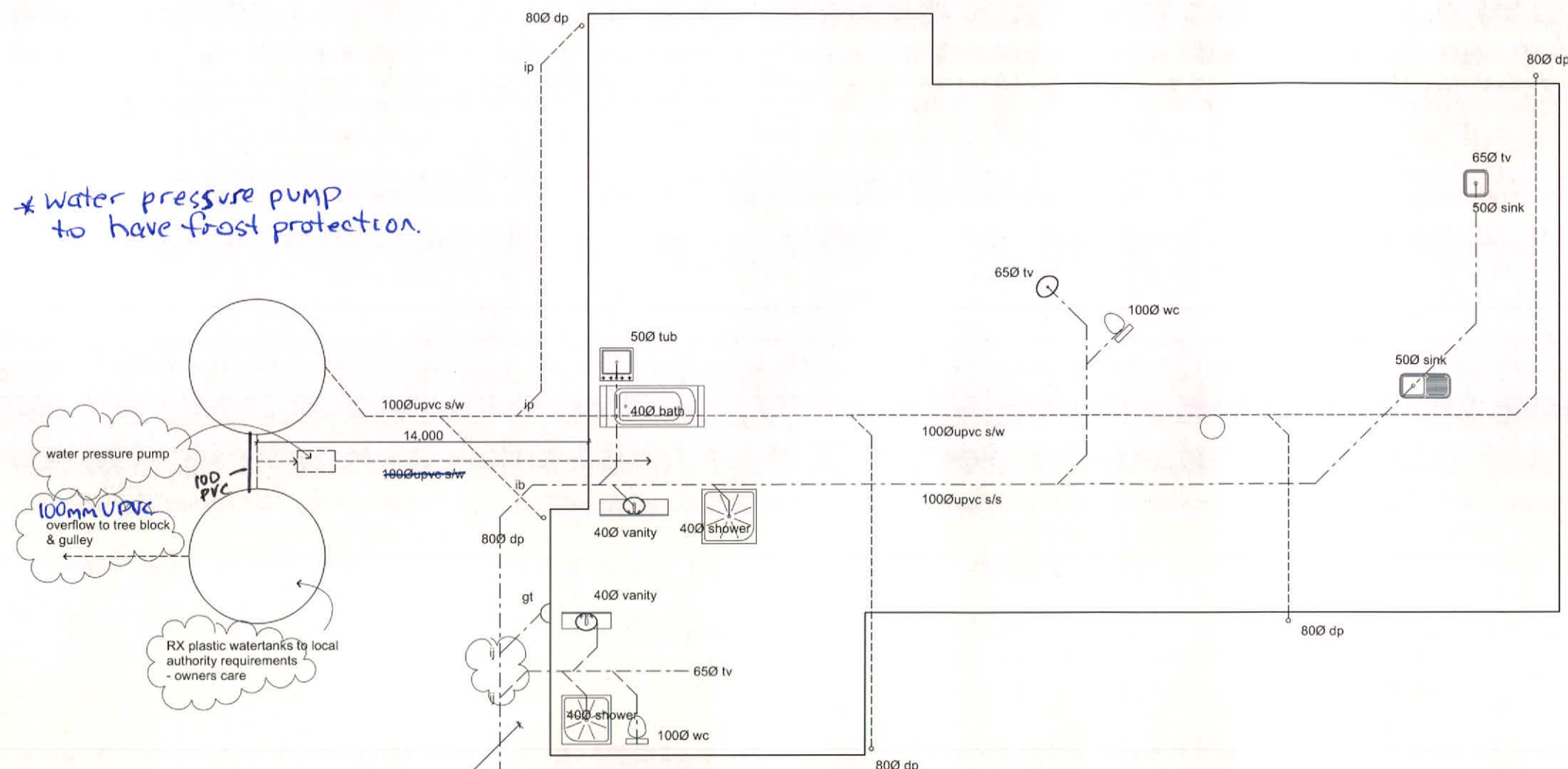


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					cad file		



Endorsements on superseded plans transfer to this document.

- \* water pressure pump to have frost protection.



WINDUIN CITY COUNCIL  
APPROVED BUILDING CONSENT DOCUMENT

2013 - 1214

## DRAINAGE PLAN

scale 1:50

Note : Downpipes to be uvpc. Spouting to be factory coated or zinc/aluminium alloy coated suitable for potable water.

Size of graded section of pipe DN	Minimum grade %
40	2.5
50	2.5
65	2.5
80	1.65
100	1.65
125	1.25
150	1.00
225	0.65
300	0.40

## DRAINAGE NOTES

Trenches should be excavated to allow for adequate depth of bedding, the pipe diameter and the recommended cover. Bedding materials are listed as per AS/NZS 26551.

## Minimum Cover -

Roads & Streets - 750mm  
Driveways & similar areas - 600mm  
Footpaths & gardens - 500mm  
Construction traffic - 750mm

All stormwater pipes to be 100mm dia. PVC.

Contractor to check & confirm all heights, location, direction, inverts & dimensions prior to commencement of works.  
All drainage to AS/NZS 3500 standards & local authority requirements.  
Plumber/Drainlayer to provide as built drawings to local authority.

Drainage grade uPVC recommended for charged downpipes.

DUNEDIN CITY COUNCIL

Plans and Specifications Approved in accordance  
with The New Zealand Building Code and Approved  
Documents. To be retained on works  
and produced on request.

Building	GA Sutton	Date	26-07-13
Plumbing	GA Sutton	Date	26-07-13
Health		Date	

NOTE



All dimensions & underground service locations to be checked prior to commencement of all work. DO NOT scale off drawings. Cross reference all drawings, confirm site levels, floor heights & restrictions prior to earthworks. If any discrepancies occur, contact Highmark Homes immediately before commencing works or ordering. COPYRIGHT: These drawings remain the property of HIGHMARK HOMES Ltd and are provided for use as described above and may not be used or re-produced in whole or part without written permission. Producer statements issued by all suppliers & tradesmen where applicable. Any site/structural works are not to commence until building permit becomes unconditional.

project

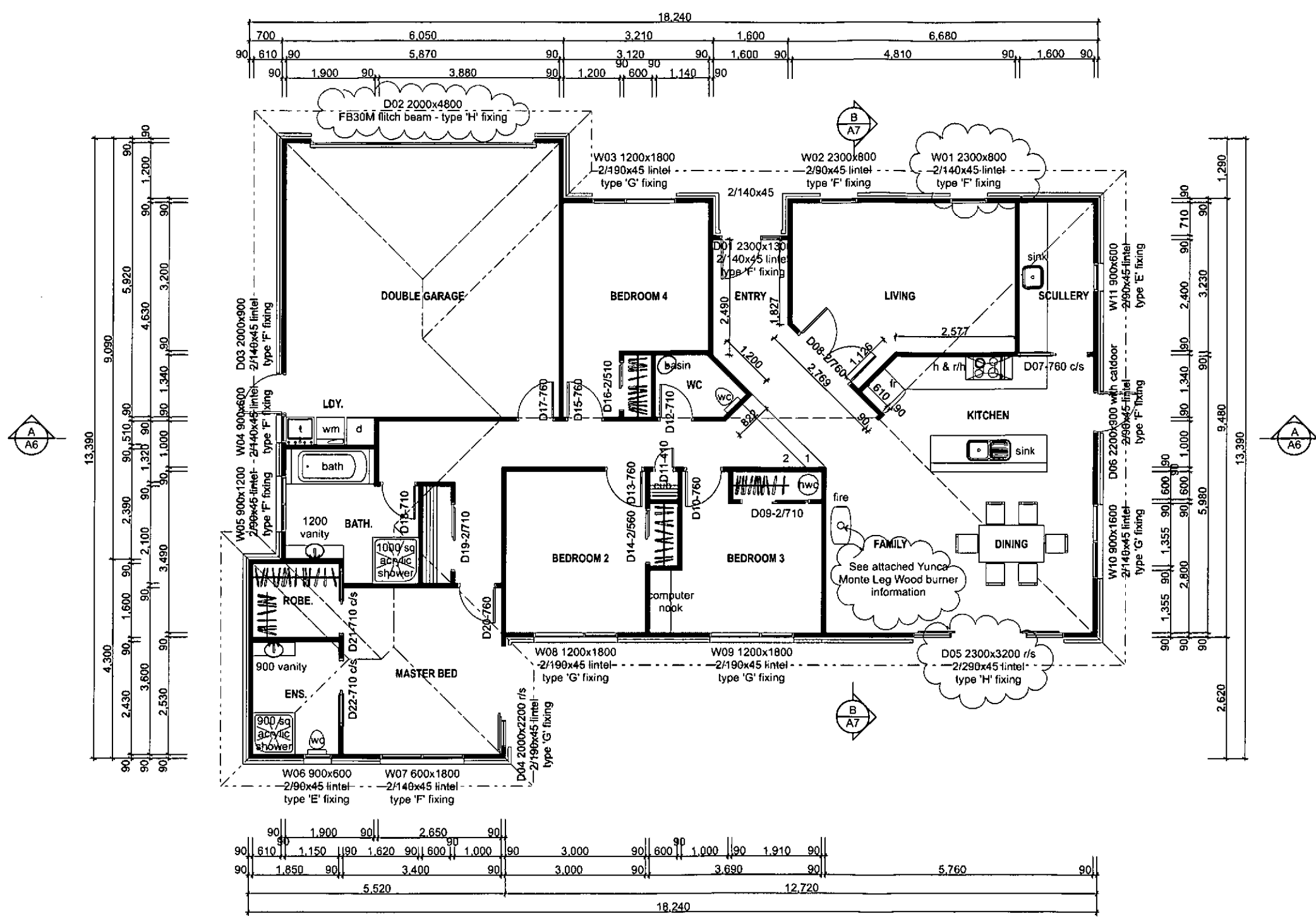
PROPOSED RESIDENCE FOR  
OSBORNE/DEHARING  
61 BIG STONE ROAD  
BRIGHTON  
DUNEDIN

sheet contents

DRAINAGE PLAN

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A	for building consent	13/05/13	G.F			date drawn:	drawn by:	checked:
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						cad file		

**Revised**  
Endorsements on superseded plans transfer to this document.



**PROPOSED FLOOR PLAN**  
scale 1:50  
Proposed Floor Area over framing : 188m<sup>2</sup>  
Proposed Floor Area over brick : 196m<sup>2</sup>  
Covered Areas : 1m<sup>2</sup>

**GENERAL NOTES:**

All dimensions are CRITICAL to ensure neat & exact fitting of components/fixtures. Most important are Baths, Showers, Vanities & the like. Due to manufacturing processes these can vary in dimension + or - 5mm. Confirm ALL dimensions prior to placing Gib board or before permanently fixing any items. Ensure 'cabinetry and other components' backing nogs are placed prior to placing any wall linings.

All exterior and interior walls SGB H1.2 90x45 timber studs @ 600c-c with nogs @ 800c-c

Allow 1 row of tiles (min. 150mm high) as bath splashback to walls around vanity. Allow 10mm gib aqualine on ceiling and walls to bathrooms.

Upper joinery 2000 headheight, lower joinery 2300 headheight.

**Finishing Trim**

Skirtings - #20 FJ pine  
Scotia - 55mm gib cove classic  
- #28 FJ pine to cupboards etc  
Window Jambes - FJ pine PP  
Door Jambes - Pinus Radiata  
Doors - MDF paint quality

**WET AREAS NOTES:**


Bath, WC, Laundry & Kitchen - Floor finishes to be non-slip vinyl lining over sealed floor. Minimum slip resistance coefficient of 0.25 - 0.50. Waterproof seal vinyl to edge of painted skirting - contractor to comply with NZBC : E3/AS1 Internal Moisture.

Bath, WC, & Laundry - Wall finishes to be 10mm GIB aqualine with 1 coat GIB sealer & 2 coats GIB aquaseal paint.

DUNEDIN CITY COUNCIL  
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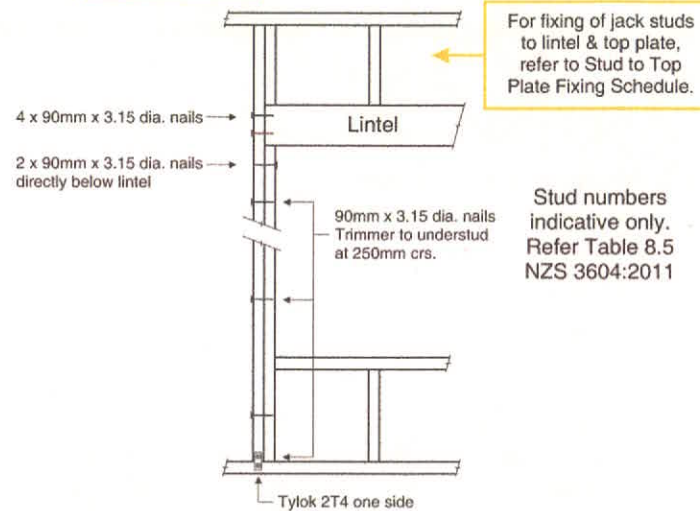
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	<p>All dimensions &amp; underground service locations to be checked prior to commencement of all works. DO NOT scale off drawings. Cross reference all drawings, confirm site levels, floor heights &amp; restrictions prior to earthworks. If any discrepancies occur, contact Highmark Homes immediately before commencing work or ordering. COPYRIGHT: These drawings remain the property of HIGHMARK HOMES Ltd and are provided for use as described above and may not be used or reproduced in whole or part without written permission. Producer statements issued by all suppliers &amp; tradesmen where applicable. Any site construction work is not to commence until building permits become unconditional.</p>	<p>project</p> <p>PROPOSED RESIDENCE FOR OSBORNE/DEHARING 61 BIG STONE ROAD BRIGHTON DUNEDIN</p>	<p>sheet contents</p> <p>PROPOSED FLOOR PLAN</p>	<table><tr><th>rev</th><th>amendments</th><th>date</th><th>by</th></tr><tr><td>A</td><td>for building consent</td><td>13/05/13</td><td>G.P.</td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr></table>	rev	amendments	date	by	A	for building consent	13/05/13	G.P.																	<table><tr><td colspan="2">job number</td><td>10182</td></tr><tr><td>sheet</td><td>of</td><td>rev.</td></tr><tr><td>A3</td><td></td><td>A</td></tr></table>	job number		10182	sheet	of	rev.	A3		A	<table><tr><td colspan="3">www.highmarkhomes.co.nz</td></tr><tr><td>date drawn:</td><td>drawn by</td><td>checked</td></tr><tr><td>13th May 2013</td><td>Glenn</td><td></td></tr><tr><td colspan="3">sheet scales</td></tr><tr><td colspan="3">1:50 @ A1 1:100 @ A3</td></tr><tr><td colspan="3">cad file</td></tr></table>	www.highmarkhomes.co.nz			date drawn:	drawn by	checked	13th May 2013	Glenn		sheet scales			1:50 @ A1 1:100 @ A3			cad file		
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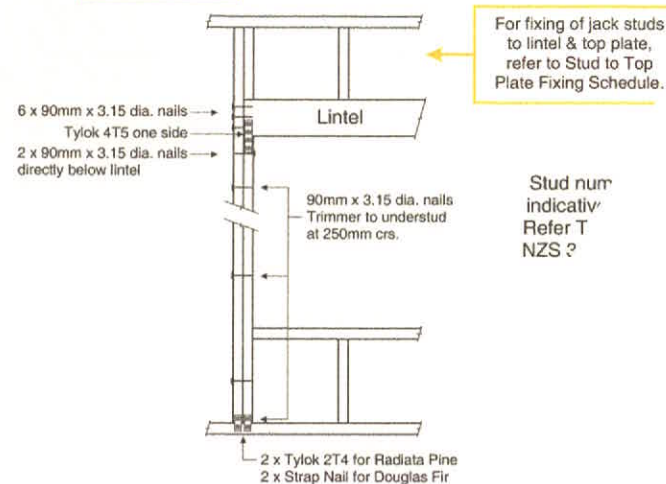


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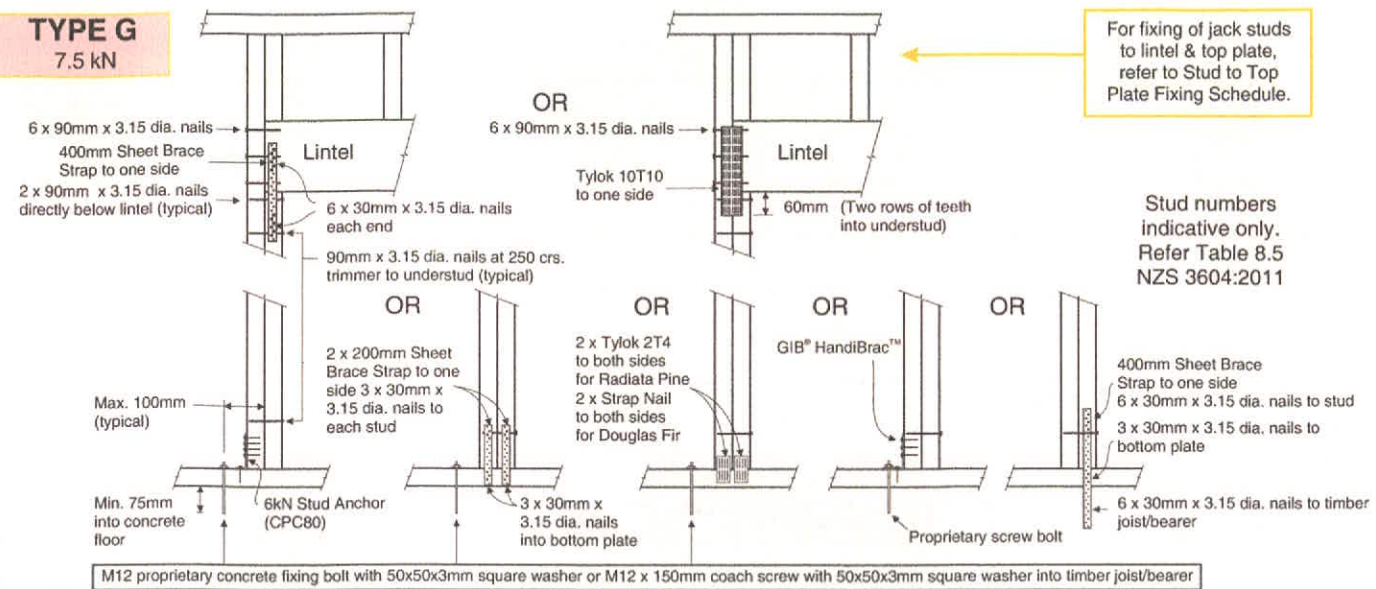
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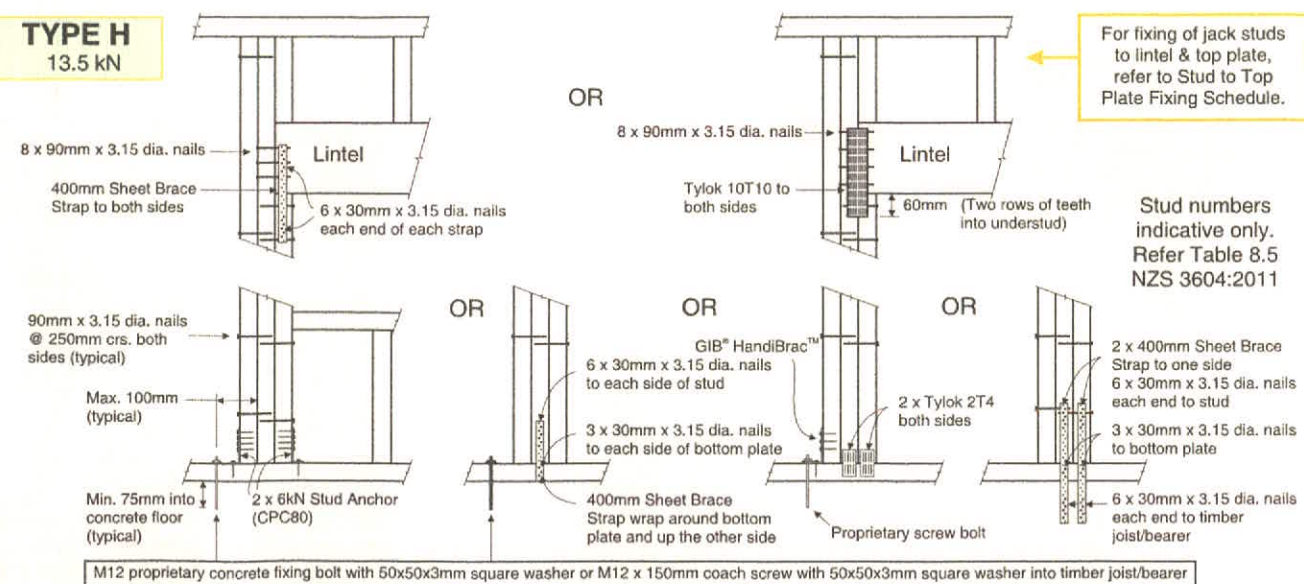
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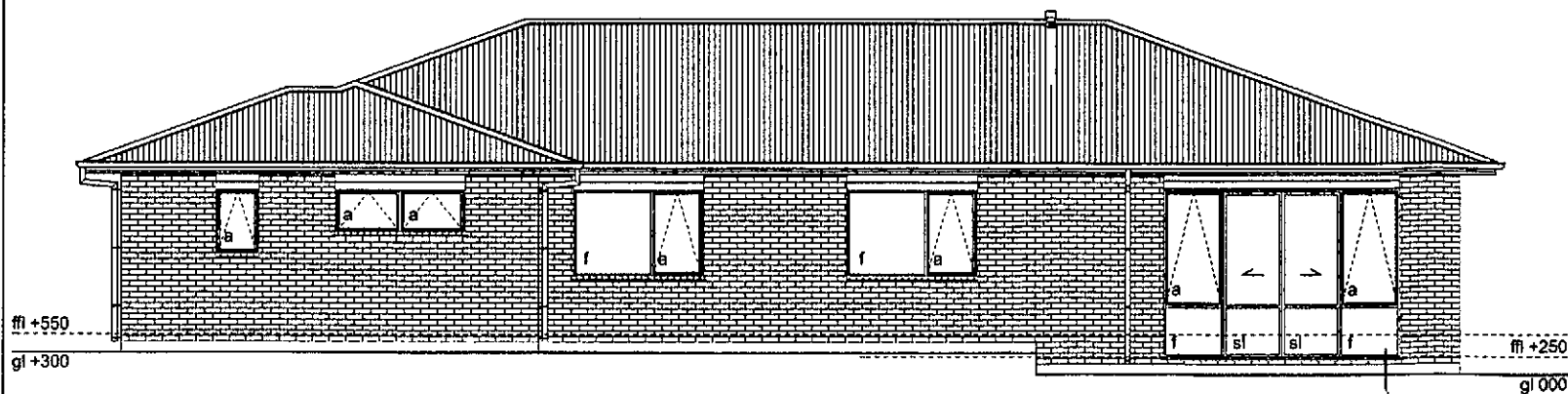
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PROPOSED RESIDENCE FOR  
OSBORNE/DEHARING  
61 BIG STONE ROAD  
BRIGHTON  
DUNEDIN

sheet contents

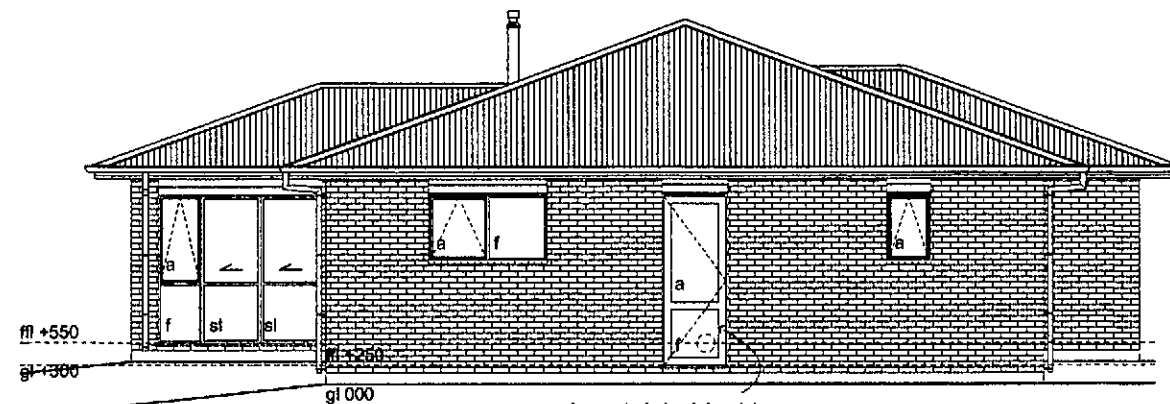
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**SOUTH ELEVATION**  
scale 1:50

BUILDING ENVELOPE RISK MATRIX		
South Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	Low	0
Eaves width	Low	0
Envelope complexity	Medium risk	1
Deck design	Low	0
<b>Total Risk Score:</b>		<b>2</b>

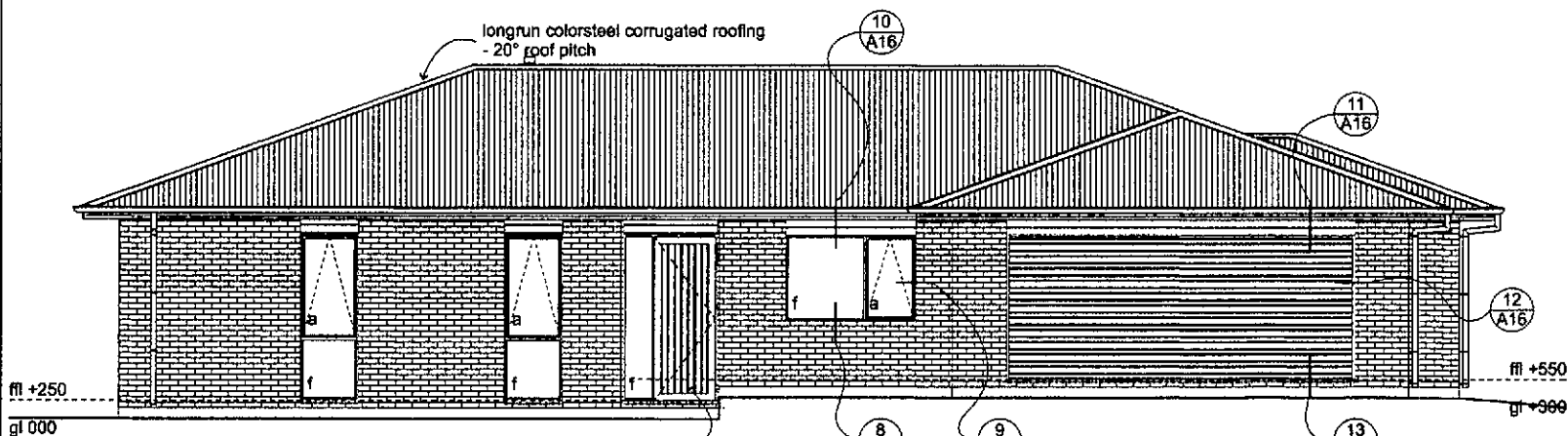


**EAST ELEVATION**  
scale 1:50

BUILDING ENVELOPE RISK MATRIX		
East Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	Low	0
Eaves width	Low	0
Envelope complexity	Medium risk	1
Deck design	Low	0
<b>Total Risk Score:</b>		<b>2</b>

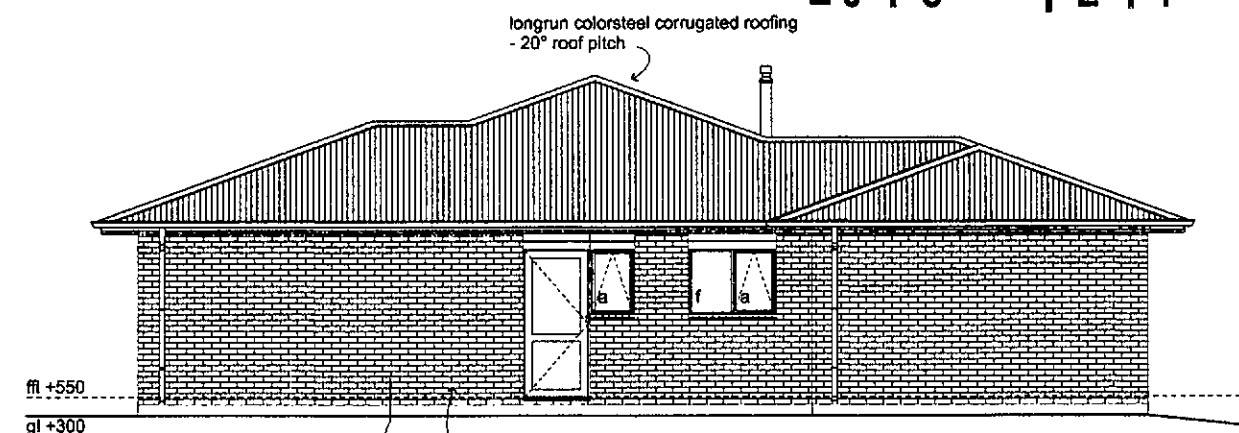
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2013 1214



**NORTH ELEVATION**  
scale 1:50

BUILDING ENVELOPE RISK MATRIX		
North Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	Low	0
Eaves width	Low	0
Envelope complexity	Medium risk	1
Deck design	Low	0
<b>Total Risk Score:</b>		<b>2</b>



**WEST ELEVATION**  
scale 1:50

BUILDING ENVELOPE RISK MATRIX		
West Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	Low	0
Eaves width	Low	0
Envelope complexity	Medium risk	1
Deck design	Low	0
<b>Total Risk Score:</b>		<b>2</b>



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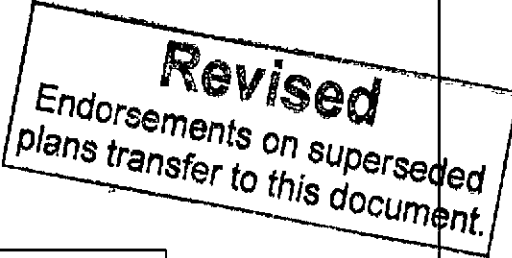
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DUNEDIN

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ELEVATIONS WITH RISK  
MATRIX

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**TIMBER TREATMENT NOTES:**

## FLASHING TAPE SYSTEMS

## INSULATION SCHEDULE

**notes:**

**BOTTOM PLATE FIXING TO CONC. FLOOR**

**BUILDING WRAP NOTES:**

**FIXINGS: VERY HIGH WIND ZONE**

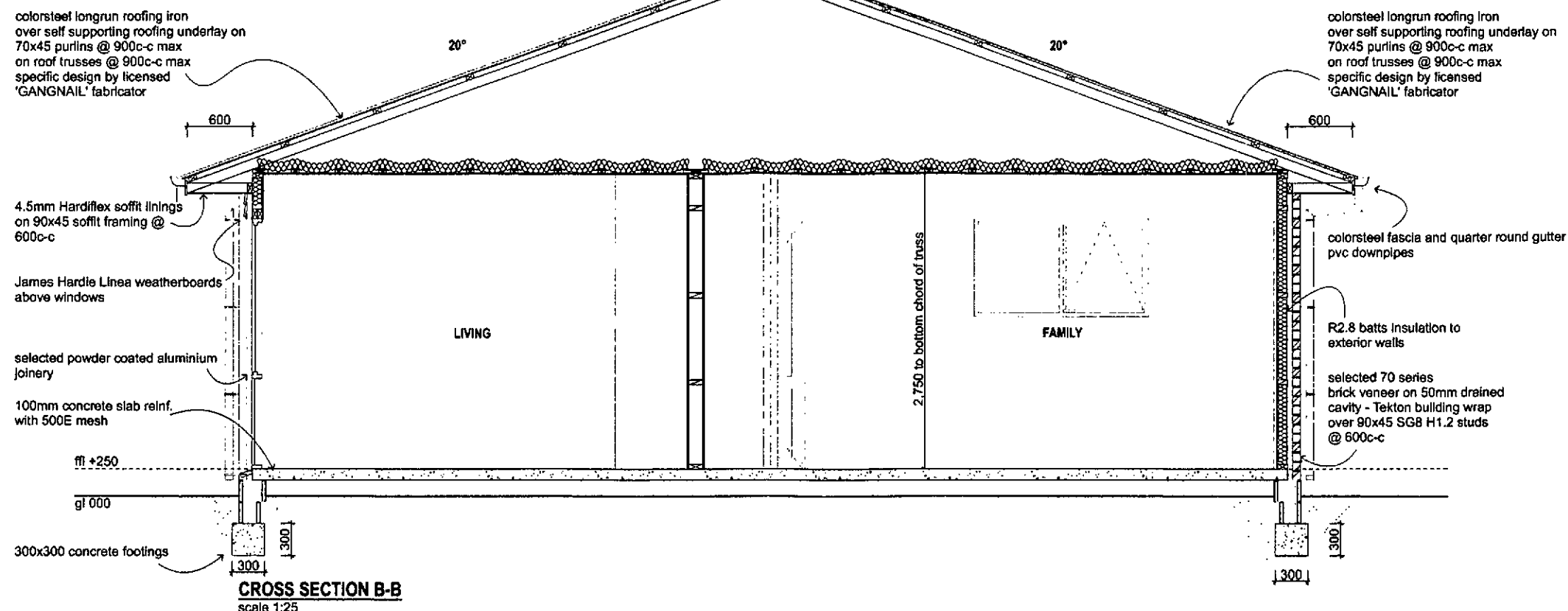
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2013 - 1214



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				sheet of rev.	sheet scales 1:250 A1 1:500 A3		
				A6 A	cad file		



#### STEEL FIXINGS & FASTENING PROTECTION NOTES EXCLUDING NAILS & SCREWS:

Zones	Fixing Fastening	Environment	Material
All zones	Nail plates	CLOSED AND ROOF SPACES	Continuously coated galvanised steel
	Wire dogs & bolts		Hot-dipped galvanised steel
	All other structural fixings	CLOSED	Mild steel (uncoated, non-galvanised)
Zone D	All structural fixings	SHELTERED AND EXPOSED	Type 304 stainless steel
	Treated timber pile connections more than 600mm from the ground and all subfloor connections	Subfloors vented 7000mm <sup>2</sup> or less - SHELTERED	Hot-dipped galvanised steel
		Subfloors vented more than 7000mm <sup>2</sup> - EXPOSED	Type 304 stainless steel
Zone B and C	Treated timber pile connections more than 600mm from the ground and all subfloor connections	SHELTERED AND EXPOSED	Type 304 stainless steel
	All other structural fixings, except fabricated brackets	SHELTERED	Hot-dipped galvanised steel
		EXPOSED	Type 304 stainless steel

Items described in this table are steel fasteners required to last not less than 50 years, used for joining timbers such as nail plates, bolts, brackets, wire dogs and similar, but not including nails or screws. (See nail and screw table)

See galvanising table for galvanising weights.

Steel fixings and fastenings in contact with copper based timber preservatives to be minimum type 304 stainless steel where used in exposed and sheltered locations and hot dipped galvanised for all other locations.

Type 304 stainless steel is sufficient to comply with NZBC but may have surface rust. Type 316 may be used where appearance is crucial.

"Fabricated brackets" shall be 5mm thick minimum mild steel and shall be hot-dipped galvanised.

"Sheltered" shall be that above a 45° line drawn from the lower edge of a projected weathertight structure such as a floor, roof or deck. Open to airborne salts but not rain washed.

"Exposed" shall be below that 45° line, open to airborne salts and rain wetting.

"Closed" shall be in a dry, internal location, not subject to airborne salts or rain wetting.

#### NAILS AND SCREWS PROTECTION NOTES:

Building Location	Cladding that acts as bracing (50 year durability)	Non-structural cladding (15 year durability)	Framing in "closed" areas including roof spaces	Framing in "sheltered" areas	Framing in "exposed" areas
Zone D	Stainless steel or silicone bronze or protected galvanised steel	Galvanised steel	Mild steel	Galvanised steel	Stainless steel
Zone B and C	Galvanised steel	Galvanised steel	Mild steel	Galvanised steel	Galvanised steel

Stainless steel nails shall be minimum Type 304 and shall have annular grooves to provide similar withdrawal resistance to hot-dipped galvanised nails.

Protection of galvanised steel nails shall consist of putty and an exterior painting system consisting of a primer undercoat and top 2 coats of oil-based or acrylic paint.

Where the cladding is a corrosive timber, such as western red cedar or redwood, or is treated with copper based ACQ or CuAz preservatives, use stainless steel or silicone bronze.

Steel fixings and fastenings in contact with copper based timber preservatives to be minimum type 304 stainless steel where used in exposed and sheltered locations and hot dipped galvanised for all other locations.

Irrespective of the above, nails and screws shall be compatible with the fixing plate that is used with them.

Nails and screws and other fixings into piles used within 600mm of the ground shall be stainless steel.

Galvanised nails shall be hot-dipped galvanised to a minimum of 320g/m<sup>2</sup>; galvanised screws shall be mechanically zinc plated in accordance with AS 3566: Part 2, Class 4.

Type 304 stainless steel is sufficient to comply with NZBC but may have surface rust. Type 316 may be used where appearance is crucial.

#### GALVANISING OF STEEL COMPONENTS OTHER THAN NAILS & SCREWS:

Component	Standard	Protection Required
Bolts in any location that require galvanizing	AS/NZS 4680 and AS 1214	600g/m <sup>2</sup> average
Nail plates used in sheltered locations	AS 1397	Z275 pre-galvanized sheet
Nail plates used in exposed locations	AS/NZS 4680	390g/m <sup>2</sup>
Brackets used in sheltered locations	AS/NZS 4680	600g/m <sup>2</sup>
Brackets used in exposed locations	AS/NZS 4680	Z275 pre-galvanized sheet
Nail plates used in roof spaces	AS 1397	
Wire dogs in any location that require galvanizing	AS/NZS 4534	150g/m <sup>2</sup> (Zn + 5% Al)

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2013 - 1214



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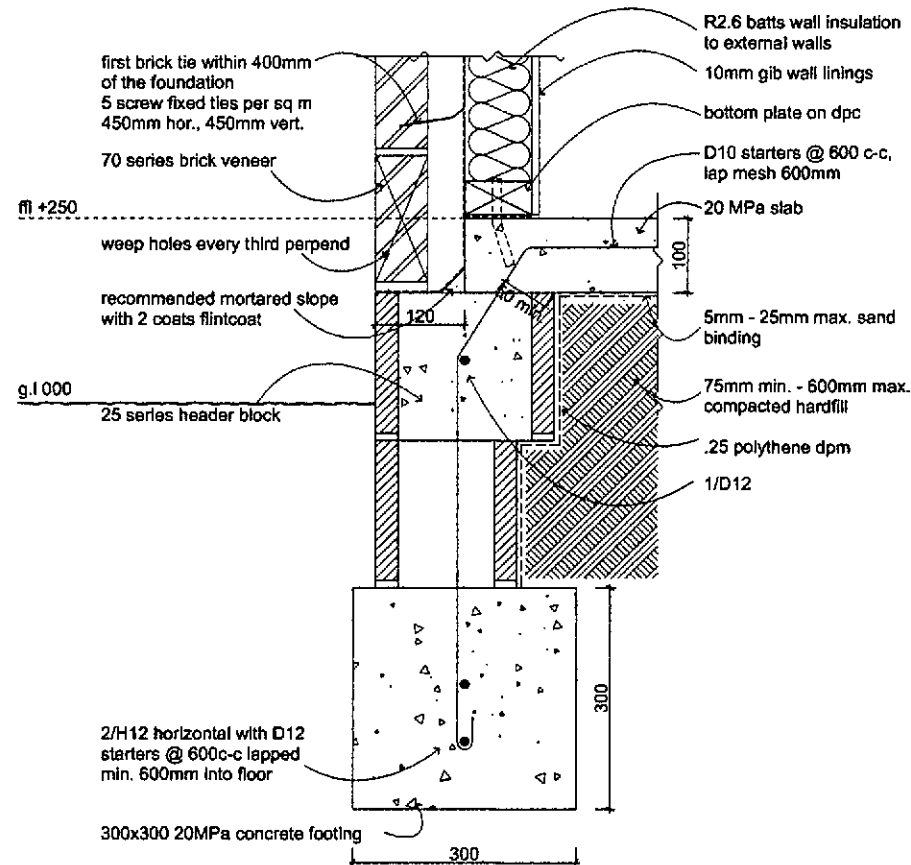
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OSBORNE/DEHARING  
61 BIG STONE ROAD  
BRIGHTON  
DUNEDIN

sheet contents

CROSS SECTION B-B &  
NOTES

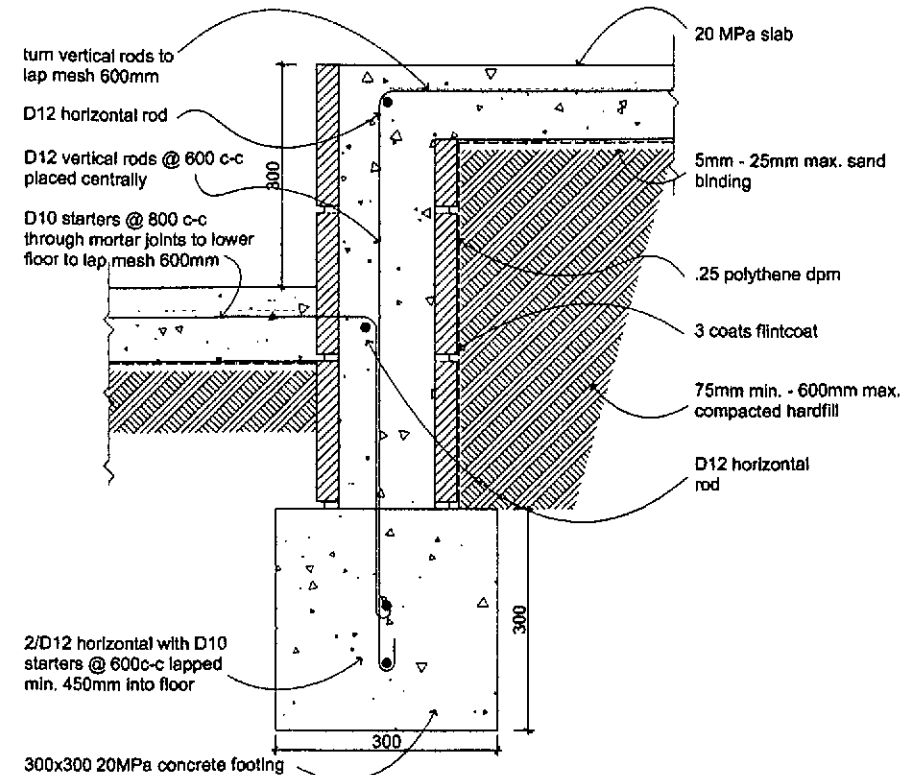
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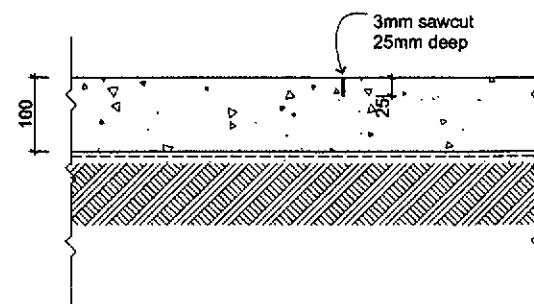
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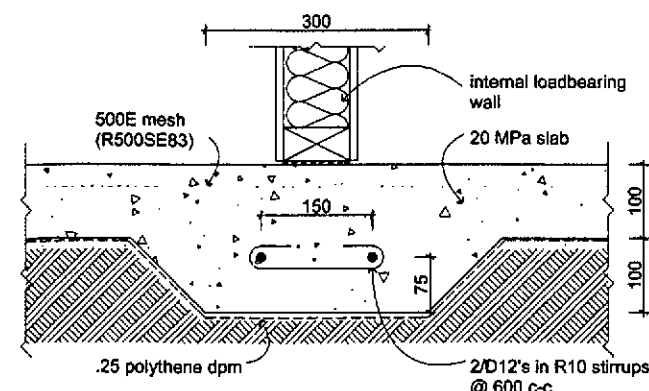
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scale 1:5

2  
A8



SAWCUT DETAIL  
scale 1:5

3  
A8



SLAB THICKENING DETAIL  
scale 1:5

4  
A8

Locations to be confirmed by truss designer

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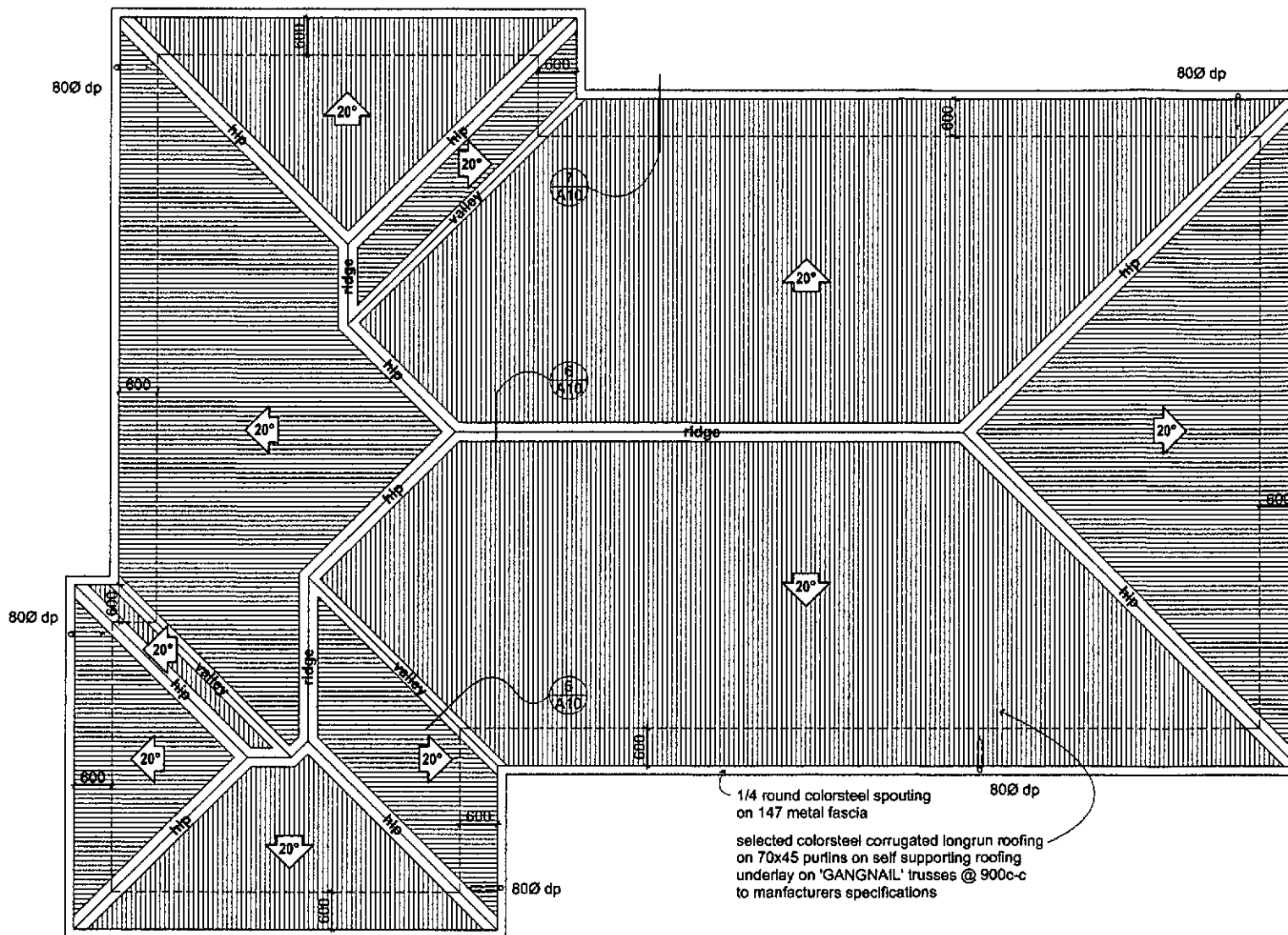
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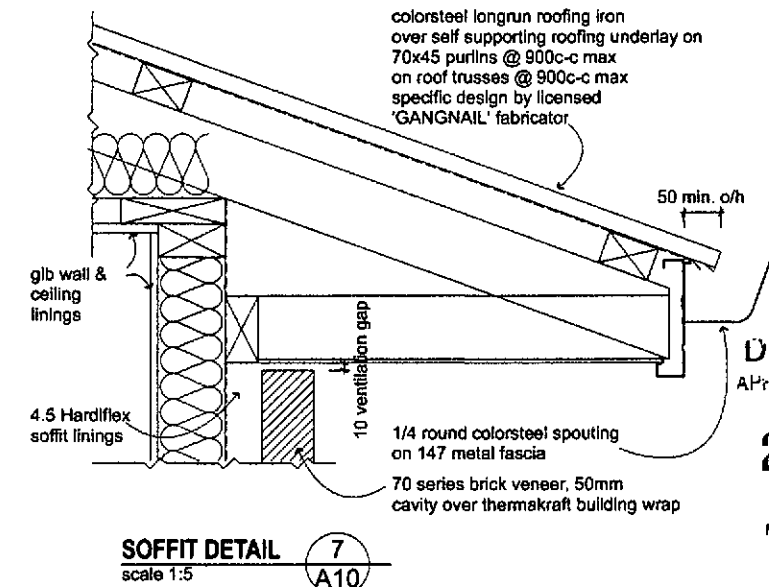
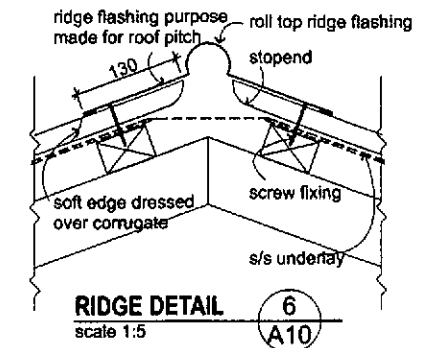
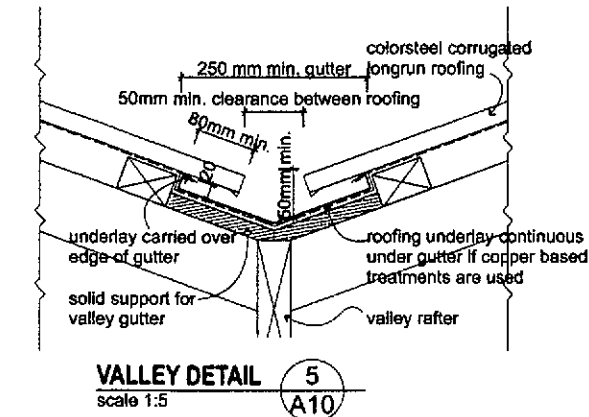
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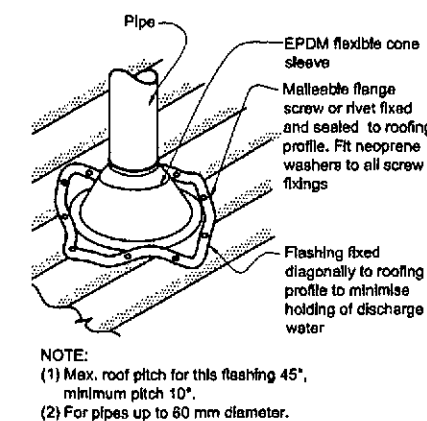
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Total Roof Area : 229m2 approx.



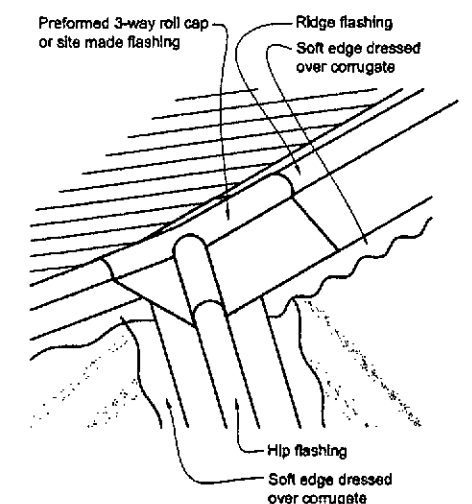
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**2013 1214**

NOTE: Flashing cover varies according to wind zone - refer Table 7.  
For other ridge to hip flashings refer to New Zealand Metal Roof and Wall Cladding Code of Practice.



**ROOF PENETRATION DETAIL**  
not to scale



**HIP/RIDGE JUNCTION DETAIL**  
not to scale



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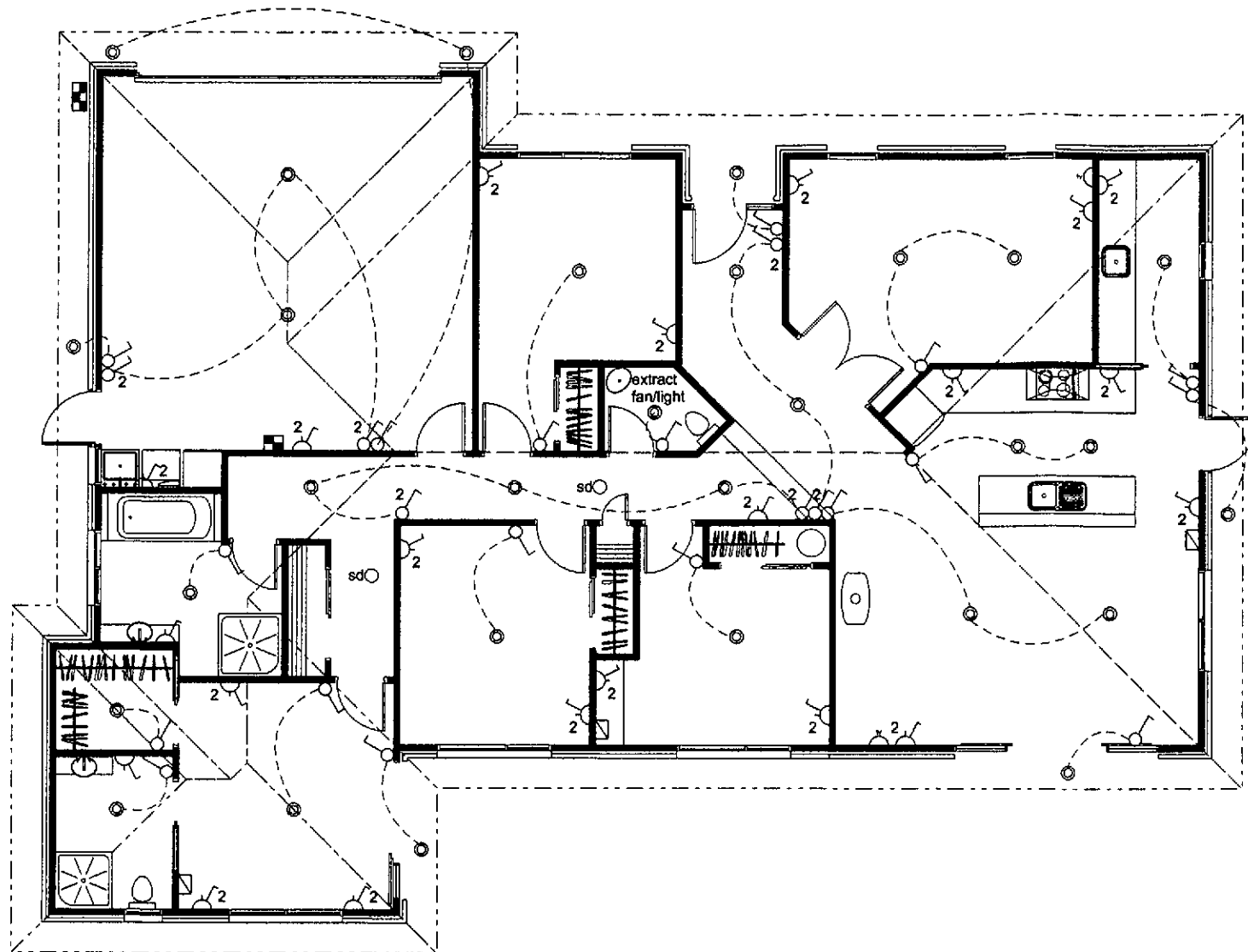
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DETAILS**

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sheet of rev.					sheet scales: 1:50@ A1, 1:100@ A3, 1:200@ A1, 1:100@ A3, NT8
A10 A					cad file









# **ELECTRICAL PLAN**

scale 1:50

Note : See hot water cylinder notes sheet A11.

ELECTRICAL LEGEND			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	meter board		light fitting
	fuse board		television outlet
	double power outlets		telephone point
	light switch locations - 2 indicates 2 way switch		smoke detectors

## **ELECTRICAL NOTES:**

All electrical work & items to comply with: NZBC F7/AS1, AS/NZS 3000, AS 3786, NZS 6401.

Confirm final positioning & fitting allowance with client contract specifications.

SD - First Alert or similar.

Approved smoke alarms are required within 3.0m of any sleeping space. Smoke alarms must be audible to sleeping occupants on the other side of closed doors. Smoke alarms must also be located on all escape routes.

All downlighting to be CA rated as per NZBC: H1/AS1 energy efficiency.

## **GLAZING NOTES:**

All joinery aluminium powdercoated.

All glazing to NZS 4223:1985 Parts 1 and 2 and 3:1993.

All glazing to bathroom/WC to be selected obscure, safety glass to wet areas to F2 - Hazardous Building Materials.

All jambs clear finger jointed 18mm pine - groove for linings

## **FIRE CODE COMPLIANCE:**

Fire code compliance with NZBC sections C1/AS1, C2/AS1, C3/AS1, & C4/AS1.

Purpose group SH in accordance with Table 2.1 Page 43.

Proposed dwelling compliant with C1/AS1.

Detached dwelling: Paragraphs 1.3.3 & 1.3.4 - Page 36

2013 - 1214



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project

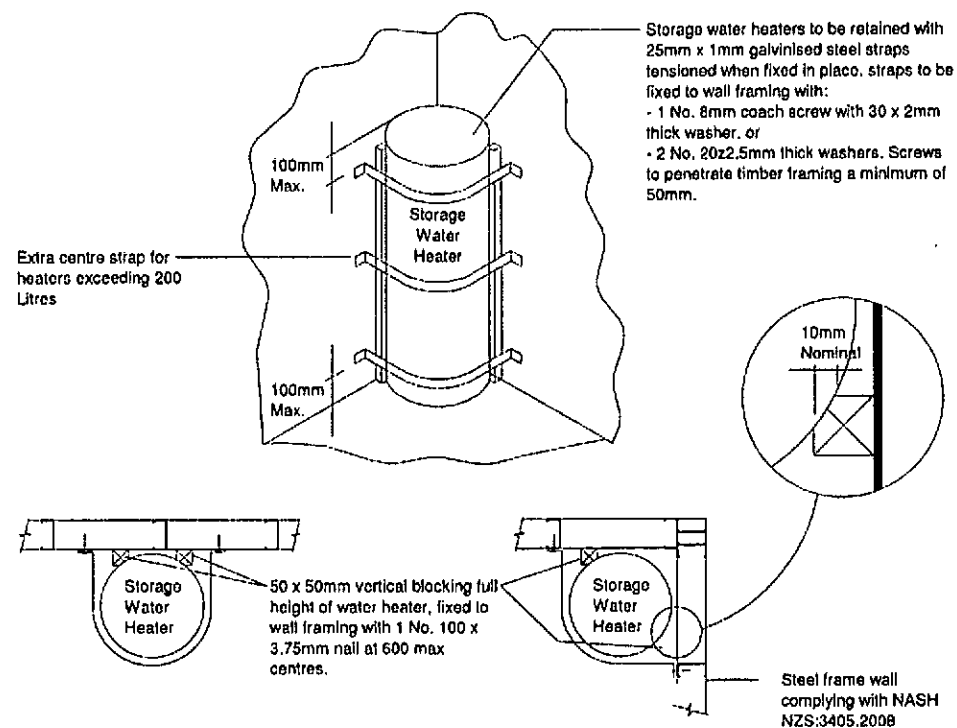
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61 BIG STONE ROAD  
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ELECTRICAL PLAN

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					A12	A	
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**Figure 14 : Seismic Restraint of Storage Water Heaters 90 - 360 Litres  
Paragraph 6.11.4**



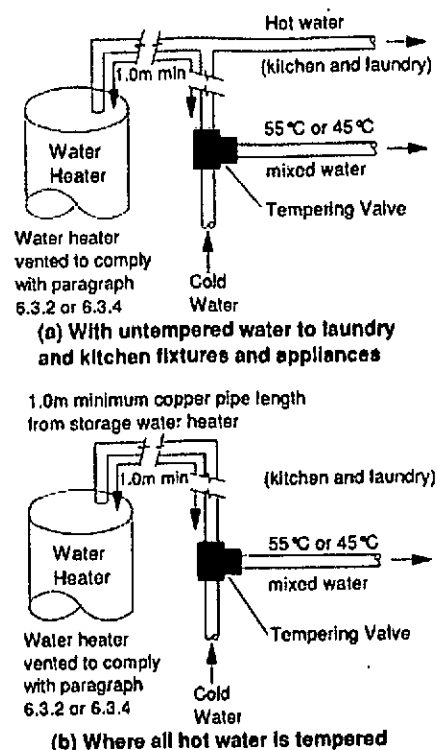
<b>Table 5</b>	<b>Water Heaters Paragraph 6.1.1</b>
----------------	--

Water heater type	Standard Regulation
Electric low pressure copper storage water heater	NZS 4602
Electric storage water heater	NZS 4606: Parts 1, 2 and 3 AS 1056: Part 1
Electric instantaneous water heater	NZS 6635
Gas storage water heater	Gas Regulations
Gas instantaneous water heater	Gas Regulations
Solar storage water heater	NZS 4613 AS 2712

## HOT WATER CYLINDER DETAILS

not to scale  
Note : HWC requires a cold water expansion valve & drainage system  
tp G12/A31

**Figure 16 Tempering valve installation  
(Paragraph 6.14.2a)**



**Note:**

1. For optimum system efficiency the tempering valve, for other than a mains pressure system, may be located as low as practical to achieve the manufacturer's recommended head, at the tempering valve.
2. 1.0m minimum copper pipe length from storage water heater.

**Table 4**      **Tempering Valve And Nominal Pipe Sizes**  
**Paragraphs 5.3.1 and 6.12.1**

	Low pressure (i.e. header tank supply or low pressure)	Low and medium pressure unvented (valve vented) and open vented	Mains Pressure
Pressure of water at tempering valve (kPa)	20 - 30	30 - 120	over 300
Meters head (m)	2 - 3	15 mm	over 30
Minimum tempering valve size	25 mm	20 mm	15 mm
Pipes to tempering valve	25 mm (see Note 3)	20 mm	20 mm (15 mm optional) (see Note 1)
Pipes to shower	20 mm	20 mm (see Note 4)	20 mm (see Note 5) (15 mm optional) (see Note 1)
Pipes to sink and laundry (see Note 2)	20 mm	20 mm	15 mm
Pipes to bath (see Note 2)	20 mm	20 mm	15 mm
Pipes to basins (see Note 2)	15 mm	15 mm	10 mm

**Notes:**

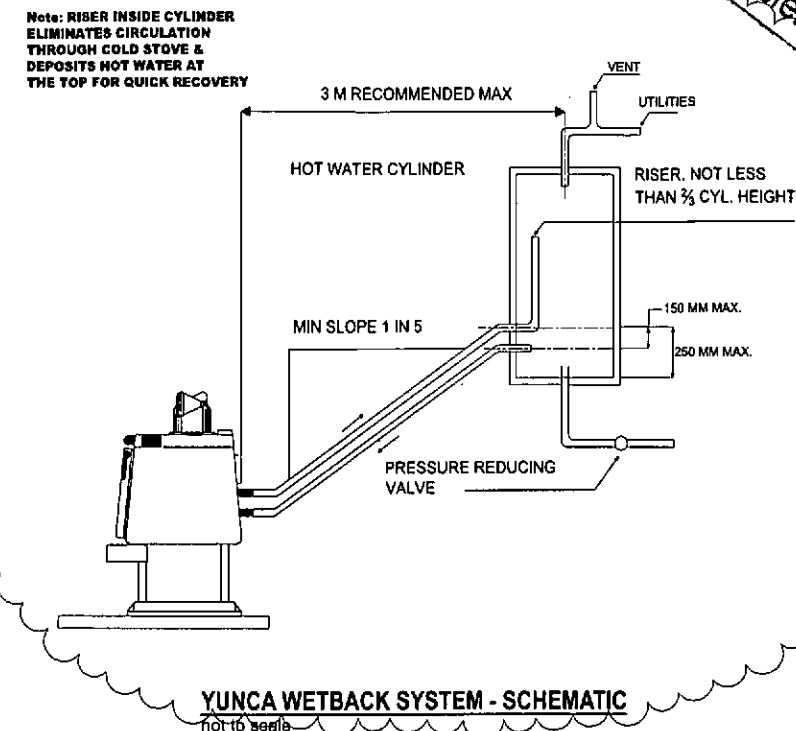
1. If supplied by separate pipe from storage water heater to a single outlet.
2. this table is based on maximum pipe lengths of 20 meters
3. 2 m maximum length from water heater outlet to tempering valve.
4. 15 mm if dedicated line to shower
5. 10 mm if dedicated line to shower
6. Table 3 pipe sizes have been calculated to deliver water simultaneously to the kitchen sink and one other fixture

**Revised**  
Endorsements on superseded plans transfer to this document.

VENT

UTILITIES

RISER, NOT LESS



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20 1 3      1 2 1 4



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## Short contents

## HOT WATER CYLINDER NOTES

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**GIB BOARD CEILING NOTES:**

All ceilings not indicated by sheet sizes shall be filled with standard 13mm gib board.

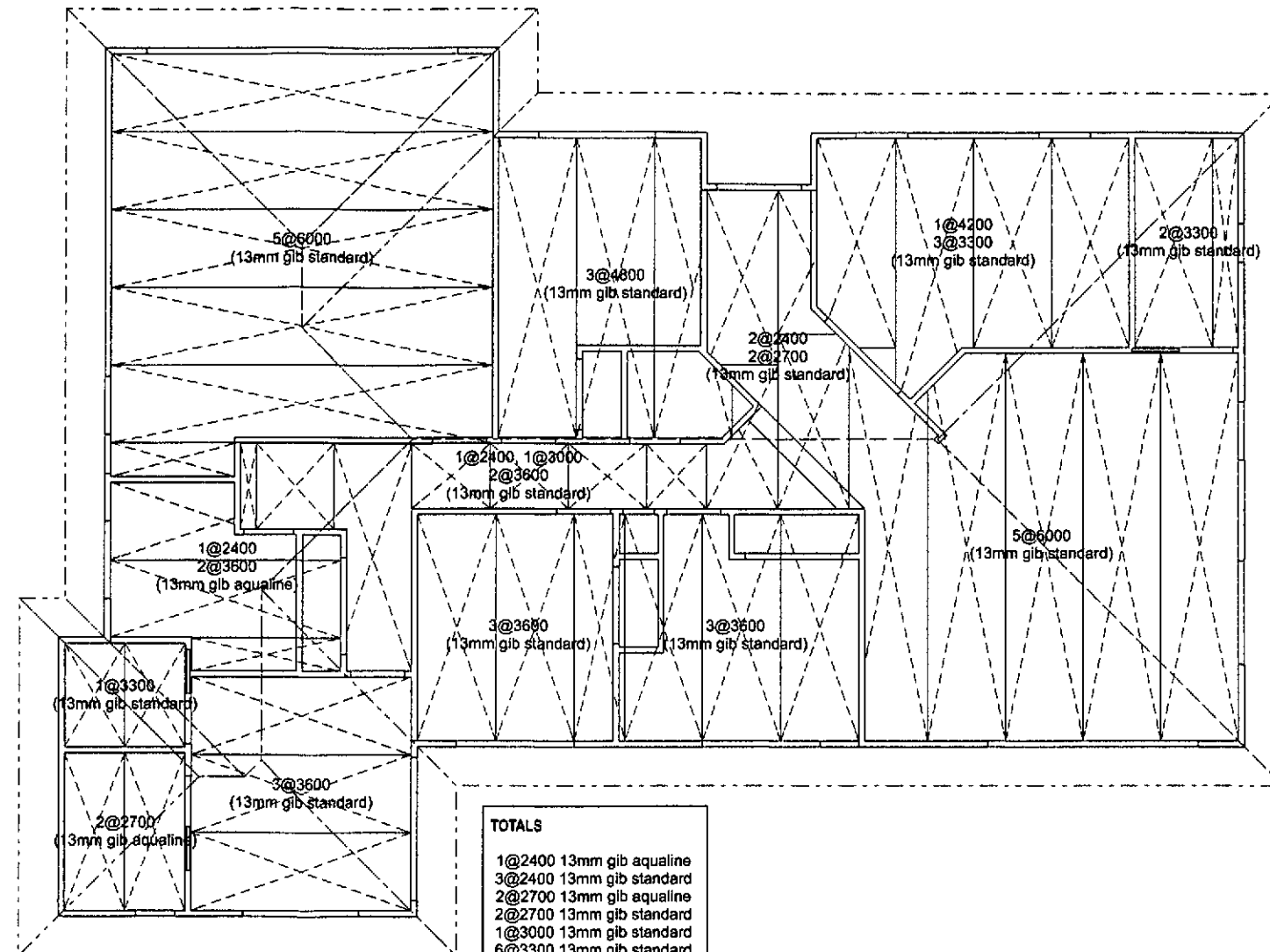
All gib board to be at right angles lengthways to the ceiling strapping.

Allow to stagger sheet ends as shown.

Back blocking as per Gib Board standard details. Do not join over support.

Commence fixing from centre of sheet outwards.

Do not place adhesive at sheet perimeters or under fixings.



**REFLECTED CEILING PLAN**  
scale 1:50

**TOTALS**

1@2400 13mm gib aqualine  
3@2400 13mm gib standard  
2@2700 13mm gib aqualine  
2@2700 13mm gib standard  
1@3000 13mm gib standard  
6@3300 13mm gib standard  
2@3600 13mm gib aqualine  
11@3600 13mm gib standard  
1@4200 13mm gib standard  
3@4800 13mm gib standard  
10@6000 13mm gib standard

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sheet contents

**REFLECTED CEILING PLAN**

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#### BATHROOM/WC & KITCHEN - FLOOR FINISHES

**Option 1 - Cove vinyl up wall 100mm, fix skirting or vinyl smooth edge to wall junction.**

Option 2 - Waterproof seal vinyl to edge of painted skirting. Contractor to comply with NZBC:E3/AS1 internal moisture.

Note : Non-slip vinyl lining over sealed floor to have minimum slip resistance coefficient of 0.25-0.50.

**Option 3 - Tiled floor finish.** Seal flooring with BRANZ approved waterproofer. Wall lining stopped 5mm clear of flooring.  
Fix 6.0mm tile & slate underlay over joists, seal & allow to dry prior to tiling.  
Non-slip ceramic tiles laid over by qualified tiler, lay 1 row of tiles up wall with flexible waterproof sealant to floor tile junction.

Note : Non-slip tiles to achieve a minimum slip resistance coefficient of 0.10-0.60.

Allow 1 row of tiles (min. 150mm high) as bath splashback walls around vanity  
Allow to rebate studs for recessing of baths.  
Allow 10mm Gib Aqualine on walls for all wet areas.



1. in showers and shower over bath situations and the splashback area around the bath, the villa board system is not complete and ready for tiling until coated with a waterproof membrane over the lining and jointed areas.
2. only insitu waterproofing materials which are covered by a CSIRO or BRANZ appraisal are recommended. these may be applied by brush or roller methods to the manufacturers recommendations. typically, these types of membranes are not suitable for paint and wall paper finish.
3. waterproof membranes must be fully cured and dry prior to application of floor screeds or tiling adhesives.
4. embedded reinforcing mats in the membrane at all internal corners of the shower (including floor/wall junctions)

## Showers

1. Wet area in situ shower spaces shall have impervious wall and floor finishes. Lining materials are to be as detailed in this document and specifications. In situations where there is no enclosure around the shower rose, impervious wall & floor materials must be used within a 1500mm radius of the shower rose and a minimum of 1800mm upstand. Shower floors are to have no less than a 1:50 fall to the floor waste.
2. Shower enclosures such as walls, screens, doors or curtains must be continuous from the floor level or top of the upstand to minimum 1800mm above floor level and not less than 300mm above the shower rose. All glazing to shower enclosures to be Grade A safety glass.

1. tile grouting and sealing shall be carried out in accordance with the requirements of AS3958 Part 1 1991 (guide to the installation of ceramic tiles)
2. provide for surface control joints at 4.0 meter centres maximum.
3. the adhesive shall be organic based complying with AS2358 - 1990 (adhesives for ceramic wall tiles and mosaics, part 1 - 1.3(a) type 1)
4. note that the adhesive must be combed in a horizontal direction only.



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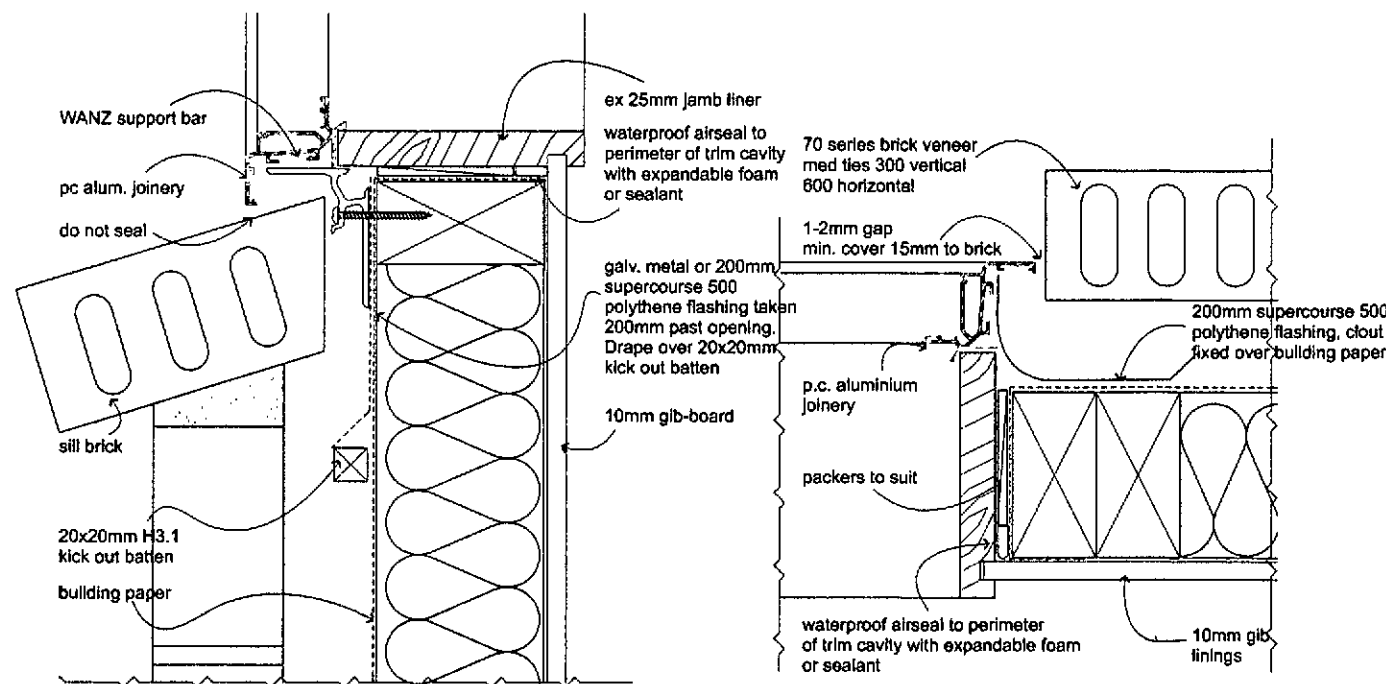
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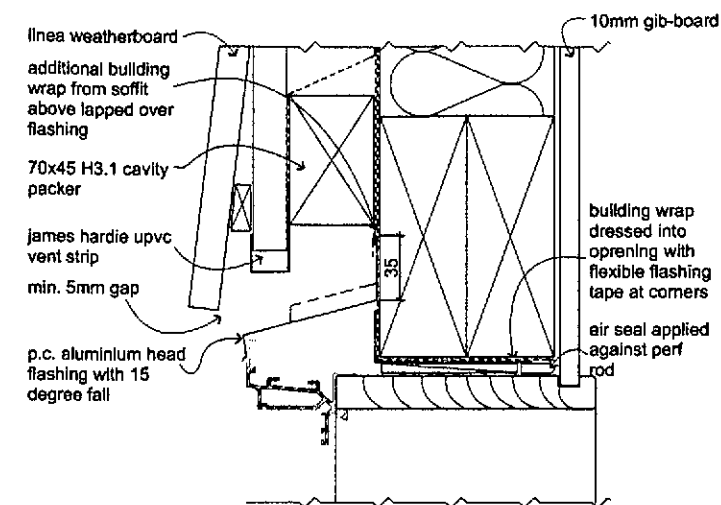
**BATHROOM PLANS/  
ELEVATIONS & WET AREA  
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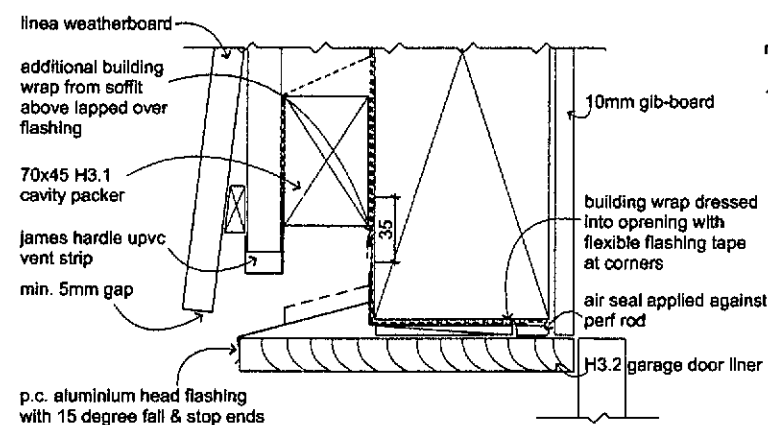


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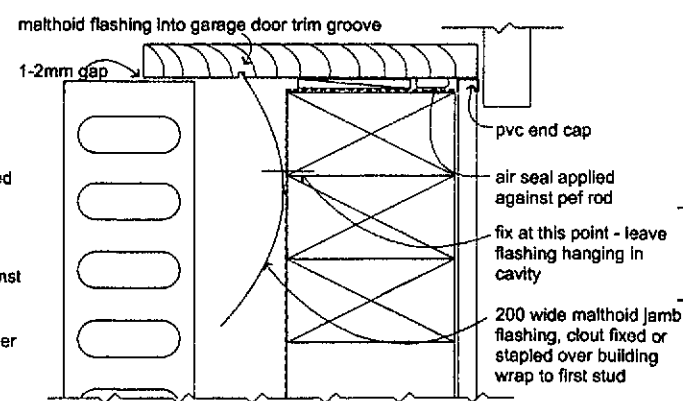
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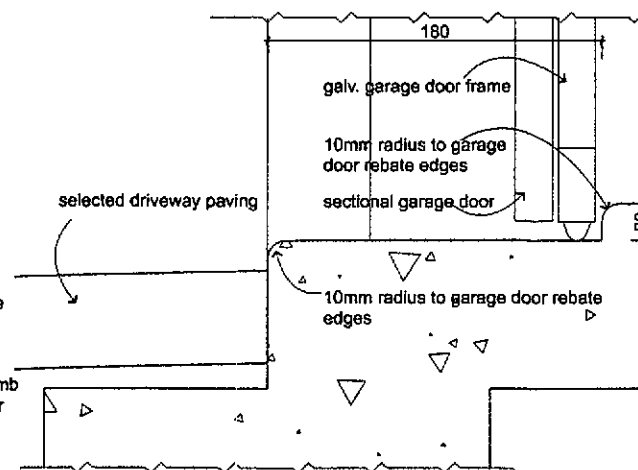
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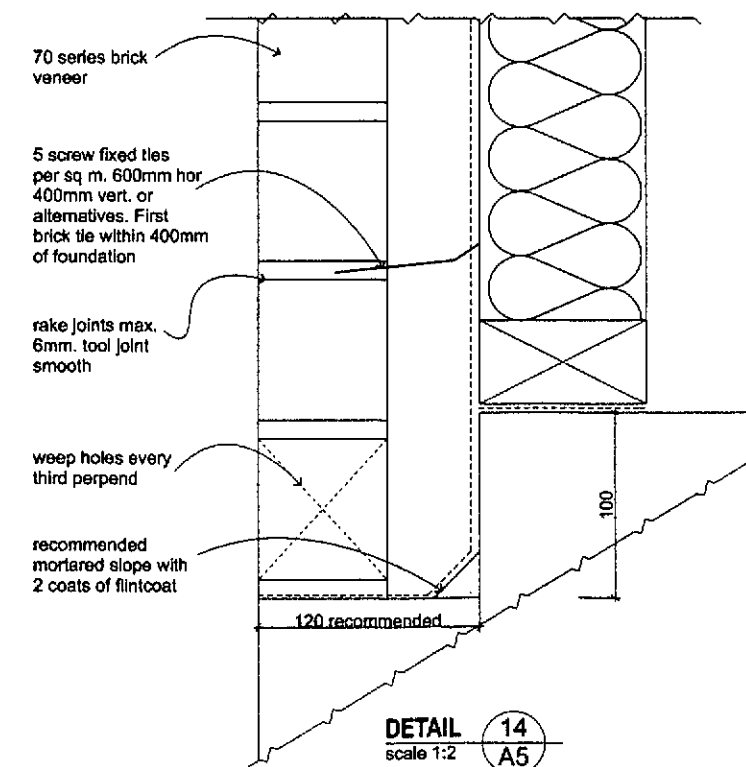
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DETAIL 12  
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DETAIL 13  
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A5



DETAIL 14  
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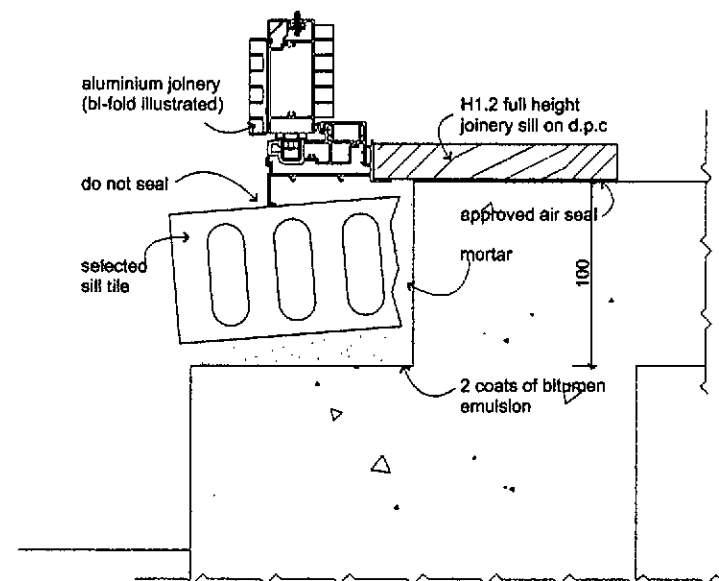
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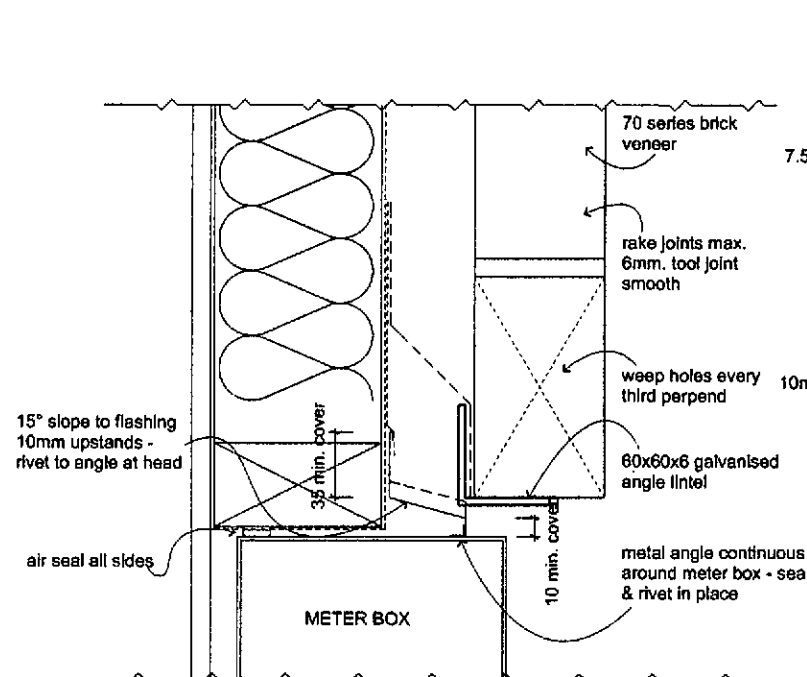
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					cad file:

A16 A

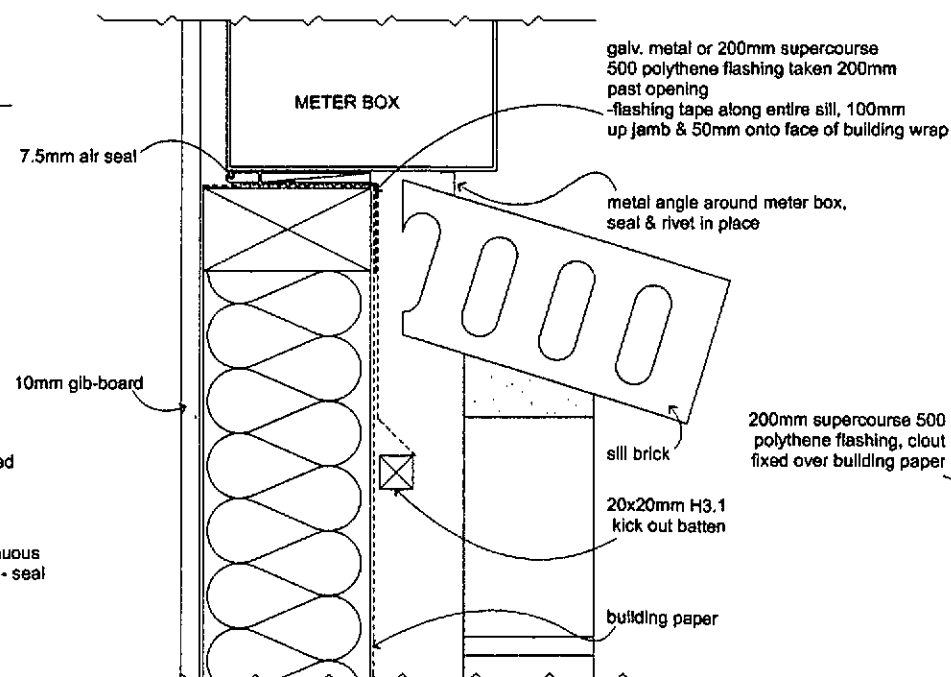


DETAIL 15  
scale 1:2  
A5

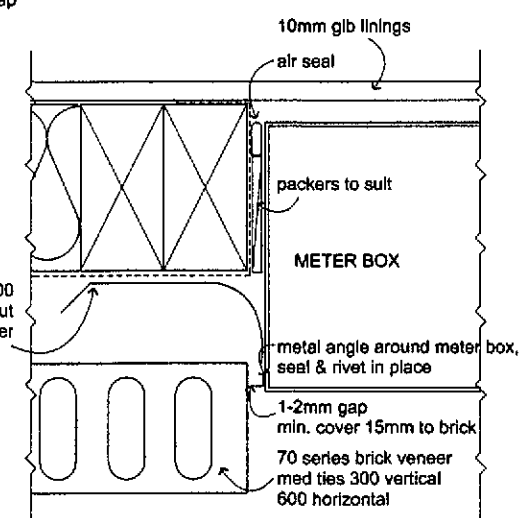
Note: WAZ aluminium support not omitted for clarity



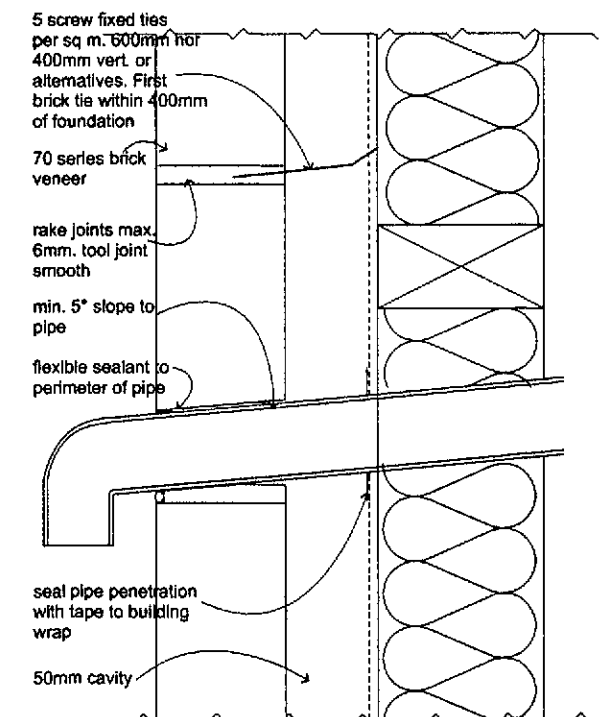
METER BOX HEAD DETAIL  
scale 1:2@



METER BOX SILL DETAIL  
scale 1:2




METER BOX JAMB DETAIL  
scale 1:2



PIPE PENETRATION DETAIL  
scale 1:2

DUNEDIN CITY COUNCIL  
APPROVED BUILDING CONSENT DOCUMENT

2013 1214

	<p>All dimensions &amp; underground service locations to be checked prior to commencement of all works. DO NOT scale off drawings. Cross reference all drawings, confirm site levels, floor heights &amp; restrictions prior to earthworks. If any discrepancies occur, contact Highmark Homes immediately before commencing works or ordering. COPYRIGHT: These drawings remain the property of HIGHMARK HOMES Ltd and are provided for use as described above and may not be used or re-produced in whole or part without written permission. Producer statements issued by all suppliers &amp; tradesmen where applicable. Any construction works are not to commence until building permit becomes unconditional.</p>	<p>project</p> <p><b>PROPOSED RESIDENCE FOR OSBORNE/DEHARING 61 BIG STONE ROAD BRIGHTON DUNEDIN</b></p>	<p>sheet contents</p> <p><b>DETAILS</b></p>	<table><tr><th>rev.</th><th>amendments</th><th>date</th><th>by</th></tr><tr><td>A</td><td>for building consent</td><td>19/05/13</td><td>O.F.</td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr></table>	rev.	amendments	date	by	A	for building consent	19/05/13	O.F.																																	<table><tr><td colspan="3">job number</td><td>10182</td></tr><tr><td colspan="4">sheet of rev.</td></tr><tr><td colspan="2">A17</td><td colspan="2">A</td></tr></table>	job number			10182	sheet of rev.				A17		A		<p><a href="http://www.highmarkhomes.co.nz">www.highmarkhomes.co.nz</a></p> <table><tr><td>date drawn</td><td>drawn by</td><td>checked</td></tr><tr><td>13th May 2013</td><td>Glenn</td><td></td></tr></table> <p>sheet scales</p> <p>1:2 @ A1 1:4 @ A3</p> <p>cad file</p>	date drawn	drawn by	checked	13th May 2013	Glenn	
				rev.	amendments	date	by																																																									
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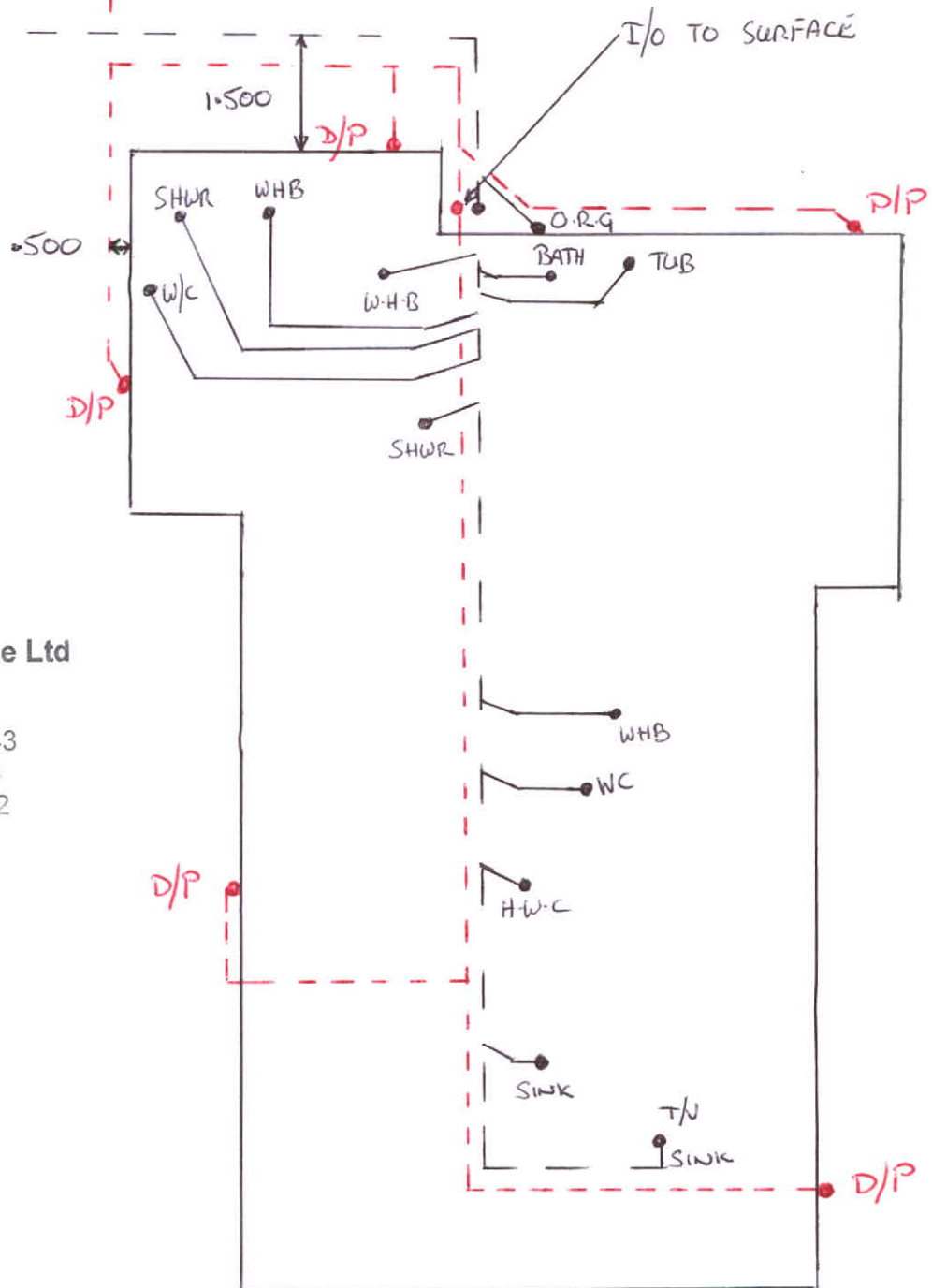
OVERFLOW

WATER TANKS

# 61 Bigstone Rd ABA 2013-1214 Asbuilt Drainage Plan

SEPTIC TANK

I/O TO SURFACE



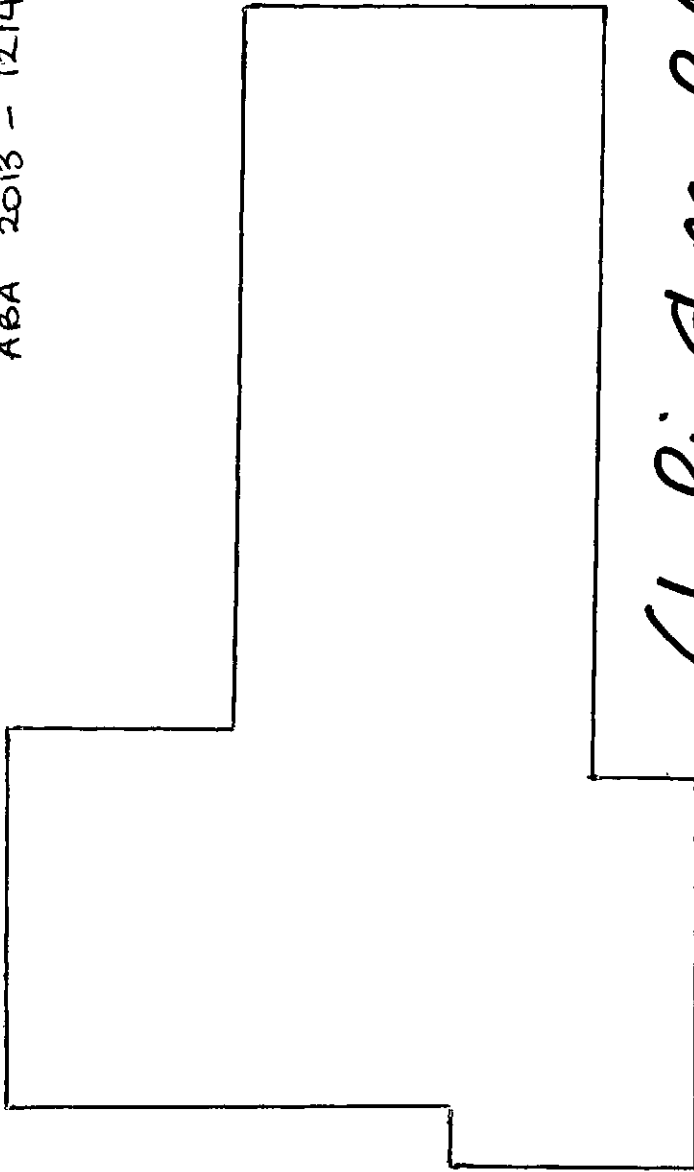
**M.N. Butler**  
**Plumbing & Drainage Ltd**  
71 Hall Road  
Sawyers Bay  
Phone: 03 472 8543  
Fax: 03 472 8573  
Cell: 027 472 8542

AS BUILT DRAINAGE PLAN  
# 63 BIG STONE RD

As Built Plan

Received by: NMAC  
Date: 19/12/2013  
ABA No: 2013-1214

YOLANDER HEARING  
61 BIG STONE ROAD  
ABA 2013 - 1214



61 Big Stone Rd  
ABA 2013-1214  
Asbuilt Drainage Plan

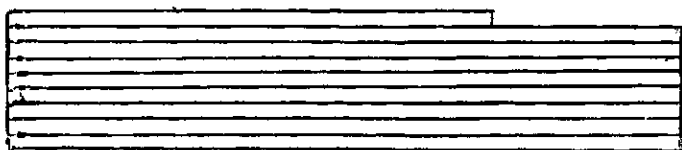
As Built Plan

Received by: NMAC

Date: 19/12/2013

ABA No: 2013-1214

EFFLUENT DISPERSAL FIELD.  
PINNED DOWN IN PINE TREES



PUMP LINE

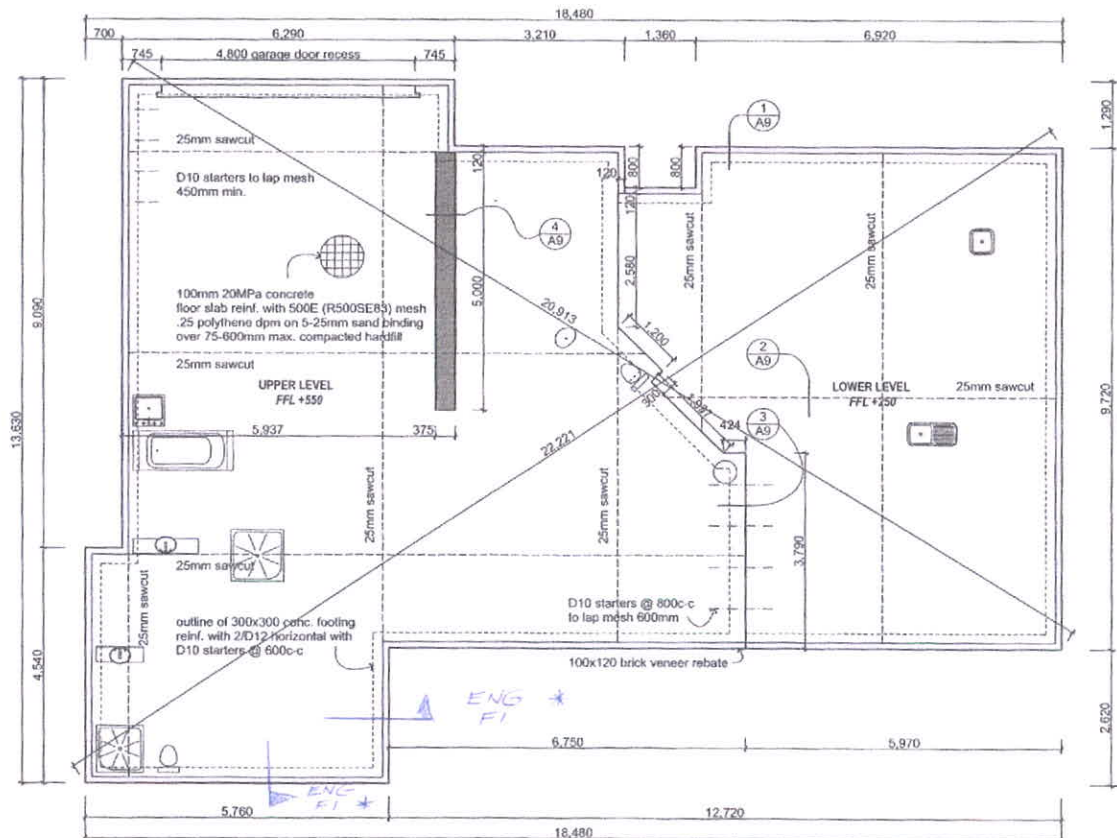


As Built Plan

Received by: Paul Martin

Date: 19/12/2013

ABA No: 2013-2083



# FOUNDATION PLAN

scale 1:50

Note: Truss manufacturer to confirm internal loadbearing walls where slab thickenings will be necessary.

Note: Overall exterior dimension: 65,820

## DESIGN ENGINEER

The structural elements designated on this drawing have been designed by Kirk Roberts Consulting Engineers Ltd.

Job No. 132425 Signed 13/03/2013

## SLAB/FOUNDATION NOTES:

The slab system shall be laid over an excavated area providing minimum ultimate bearing capacity of 300kPa. Provide compacted granular fill as required to suit level for min. 50mm compacted sand binding. Lay over sand binding a DPC of .25 polythene fully sealed at all sheet joints and any punctured areas & extended beyond footing edges. Perimeter boxing to the foundation slab shall be solid and fully braced to ensure a true and even edge is maintained. Any excessive deviation of the finished line shall be made good at the contractors expense. The contractor shall allow for all slab edges rebates as indicated and the laying of in-slab plumbing lines fully wrapped in 'Denso' tape to allow for thermal movement. No water supply pipework shall be cast into the slab. The contractor shall liaise with subtrades to co-ordinate the position and provision of incoming services. Slab thickenings under load bearing partitions shall be minimum width of 300mm centred under these partitions.

### Note:

Should softer than appropriate ground i.e. other than expected sand base be encountered allow 300mm min. compacted granular hardfill under slab edges and slab thickenings.

All aspects of this project, once completed, must fully comply with all statutory requirements, Territorial Authority requirements, the relevant provisions of the New Zealand Building Code and New Zealand Standards irrespective of whether or not detailed in these plans and specifications.

All proprietary products are to be selected and installed in strict accordance with the Manufacturers specifications. A registered surveyor shall be used to setout & certify the foundations and floor if required by the Territorial Authority.

Remove all topsoil and organic matter from within the perimeter of the footings and slab work. The finished ground level surrounding the building shall have a fall of 1:25 away from the building for at least 1.0m. Allow for an Engineers certificate to be provided to the Territorial Authority if requested for granular fill 600mm or more deep under ground.



All dimensions & underground service locations to be checked prior to commencement of all works. 500-1000 scale of drawings. Cross reference all drawings, confirm site levels, floor heights & structures prior to construction. If any discrepancies occur, contact Highmark Homes immediately before commencing work or installing. CSP/200/01. These drawings remain the property of HIGHMARK HOMES Ltd and are provided for use as described above and may not be used or reproduced in whole or part without written permission. Producer statements issued by all suppliers & subcontractors where applicable. Any alterations to works are not to commence until building permit has been issued.

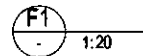
PROPOSED RESIDENCE FOR  
OSBORNE/DEHARING  
61 BIG STONE ROAD  
BRIGHTON  
DUNEDIN

FOUNDATION PLAN

rev	description	date	by	job number	10182	www.highmarkhomes.co.nz
A	for building consent	13/03/13	D.F.			
				sheet	of	no.
				A8	A	
				sheet number	1309 A1 + 1309 A2 + 1309 A3 + 1309 A4	checked
				date		



- All structural drawings are the latest construction size
- All dimensions are always in centimeters



Retaining Height: 'RH' (in mm)	Footing Width 'FW' (in mm)	Staircase 'S1'	Steel 'S2'
900 max	450	H12 @ 600	H12 @ 600
1200 max	600	H12 @ 600	H12 @ 600
1800 max	900	H12 @ 600	H12 @ 600

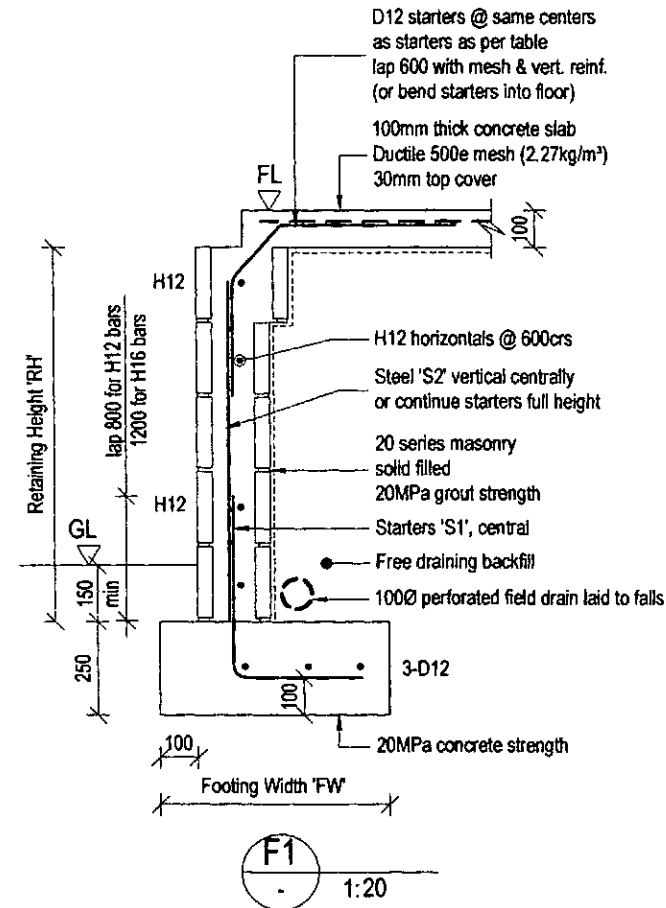
[illegible]

As Built Plan

Received by: Paul Martin

Date: 19/12/2013

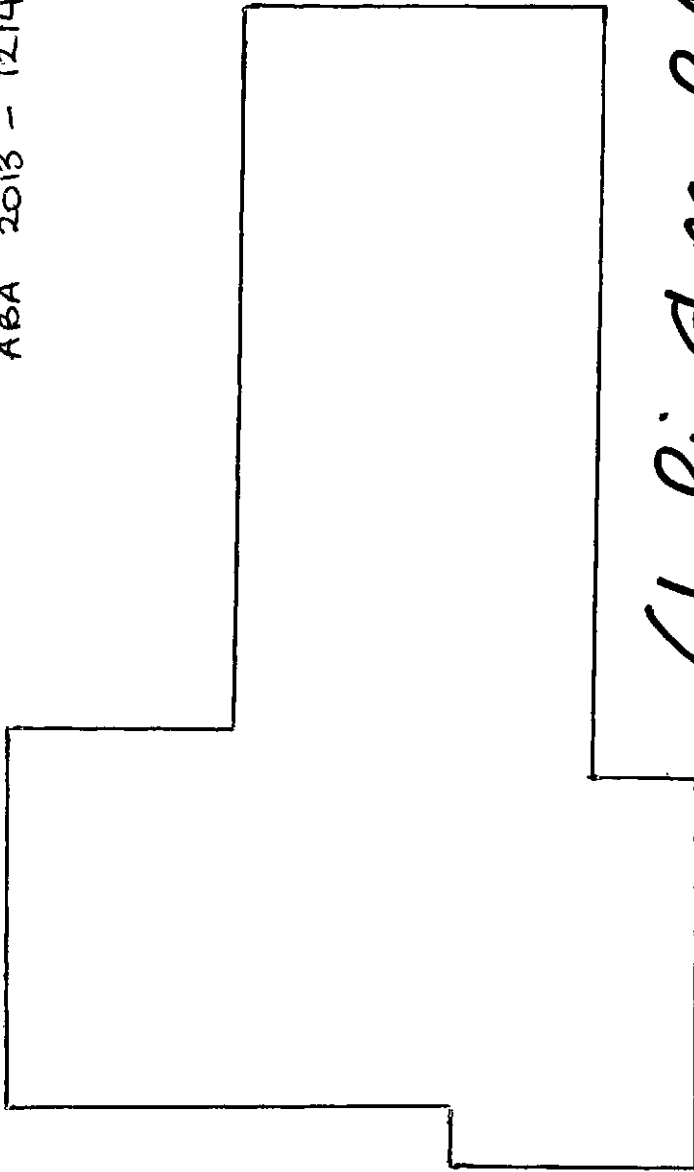
ABA No: 2013-1214



RETAINING WALL TABLE 'F2'

Retaining Height 'RH' (in mm)	Footing Width 'FW' (in mm)	Starters 'S1'	Steel 'S2'
-------------------------------	----------------------------	---------------	------------

YOLANDER HEARING  
61 BIG STONE ROAD  
ABA 2013 - 1214



61 Big Stone Rd  
ABA 2013-1214  
Asbuilt Drainage Plan

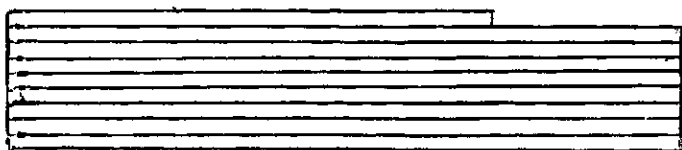
As Built Plan

Received by: NMAC

Date: 19/12/2013

ABA No: 2013-1214

EFFLUENT DISPERSAL FIELD.  
PINNED DOWN IN PINE TREES



PUMP LINE

ABA 2013-1214

PRODUCER STATEMENT - CONSTRUCTION  
(PS3)  
Effluent Disposal Systems

ISSUED BY: Dave Brownlie Drainage Services  
(Installer/contractor)

TO: Yvonne Den Herring  
(Owner)

IN RESPECT OF: Pressure compensated drip-line irrigation  
(Type of system)

AT: 63 Big Stone Road  
(Address)

BUILDING CONSENT AUTHORITY: Dunedin City Council

BUILDING CONSENT  
NUMBER: ABA - 2013-1214

I, Dave Brownlie, a duly authorised representative of the above contractor, can confirm that I have sighted the issued building consent and read any associated conditions. As the contractor/authorised representative I can confirm that the building works mentioned above have been completed in accordance with the New Zealand Building Code, the conditions of the building consent, and the approved building consent documents.

  
(Signature of Authorised Agent on behalf of the Contractor)

19/12/2013  
(Date)

(Address)

Received by: NMAC  
Date: 19/12/2013  
ABA No: 2013-1214

OVERFLOW

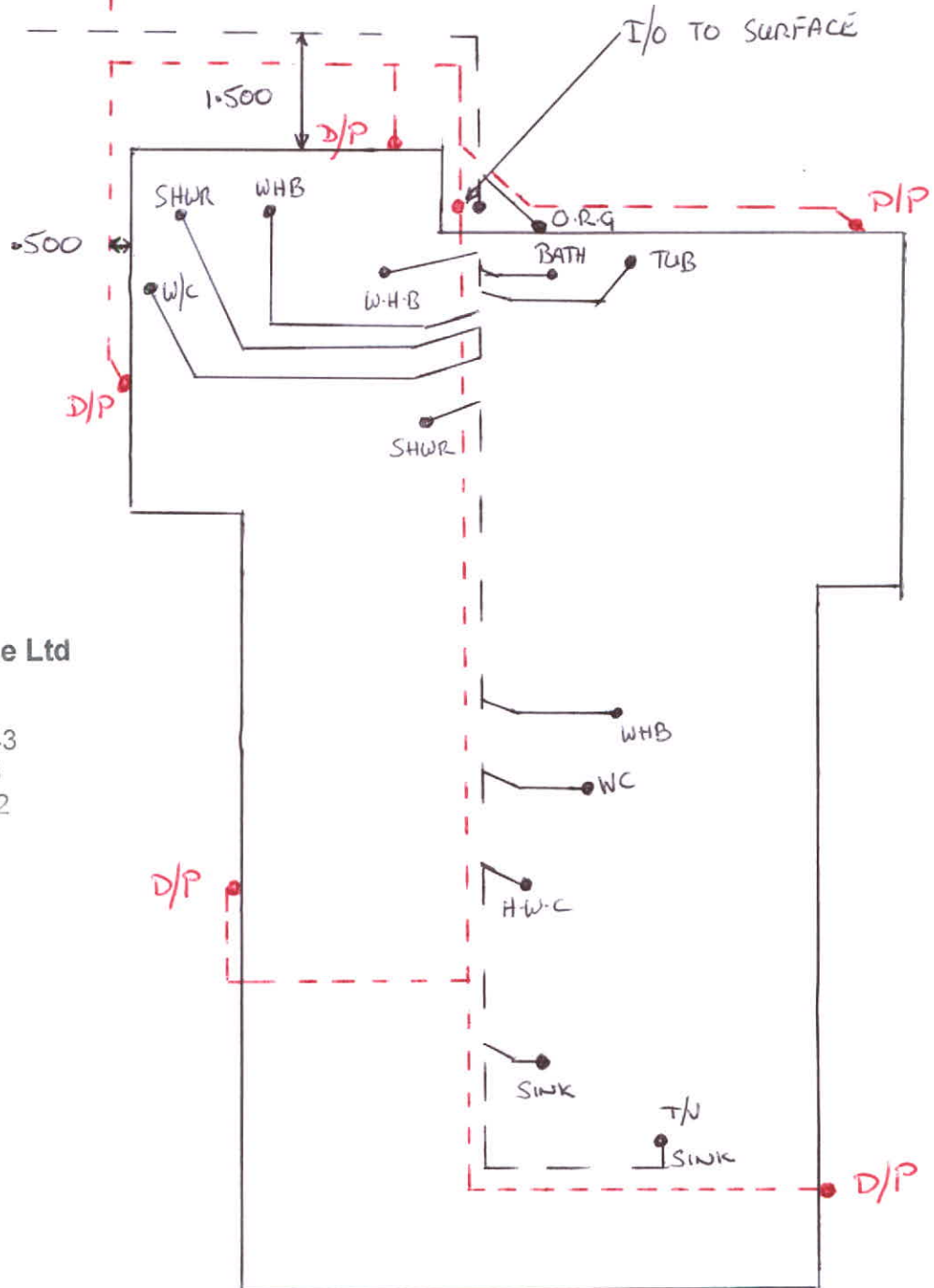
WATER TANKS

# 61 Bigstone Rd ABA 2013-1214 Asbuilt Drainage Plan

SEPTIC TANK

I/O TO SURFACE

I/O TO SURFACE



**M.N. Butler**  
**Plumbing & Drainage Ltd**  
71 Hall Road  
Sawyers Bay  
Phone: 03 472 8543  
Fax: 03 472 8573  
Cell: 027 472 8542

AS BUILT DRAINAGE PLAN  
# 63 BIG STONE RD

**As Built Plan**

Received by: NMAC  
Date: 19/12/2013  
ABA No: 2013-1214

## Code Compliance Certificate Form 7

Section 95, Building Act 2004

C J Parsons and L Parsons  
61 Big Stone Road  
RD 1  
Brighton 9091

### The building

**Street address of building:** 61 Big Stone Road Brighton

**Legal description of land where building is located:** LOT 1 DP 378151, LOT 2 DP 378151

**Building Name:** n/a

**Location of building within site/block number:**

**Level/unit Number:**

**Current, lawfully established, use:** Outbuilding

**Number of occupants:**

**Year first constructed:** 2021

### The owner

**Name of owner:** C J Parsons and L Parsons

**Contact person:** C J Parsons and L Parsons

**Mailing address:** 61 Big Stone Road, RD 1, Brighton 9091

**Street address/registered office:**

**Mobile:** 022 109 5769

**Landline:**

**Email address:** leanne.chrispo@gmail.com

**First point of contact for communications with the building consent authority:** As above

### Building work

**Building Consent Number:**

ABA-2021-1237 - Erect 3 Bay Garage

**This CCC also applies to the following amended consents:** n/a

**Issued by:** Dunedin City Council

### Code Compliance

The building consent authority named below is satisfied, on reasonable grounds, that-

(a) The building work complies with the building consent



**Team Leader Inspections**  
**On behalf of Dunedin City Council**

Date: 14 June 2022

**BUILDING CONSENT - ABA-2021-1237**

(Section 51, Building Act 2004)

Form 5

**The building****Street address of building:** 61 Big Stone Road Brighton**Legal description of land where building is located:** LOT 1 DP 378151, LOT 2 DP 378151**Building Name:** n/a**Location of building within site/block number:** n/a**Level/unit Number:** n/a**The owner****Name of owner:** C J Parsons and L Parsons**Contact person:** C J Parsons and L Parsons**Mailing address:** C/O Widespan South Island 2015 Limited, 19 Southwark Street, Christchurch 8011**Street address/registered office:****Mobile:** 021 058 4200**Landline:****Email address:** leanne.chrispo@gmail.com**First point of contact for communications with the building consent authority:** As above**Building work****The following building work is authorised by this building consent:**

Erect 3 Bay Garage.

This building consent is issued under Section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

**Compliance Schedule**

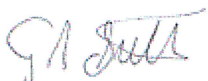
A compliance schedule is not required for the building.

**Attachments**

Copies of the following documents are attached to this building consent:

Record of required site inspections (section 90(2) of the Building Act 2004)

Project Consideration PCON-2021-335



Grant Sutton

**Authorised Officer****On behalf of Dunedin City Council****Date:** 8 July 2021





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## Photographic Map

Scale at A3:  
1:2,000

9/06/2021  
3:43:20 PM



PARCEL LINES CAN VARY FROM  
LEGAL PARCEL BOUNDARIES.  
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has been made to ensure correctness and  
timeliness of the information presented.

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Legend

Water Supply

- |  |                                |  |                                |
|--|--------------------------------|--|--------------------------------|
|  | Manifold Box                   |  | Water Non-Return Valve         |
|  | Water Meter                    |  | Water Pump Station             |
|  | Toby                           |  | Water Bore                     |
|  | Meter without manifold box     |  | Water Treatment Plant          |
|  | Retic Flow Meter               |  | Water Storage Tank             |
|  | Combination Meter              |  | Supply Main                    |
|  | Manifold Box With Restrictor   |  | Trunk Main                     |
|  | Water Valve - Zone             |  | Disused                        |
|  | Non Return Valve               |  | Reticulation                   |
|  | Water Valve - Gate             |  | Rider                          |
|  | Water Valve - Sluice           |  | Scour                          |
|  | Water Hydrant                  |  | Water Service Lateral          |
|  | Water Backflow Preventor - RPZ |  | Water Fire Service Lateral     |
|  |                                |  | Water Critical Service Lateral |
|  |                                |  | Water Zone Boundary            |
|  |                                |  | Water Reservoir                |
|  |                                |  | Redundant Water Main           |

NOTE:  
Private water services have the same symbols  
as those above, however they are coloured pink.

Foul Sewerage

- |  |                             |  |                                |
|--|-----------------------------|--|--------------------------------|
|  | Standard Manhole            |  | Pump Station                   |
|  | Valve Chamber (pressurised) |  | Treatment Plant                |
|  | Boundary Kit                |  | Vent                           |
|  | Non-Return Valve            |  | Foul Sewer Node                |
|  | Pump Station Domestic       |  | Foul Drains in Common (public) |
|  | Drop Manhole                |  | Sewer                          |
|  | Inspection Manhole          |  | Trunk Sewer                    |
|  | Inspection Opening          |  | Vent Line                      |
|  | Lamphole                    |  | Rising Main                    |
|  | Outlet                      |  | Redundant Foul Sewer Pipe      |

NOTE:  
Private foul drains have the same symbols  
as those above, however they are coloured orange.

Stormwater

- |  |                                   |  |                           |
|--|-----------------------------------|--|---------------------------|
|  | SW Bubble-up Tank                 |  | Roading Bubble-Up Tank    |
|  | SW Drop Manhole                   |  | Roading Mudtank           |
|  | SW Insp Chamber and Grating Inlet |  | Stormwater Main           |
|  | SW Inspection Manhole             |  | Stormwater Trunk Main     |
|  | SW Inspection Opening             |  | DCC Open Channel          |
|  | SW Lamphole                       |  | Piped WC                  |
|  | SW Mudtank Inlet                  |  | Open WC                   |
|  | SW Outlet                         |  | Culvert                   |
|  | SW Pipe Inlet                     |  | Stormwater Mudtank Pipe   |
|  | SW Pressure Manhole               |  | Redundant Stormwater Main |
|  | SW Standard Manhole               |  | SW Sump                   |
|  | SW Stormwater Node                |  | SW Pump Station           |

NOTE:  
Private stormwater drains have the same symbols  
as those above, however they are coloured light green.

General

- |  |                             |  |                          |
|--|-----------------------------|--|--------------------------|
|  | DCC Water & Waste Structure |  | Parcel                   |
|  | Railway Centreline          |  | Hydro                    |
|  |                             |  | Strata                   |
|  |                             |  | Road/Rail                |
|  |                             |  | Motorway Parcels         |
|  |                             |  | Easment (where recorded) |

Full legend can be viewed at <https://www.dunedin.govt.nz/council-online/webmaps/waterservices>

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Council Water & Drainage Services

Information shown is the best available at the time of publishing. The accuracy and completeness of This information is variable. Private assets are typically not mapped. Recent changes may not be reflected. Verify on site before commencing work. For all enquiries phone 03 477 4000.

Scale at A3:  
1:500

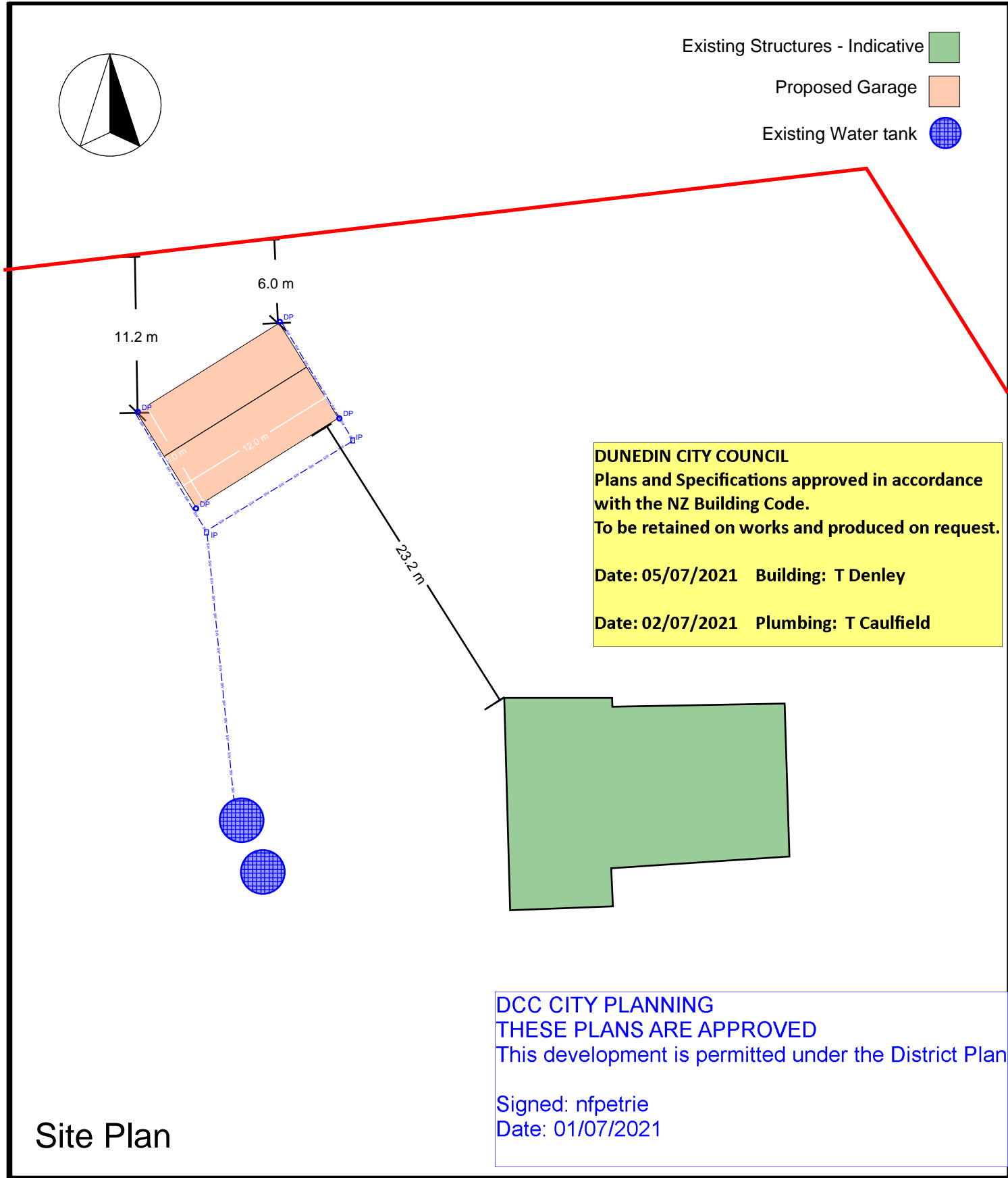
9/06/2021  
3:44:32 PM



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LEGAL DESCRIPTION

Lot: 2  
DP: 378151  
Gross Site Area: 2.4012ha

RESOURCE MANAGMENT PLANNING  
Territorial Authority: Dunedin City Council  
Zoning: Rural

BUILDING DESIGN DATA

Wind Zone: High Total Roof Area: 96m<sup>2</sup>  
EQ Zone: 1 Roof Pitch: 22.5°  
Corrosion Zone: C Usage: Outbuilding - Garage  
Snow Zone: N5 Rainfall Range: 40 - 50

Notes:

Excavation maximum 8m<sup>3</sup> (Site Scrape & Piers)

FFL - min 150mm above Finished ground level

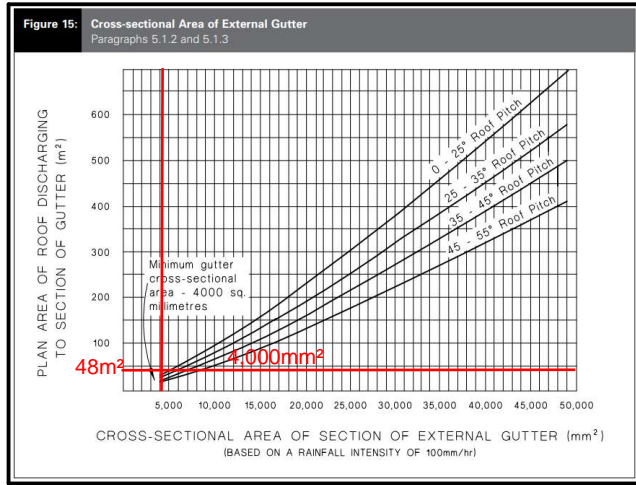
All stormwater drainage to comply with E1/AS1 NZBC

Downpipe 80Ø - 24m<sup>2</sup>

Owner to Provide a Flat Level building platform before construction begins

Appropriate barriers in place to comply with F5/AS1

100Ø UPVC Stormwater Pipe @ 1:120 - connection to existing water tank.



**Table 5: Downpipe Sizes for Given Roof Pitch and Area**  
Paragraph 4.2.1

Downpipe size (mm) (minimum internal sizes)	Roof pitch			
	0-25°	25-35°	35-45°	45-55°
Plan area of roof served by the downpipe (m <sup>2</sup> )				
63 mm diameter	60	50	40	35
74 mm diameter	85	70	60	50
100 mm diameter	155	130	110	90
150 mm diameter	350	290	250	200
65 x 50 rectangular	60	50	40	35
100 x 50 rectangular	100	80	70	60
75 x 75 rectangular	110	90	80	65
100 x 75 rectangular	150	120	105	90



PROJECT:

Garage  
at 61 Big Stone Road, Brighton  
for Chris Parsons

**COHESIVE**  
DESIGN

DRAWING TITLE:

Site Plan

SCALE: (Original size A3)  
1:400

DRAWN:  
MC

CHECKED:

SHEET No: **A101**

DATE:  
15/06/2021

REV:  
B

JOB No:  
ZSOU211130

**GENERAL NOTES**

These documents show the general arrangement of the building and include some items not supplied (refer to the quotation for nomination of all items to be provided). All items not nominated therein shall be supplied and installed by others.

The plans provided here are the latest at the time of print. Earlier plans provided may have become outdated due to engineering changes and should not be used. The plans and drawings are extensive and give all the information needed for a competent person to erect the building. The building is not designed to stand up by itself when it is partially complete. Consequently, construction bracing is critical during erection.

The owner has been requested to check off the BOM after the building delivery. You should check that you are able to locate all materials nominated in the BOM. You should also confirm that the length and size (including thickness), nominated in the BOM is what has been provided. Any missing items are the responsibility of the client once correct delivery has been confirmed as per Terms and Conditions of Sale.

**DESIGN CRITERIA**

These building plans have been prepared to comply with the standards nominated in the engineer's letter. All plans are not to Scale.

**ADDITIONAL DOCUMENTATION TO BE SUPPLIED BY PURCHASER/OWNER**

The Purchaser/Owner is responsible for:

\*Provision of Soils Report for the site and in the building area on which the building is to be erected

\*Site/Drainage Plans

\*Any other plans not covered by these engineering plans requested by the local Council or the authority

**BUILDING CONSTRUCTION REQUIREMENTS**

The Purchaser/Owner is to be ensured that all building construction is carried out in accordance with the Plans, the Construction Manual and the Bill of Materials (BOM).

**SLAB AND/OR PIER DETAILS - GENERAL**

\* The minimum size of Piers under the columns and End Wall Mullions are nominated on the Material Specifications Plan. When the slab and piers are poured as one pour, the depth of the pier is to the bottom of the slab.

\* Pier Reinforcement: for any piers over 1100mm, deformed bar to within 100mm of base and minimum 75mm top cover. Minimum side cover 75mm, maximum 100mm. Rod to be caged horizontally at least twice and at a maximum of 300mm spacing. Where pier diameter is less than 450mm diameter, use 6 D12. For diameters equal to and over 450mm, use 8 D16.\* Where columns or end wall mullions have been removed, piers are not required.

\* End wall mullion spacing may move due to location of openings or doors. Check layout and component position plan, and relocate piers as required.

\* The Slab Plan indicates those parts of the slab which are 50mm below main slab/piers.

\* Footings and slabs, including internal and edge beams, must be founded on good ground with a minimum allowable bearing capacity of 300kPa. Design covers for a class 5 building.

\* The footing designs have been calculated with adhesion values of 0kPa, 25kPa and 50kPa for clay soils and dense sand soils only.

\* A site specific geotechnical investigation has not been performed. The builder will need to verify the soil type and conditions.

\* Site conditions different to those specified require a modified design.

\* Sub grade shall be excavated and compacted to a minimum of 100% standard dry density ratio and within 2% of the OMC to comply with AS2159.

\* Designs are in accordance with NZS 3101 and AS/NZS 4671

\* All concrete to be in accordance with NZS 3101 and AS/NZS 4671. Minimum 25 Mpa, with 80mm slump. 40 MPa located in coastal/sea spray regions.

\* Concrete should be cured for 7 days before commencing construction of the building.

**Concrete Slab**

\*

\* Concrete piers under Roller Doors Jambs to be a minimum size as below:

MC15015 - 300mm dia x 375mm deep, centered to the C Section

Where heavy traffic is to go through the roller doors, it is recommended that the slab edge should be thickened to 200mm deep by 300mm wide for the length between the mullions. Place an additional section of SE62 mesh, 50mm from the base in all thickenings.

**Concrete Piers Only**

\* \* Concrete piers under Roller Door Jambs to be a minimum size as below:

MC15015 - 300mm dia x 750mm deep, centered to the C Section

**BRACING NOTES**

\* Refer to Connection Details.

\* Knee bracing clearance from FFL is X = Main Building: 2.906m.

\* All Cross Bracing is achieved with 0.95mm Strap G550.

\* Cross bracing is to be fixed taut and secured with 14.20 x 22 frame screws at each end, quantity as per connection details.

\* Fly bracing to be fixed to the purlins/girts on all mid portal rafters, columns and end wall mullions. Fly bracing is to be fitted to every second purlin/girt, or, on every one, where the spacing between fly braces would exceed the maximum specified below for the relevant column/rafter size:

- C150 - maximum 1800mm spacing
- C200, C250 - maximum 2200mm spacing
- C300 - maximum 2800mm spacing
- C350 - maximum 2800mm spacing
- C400 - maximum 2800mm spacing

Initial measurement is from the haunch of the column/rafter, and from the rafter for any end wall mullions.

\* All bracing strap ends to be located as close as practical to structural member's (columns, rafters, mullions) centerline.

**BOLTS**

\* Unless otherwise nominated, all bolts are grade 4.6

\* All tensioned bolts shall be tensioned using the part turn method (refer to AS4100). For the erector, full details are in the construction manual.

**Roller Doors**

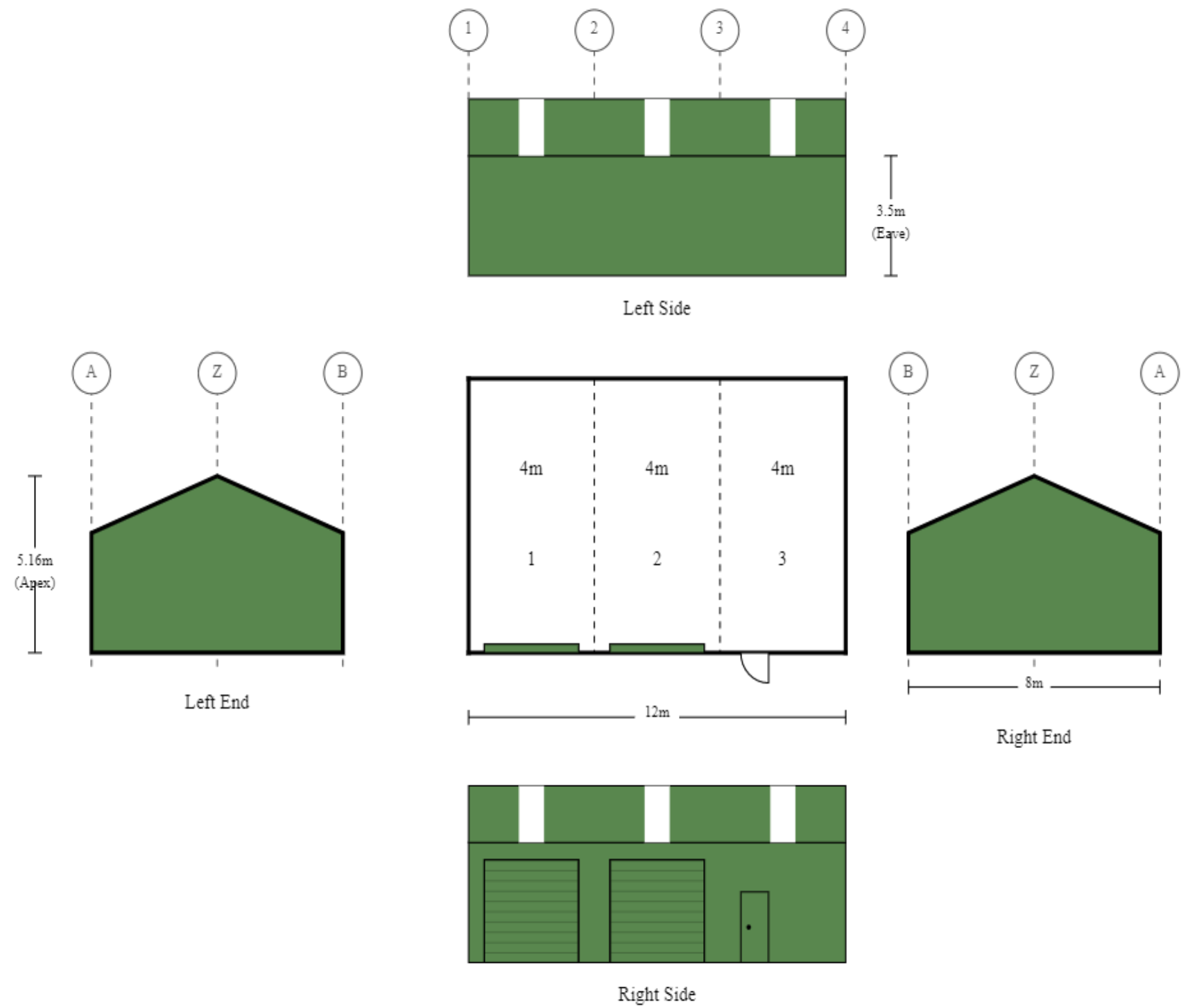
All comments regarding roller doors are based from inside the building looking out.

**OTHER MATERIALS NOTES**

\* All Sheeting, Flashing and framing screws are Climaseal 4.

\* All purlin material has Z350 zinc coating with minimum strength of 450MPa.

Revision	Date	Initial	Purchaser Name: Christopher and Leanne Parsons		General Notes	Seller: Wide Span Sheds South Island Ltd Name: WideSpan South Island 2015 Ltd Phone: 3 550 2768 Fax: Email: kevin.lynch@sheds.co.nz	
			Site Address: 61 Big Stone Rd Dunedin New Zealand				
			Drawing # ZSOU211130 - 2	Print Date: 23/05/2021			



Purchaser Name: Christopher and Leanne Parsons

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Drawing # ZSOU211130 - 3

Print Date: 23/05/21

**Layout**  
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Fax:  
Email: kevin.lynch@sheds.co.nz

MATERIAL SPECIFICATIONS

For further information regarding the tabulated values shown, refer to the General Notes

Building Dimensions

Categories	Span	Length	Pitch	Height	Grid(s)	Portal(s)
Main Building	8	12	22.5	3.5	A - B	1 - 4

Portal Frame Elements

Grid / Portal Number		1	2	3	4
Columns	A	C15015	C20023	C20023	C15015
	B	C15015	C20023	C20023	C15015
Rafters	A - Apex	C15012	C20015	C20015	C15012
	Apex - B	C15012	C20015	C20015	C15012
End Wall Mullions	Z	C15015	-	-	C15015
Apex Braces	Apex	-	MC15012(MC) @ 2.4m	MC15012(MC) @ 2.4m	-
Knee Braces	A - Apex		MC15012(MC) @ 1.31m	MC15012(MC) @ 1.31m	
	Apex - B		MC15012(MC) @ 1.31m	MC15012(MC) @ 1.31m	

Bay Section Elements

Grid / Bay Number		1	2	3	Maximum
Bay Widths		4	4	4	
Roof Purlins (refer to Purlin And Girt Plan)		TH100	TH100	TH100	
Roof Purlin Spacing (End)	A - Apex	0.856	0.856	0.856	0.900
	Apex - B	0.856	0.856	0.856	0.900
Roof Purlin Spacing (Internal Spans)	A - Apex	0.856	0.856	0.856	1.200
	Apex - B	0.856	0.856	0.856	1.200
Eave Purlin	A	MC15012	MC15012	MC15012	
	B	MC15012	MC15012	MC15012	
Side Girts (refer to Purlin And Girt Plan)		TH100	TH100	TH100	
Side Girts Spacing (End)	A	1.083	1.083	1.083	1.350
	B	1.083	1.083	1.083	1.350
Side Girts Spacing (Internal)	A	1.083	1.083	1.083	1.700
	B	1.083	1.083	1.083	1.700
Roller Door Header	B	C10010	C10010	-	
Roller Door Jambs	B	MC15015	MC15015	-	
PA Door Header	B	-	-	C10010	
PA Door Jambs	B	-	-	C10012	

End Bay Section Elements

Grid / Portal Number		1	4	Maximum
End Girts (refer to Purlin And Girt Plan)		TH100	TH100	
End Girts Spacing (End)	A - Z	1.083	1.083	1.350
	Z - B	1.083	1.083	1.350
End Girts Spacing (Internal)	A - Z	1.083	1.083	1.700
	Z - B	1.083	1.083	1.700

Cladding Elements

Category	Colour	Product
Roof Sheeting	Colorsteel	Corrugate 0.4 BMT
Roof Flashings	Colorsteel	BlueScope 0.55 BMT
Wall Sheeting	Colorsteel	High Profile 0.40 BMT
Wall Flashing	Colorsteel	BlueScope 0.55 BMT

Revision	Date	Initial	Purchaser Name: Christopher and Leanne Parsons		Specification Sheet	Seller: Wide Span Sheds South Island Ltd Name: WideSpan South Island 2015 Ltd Phone: 3 550 2768 Fax: Email: kevin.lynch@sheds.co.nz	
			Site Address: 61 Big Stone Rd Dunedin New Zealand				
			Drawing # ZSOU211130 - 4	Print Date: 23/05/2021			



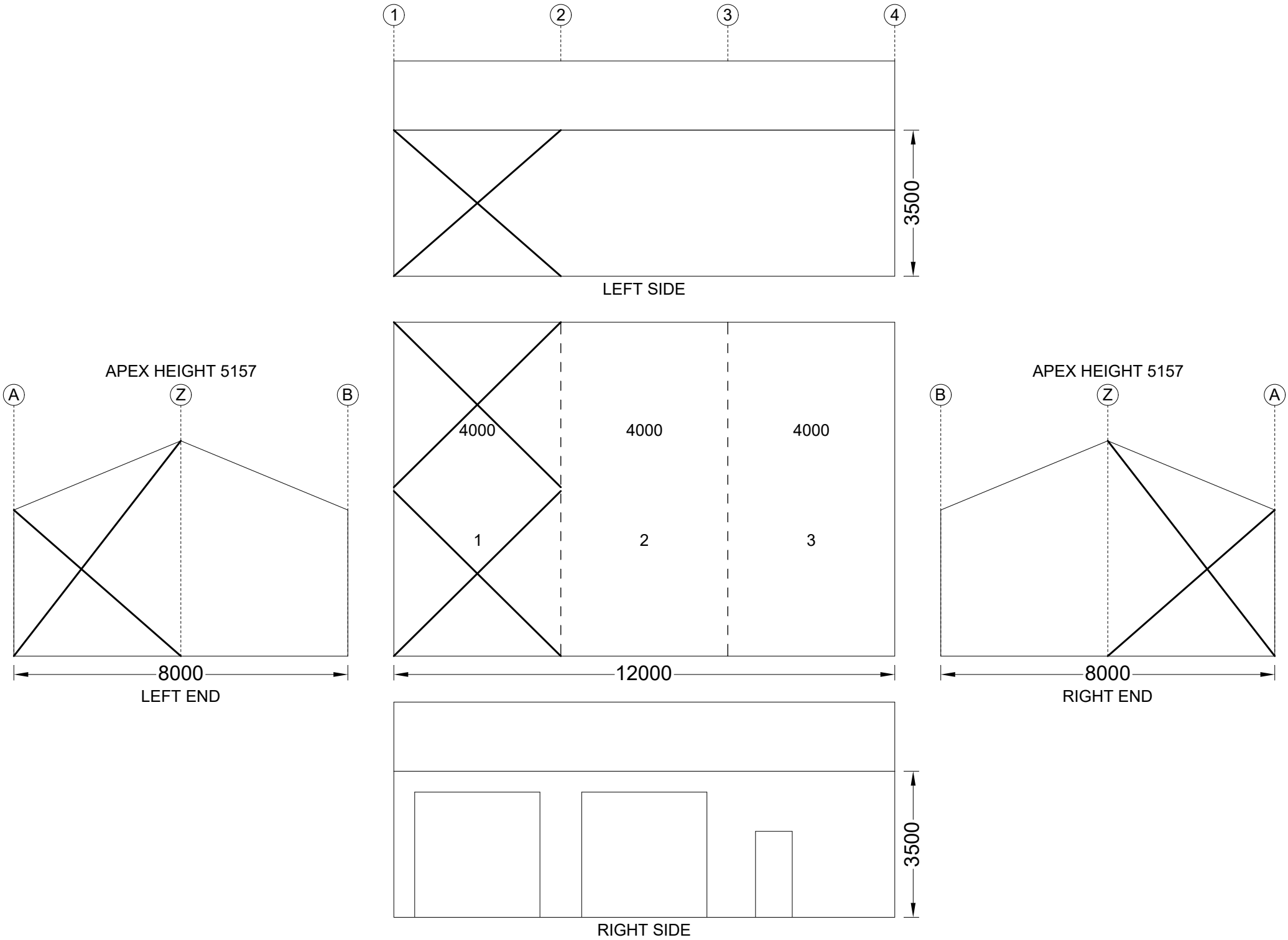
MATERIAL SPECIFICATIONS

For further information regarding the tabulated values shown, refer to the General Notes

Pier Sizes			Depth (m) - when NO Slab		Depth (m) - with Slab	
Adhesion (kPa)	Soil Description	Diameter (m)	BP1	BP2	BP1	BP2
0	Sandy Soil	0.3	1.2	-	0.45	-
		0.45	0.9	1.4	0.45	0.45
		0.6	0.7	1	0.45	0.45
25	Soft to Firm Clay	0.3	0.8	-	0.45	-
		0.45	0.8	1	0.45	0.45
		0.6	0.7	1	0.45	0.45
50	Stiff to Very Stiff Clay	0.3	0.7	-	0.45	-
		0.45	0.7	1	0.45	0.45
		0.6	0.7	1	0.45	0.45

Revision	Date	Initial	Purchaser Name: Christopher and Leanne Parsons		Specification Sheet	Seller: Wide Span Sheds South Island Ltd Name: WideSpan South Island 2015 Ltd Phone: 3 550 2768 Fax: Email: kevin.lynch@sheds.co.nz	
			Site Address: 61 Big Stone Rd Dunedin New Zealand				
			Drawing # ZSOU211130 - 4	Print Date: 23/05/2021			
PAGINATION ©Copyright Steelx IP Pty Ltd							

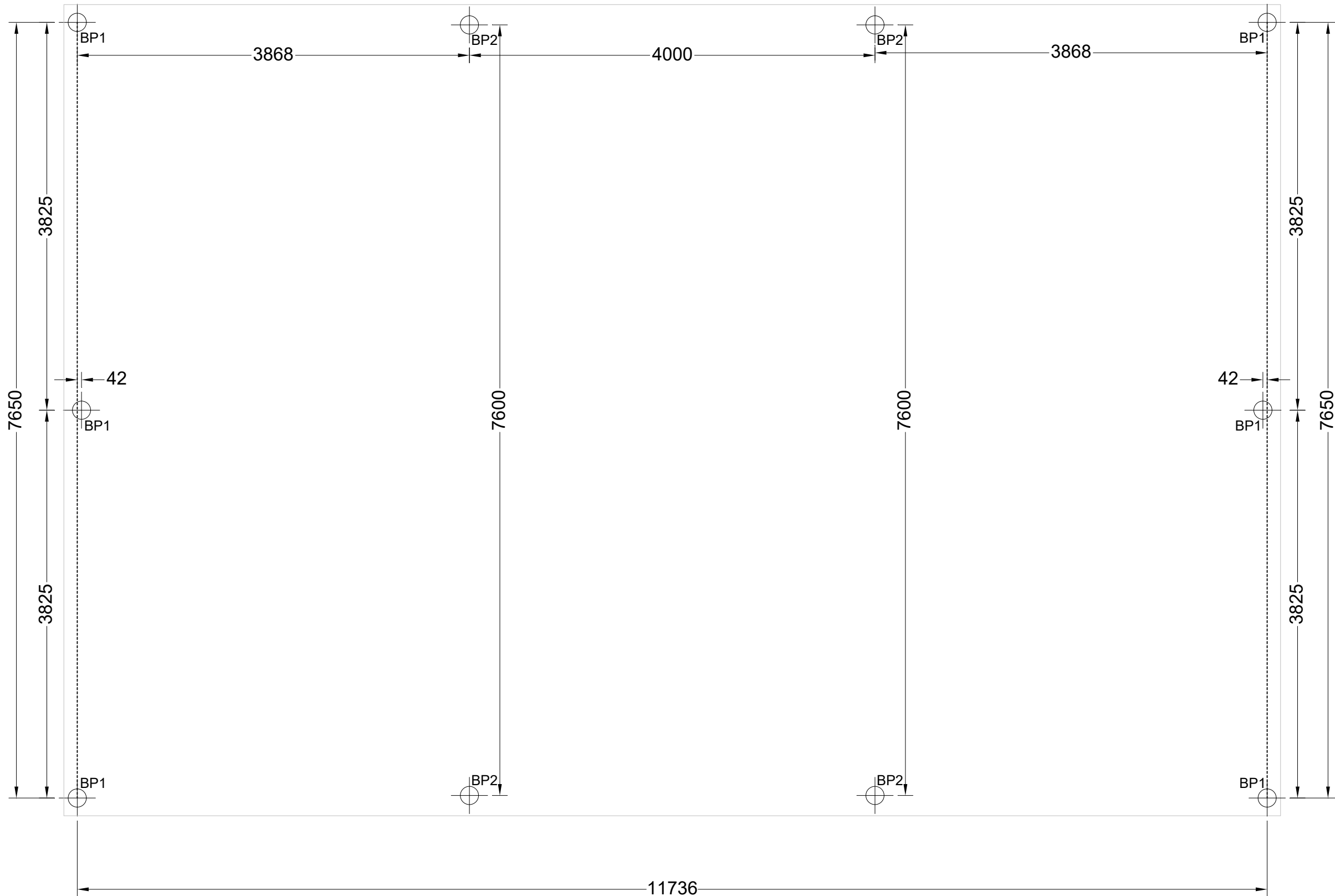
Cross Bracing is achieved with 0.95mm Strap. Refer to Connection Details.



Revision	Date	Initial	Purchaser Name: Christopher and Leanne Parsons		<div>Bracing</div> <div>NOT TO SCALE</div> <div>Page 1 of 1</div> <div>©Copyright Steelx IP Pty Ltd</div>	<div>Seller: Wide Span Sheds South Island Ltd</div> <div>Name: WideSpan South Island 2015 Ltd</div> <div>Phone: 3 550 2768</div> <div>Fax:</div> <div>Email: kevin.lynnch@sheds.co.nz</div>	
			Site Address: 61 Big Stone Rd Dunedin New Zealand				
			Drawing # ZSOU211130 - 5	Print Date: 23/05/2021			

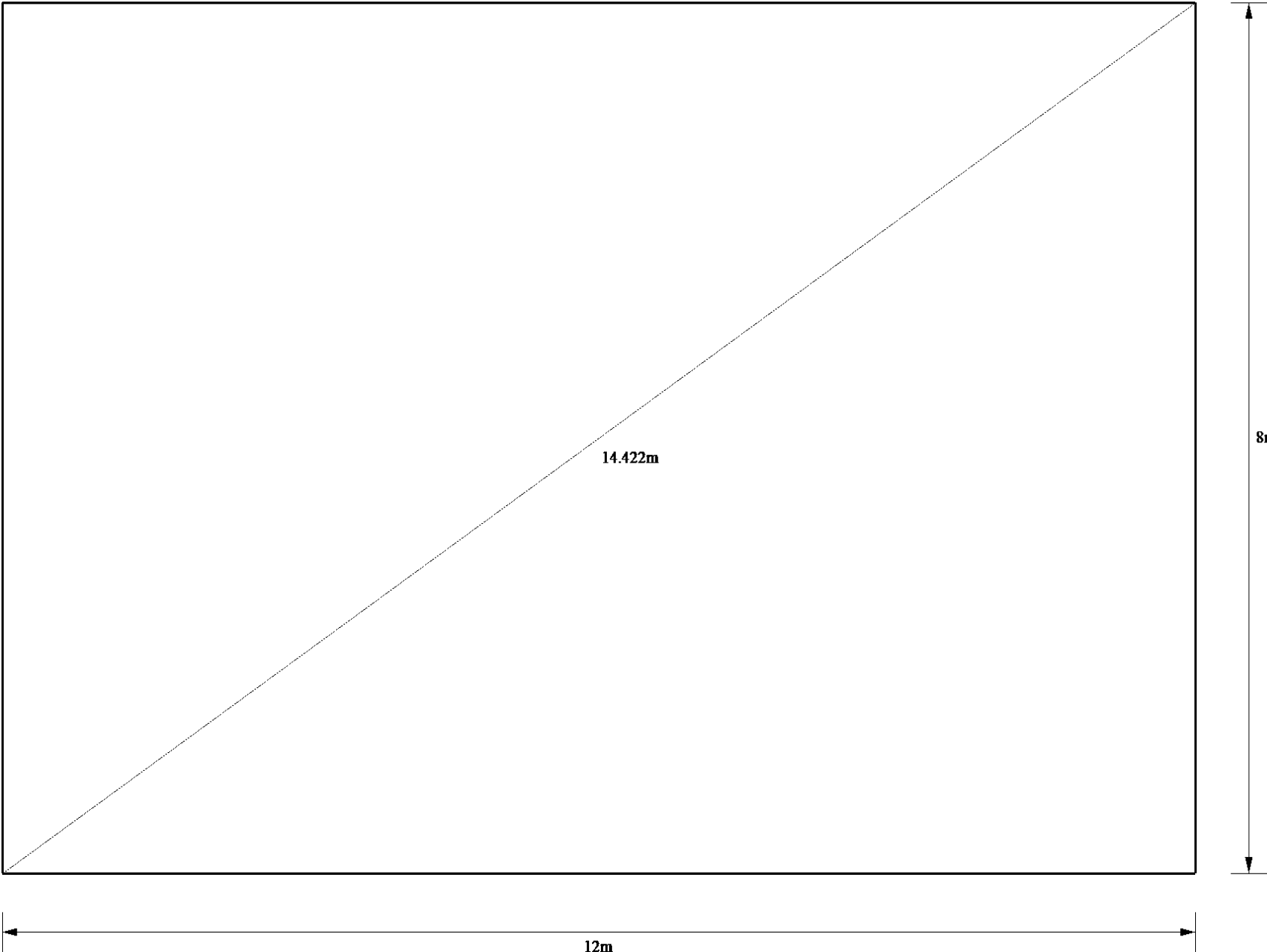


These dimensions are provided as a guide only. It is the responsibility of the concreter to confirm that all dimensions are correct.  
Refer to Material Specifications Plan for BP dimensions.

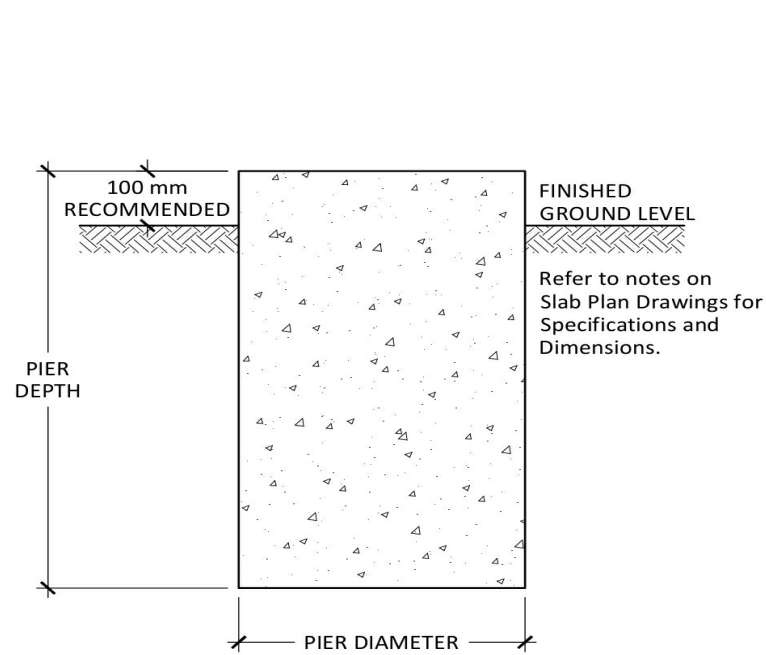


Revision	Date	Initial	Purchaser Name: Christopher and Leanne Parsons		<div>Concrete Piers</div> <div>PIER MEASUREMENT ONLY</div> <div>NOT TO SCALE</div> <div>Page 1 of 1</div> <div>©Copyright Steelx IP Pty Ltd</div>	<div>Seller: Wide Span Sheds South Island Ltd</div> <div>Name: WideSpan South Island 2015 Ltd</div> <div>Phone: 3 550 2768</div> <div>Fax:</div> <div>Email: kevin.lynch@sheds.co.nz</div>	
			Site Address: 61 Big Stone Rd Dunedin New Zealand				
			Drawing # ZSOU211130 - 6	Print Date: 23/05/2021			

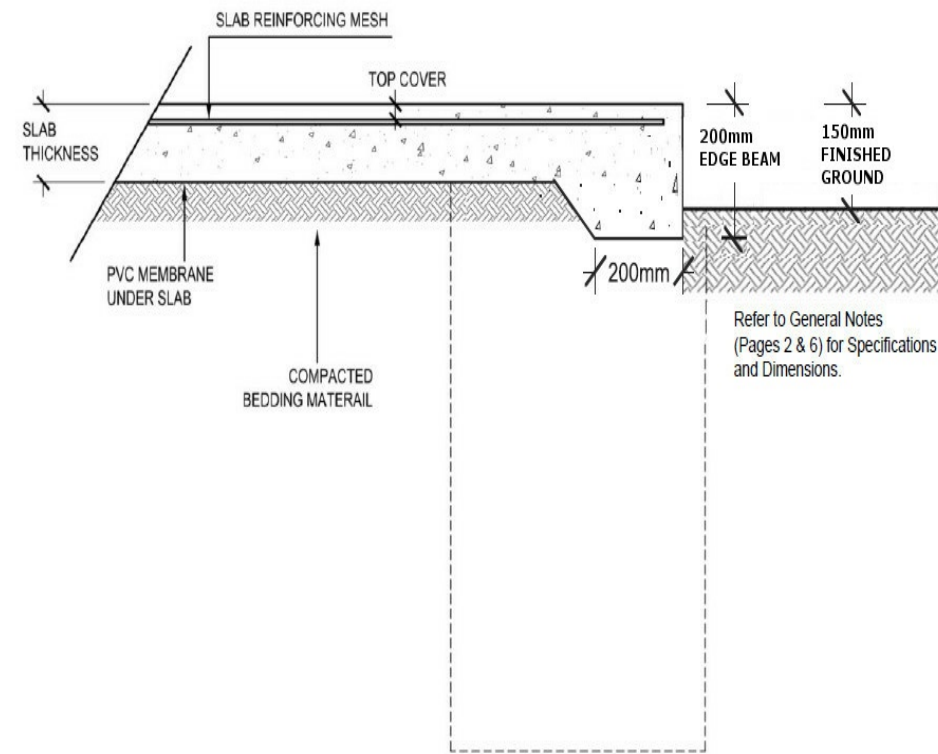
These dimensions are provided as a guide only. It is the responsibility of the concreter to confirm that all dimensions are correct.



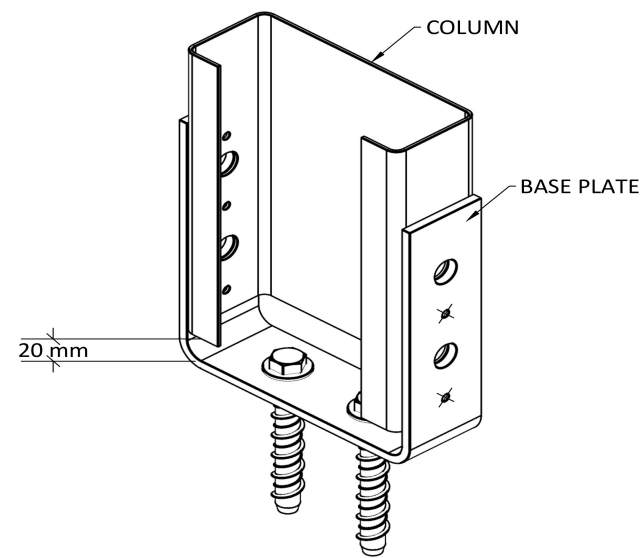
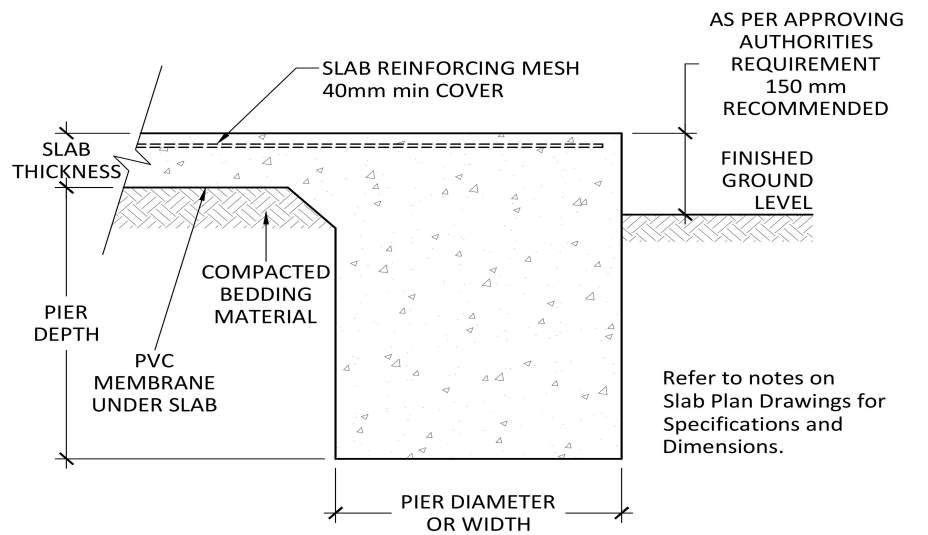
Purchaser Name: Christopher and Leanne Parsons		<div>Slab Dimensions</div> <div>Also refer to Concrete Piers Plan</div> <div>Not to Scale</div> <div>© Copyright Steelx IP Pty Ltd</div>	<div>Seller: Wide Span Sheds South Island Ltd</div> <div>WideSpan South Island 2015 Ltd</div> <div>Phone: 3 550 2768</div> <div>Fax:</div> <div>Email: kevin.lynch@sheds.co.nz</div>	
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BORED PIER

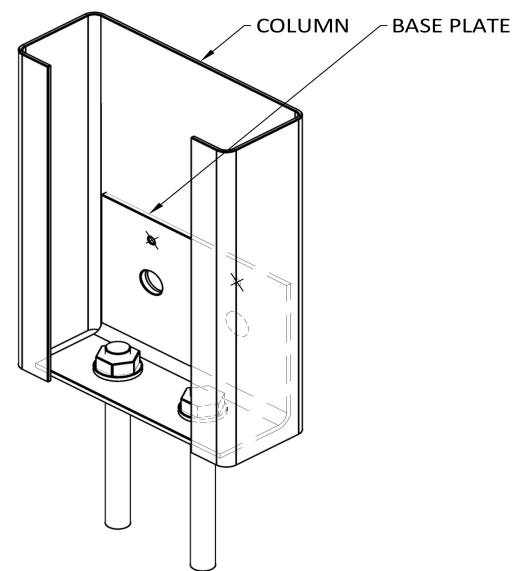


SLAB AND PIER DETAIL



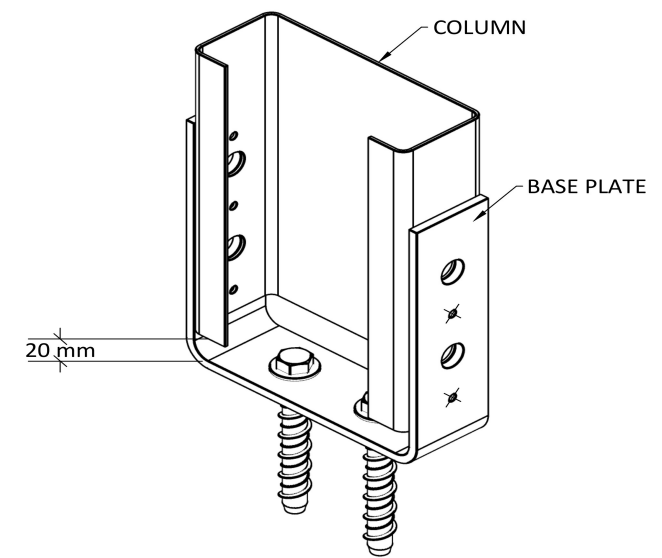
- FIXING BOLTS - 2 of M12 x 100 SCREWBOLT
- FIXING BOLTS - 4 of M12 x 30
- × FIXING SCREWS - 4 of 12.24 x 38 Series 500

C150 COLUMN FIXING



- FIXING BOLTS - 2 of M12 x 80 TRUEBOLT
- FIXING BOLTS - 2 of M12 x 30
- × FIXING SCREWS - 2 of 14.20 x 22

C150 MULLION BASE PLATE



- FIXING BOLTS - 2 of M12 x 100 SCREWBOLT
- FIXING BOLTS - 4 of M12 x 30
- × FIXING SCREWS - 4 of 12.24 x 38 Series 500

C200 COLUMN FIXING

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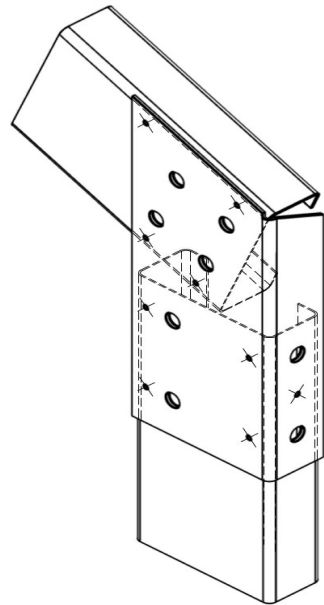
Drawing # ZSOU211130 - 8

Print Date: 23/05/21

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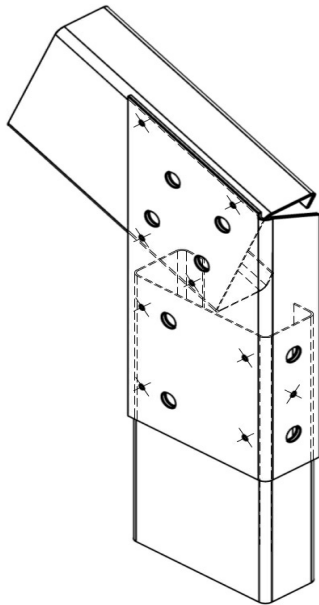
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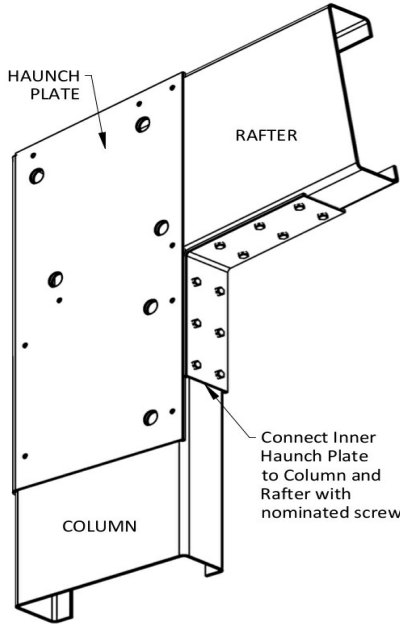
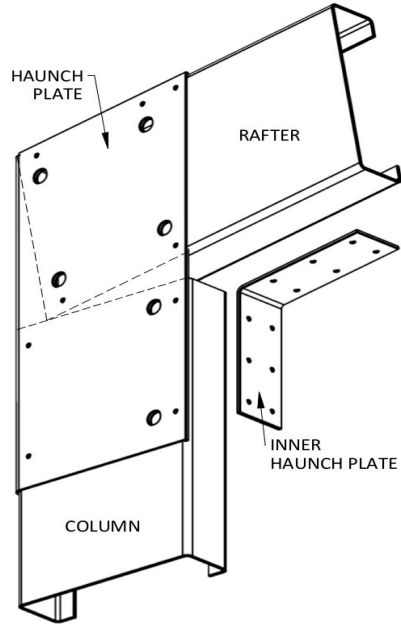
- FIXING BOLTS - 8 of M12 x 30
- × FIXING SCREWS - 9 of 14.20 x 22

HAUNCH BRACKET - C150, 22.5°



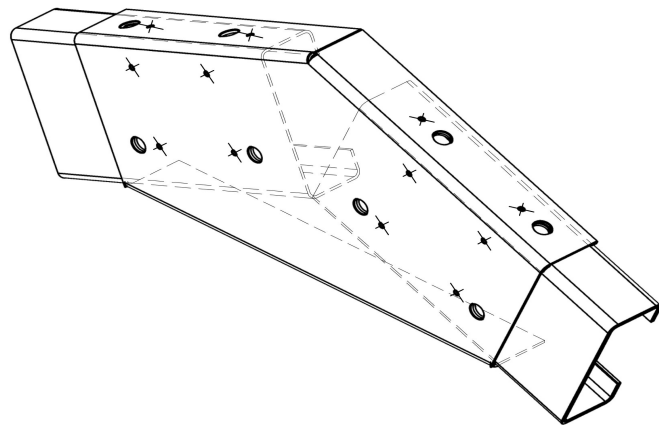
- FIXING BOLTS - 8 of M12 x 30
- × FIXING SCREWS - 9 of 14.20 x 22

HAUNCH BRACKET - C200, 22.5°



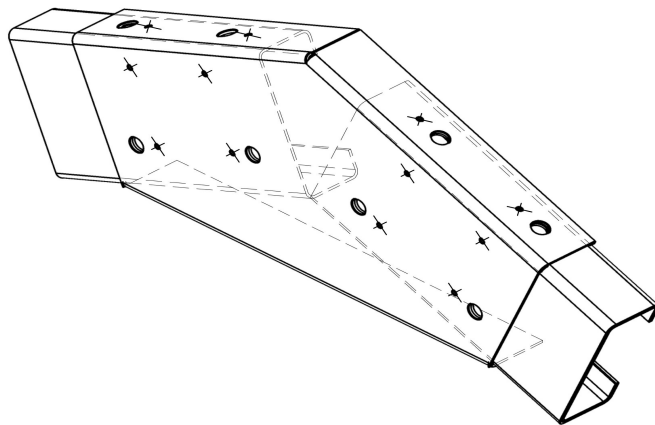
- × FIXING SCREWS - 12 of 14.20 x 22

INNER HAUNCH BRACKET - SINGLE RAFTER



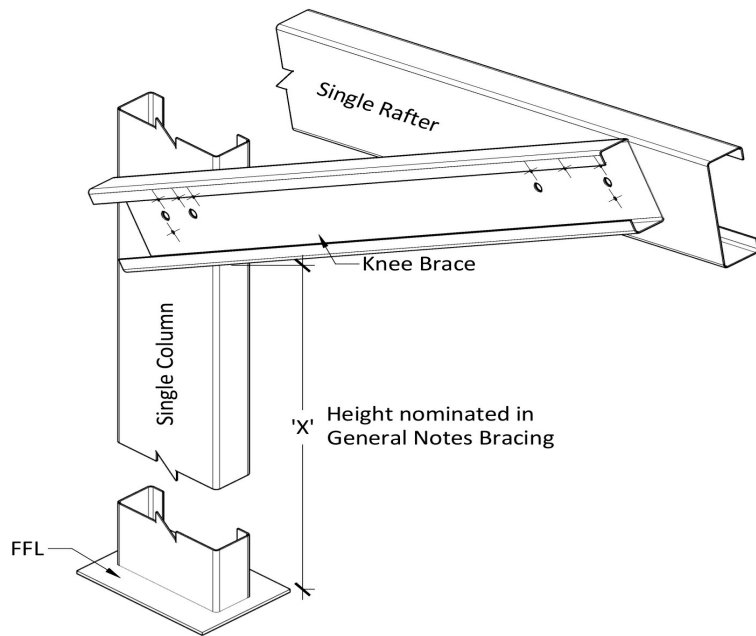
- FIXING BOLTS - 8 of M12 x 30
- × FIXING SCREWS - 12 of 14.20 x 22

APEX PLATE, C150, 22.5°



- FIXING BOLTS - 8 of M12 x 30
- × FIXING SCREWS - 12 of 14.20 x 22

APEX PLATE, C200, 22.5°



- FIXING BOLTS - 4 of M12 x 30
- × FIXING SCREWS - 8 of 14.20 x 22

C200 KNEE BRACE FOR  
SINGLE COLUMN + SINGLE RAFTER

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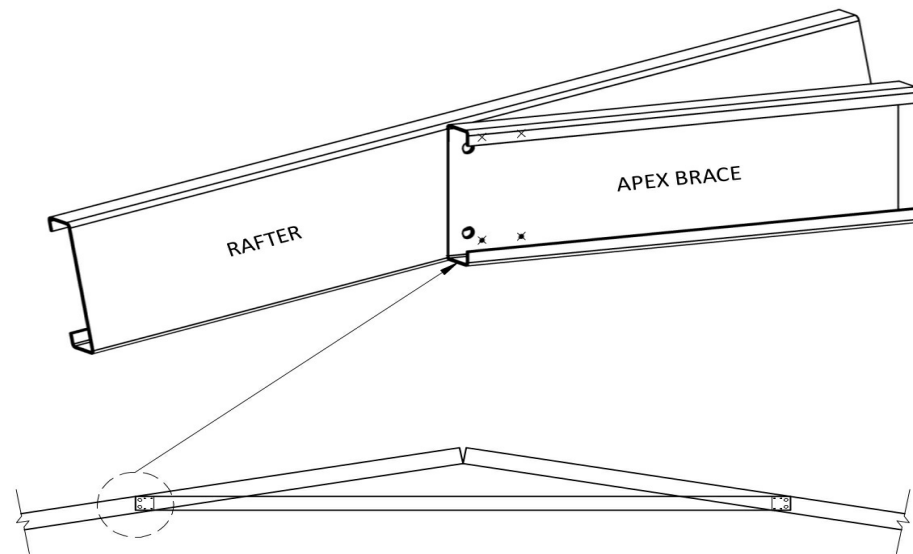
Print Date: 23/05/21

Connection Details

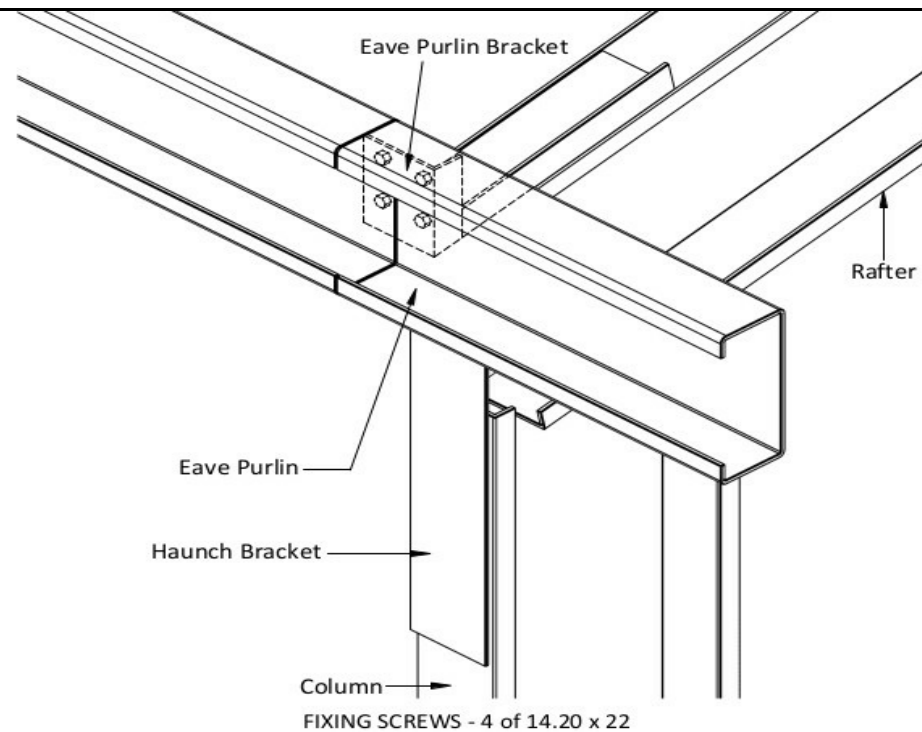
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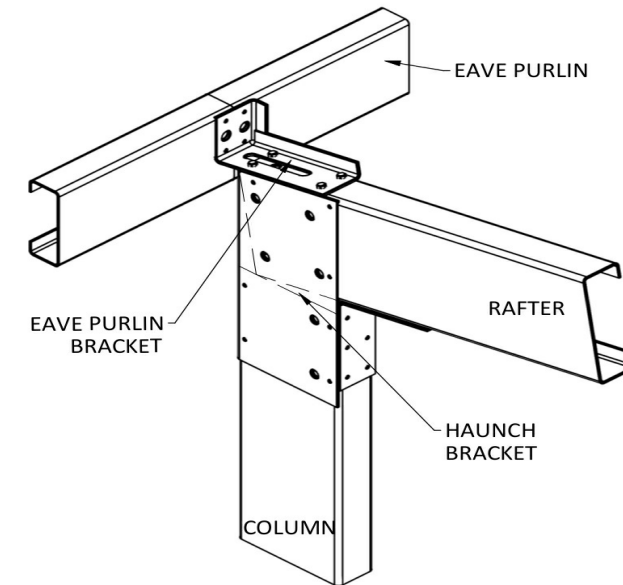




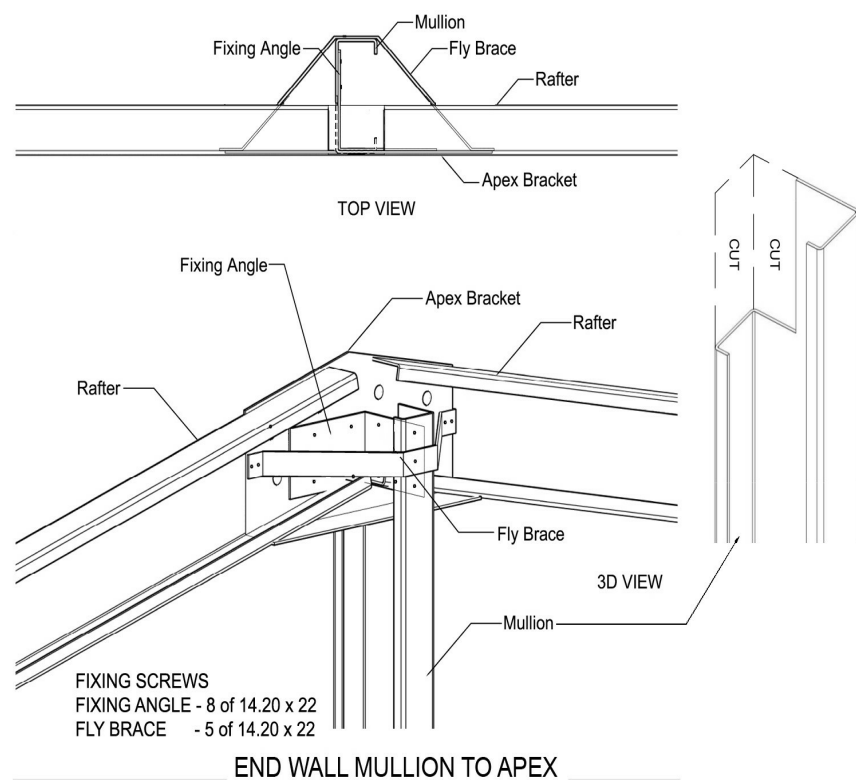
○ FIXING BOLTS - 2 of M12 x 40  
× FIXING SCREWS - 4 of 14.20 x 22  
**APEX BRACE FOR SINGLE RAFTER**



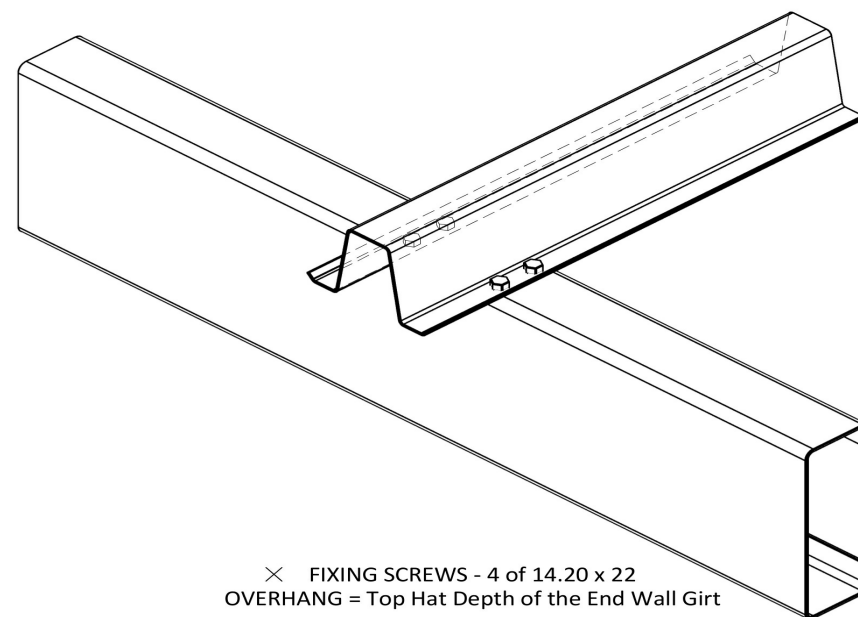
× FIXING SCREWS - 4 of 14.20 x 22  
**EAVE PURLIN TO EAVE PURLIN BRACKET**



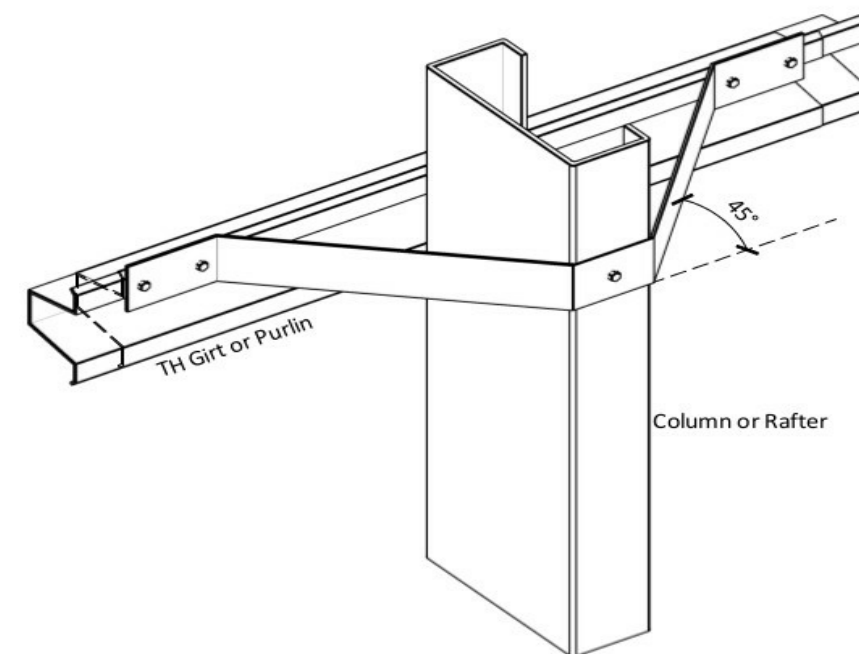
× FIXING SCREWS - 4 of 14.20 x 22  
**EAVE PURLIN BRACKET TO RAFTER**



**END WALL MULLION TO APEX**



× FIXING SCREWS - 4 of 14.20 x 22  
OVERHANG = Top Hat Depth of the End Wall Girt  
**PURLIN & SIDE GIRT END WALL FIXING TOP HAT - SINGLE COLUMN OR RAFTER**



FIXING SCREWS - 5 of 14.20 x 22  
**FLY BRACING**

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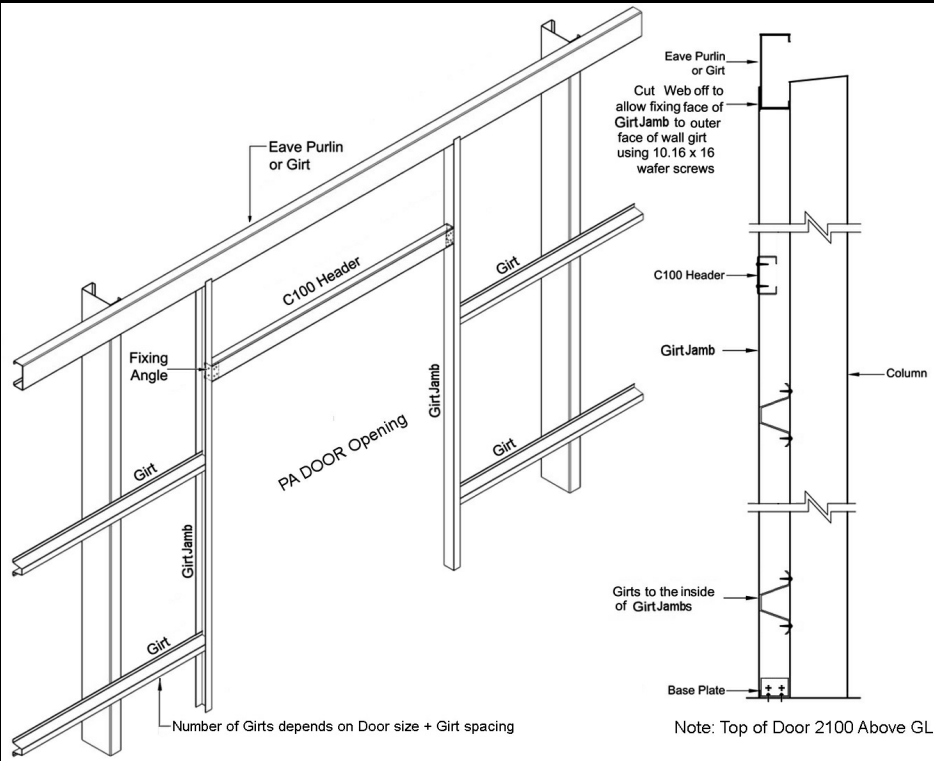
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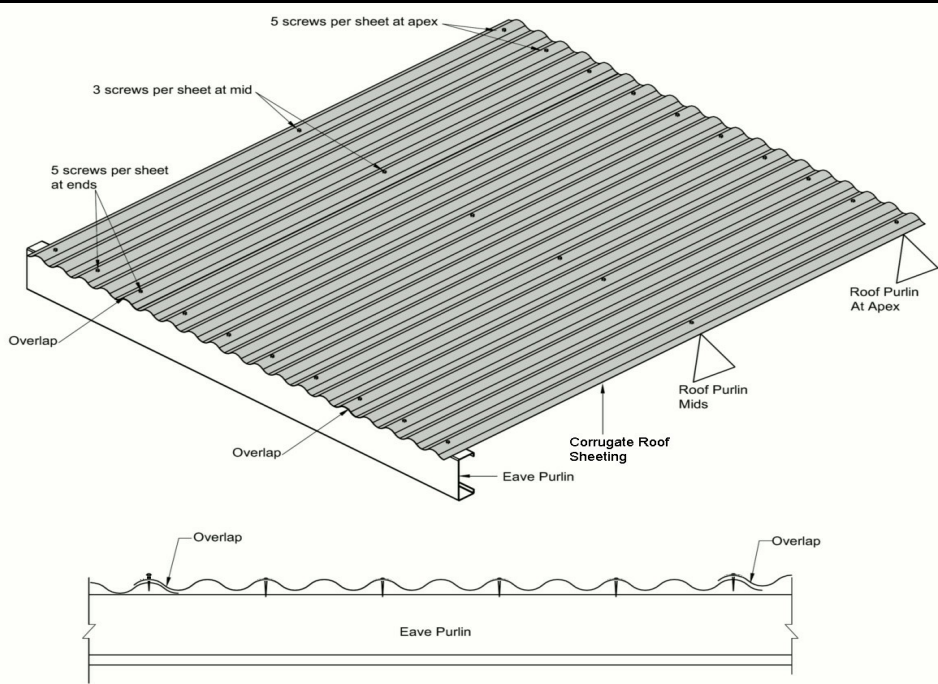
#### Connection Details

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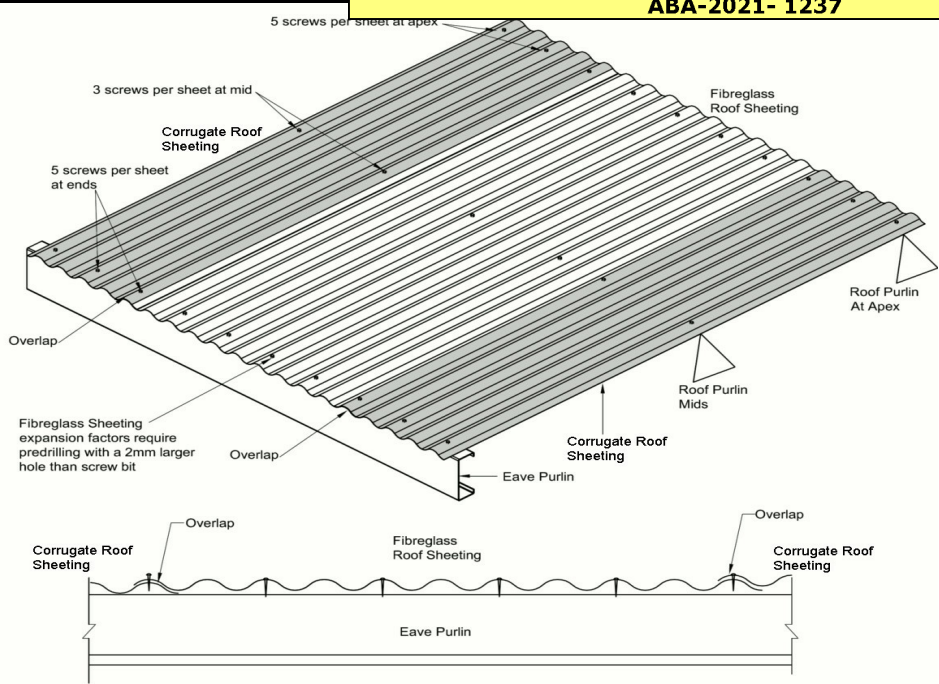


PA DOOR (PRE HUNG) CONNECTION DETAILS



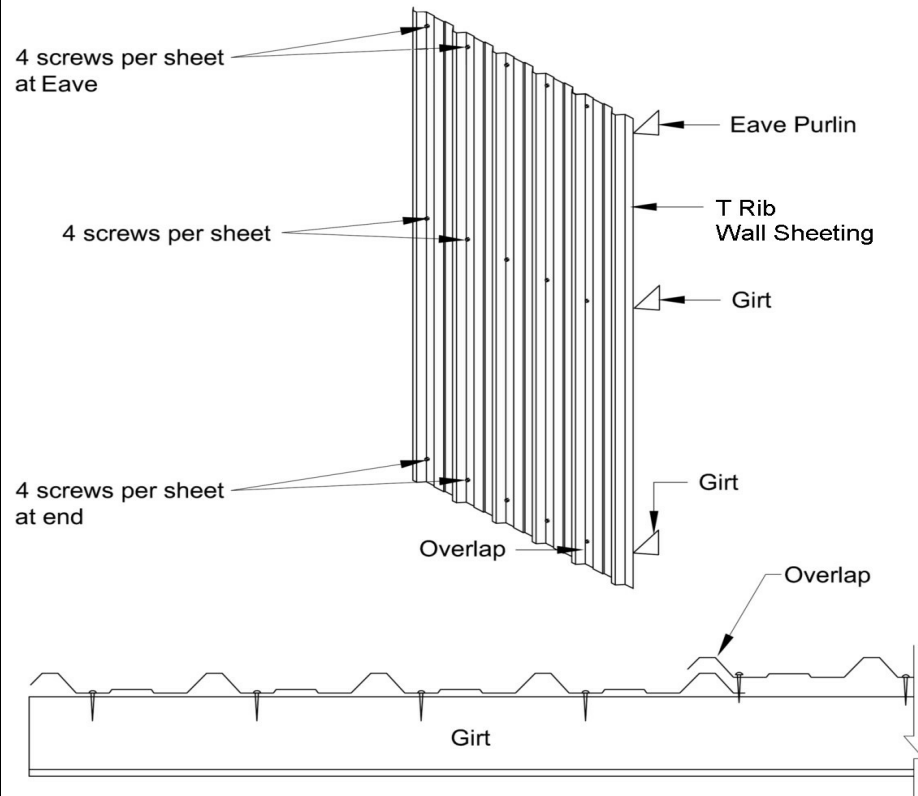
CORRO ROOF SHEET FIXING

Roofing Screws - 12.14 x 35 Hex Seal High Grip

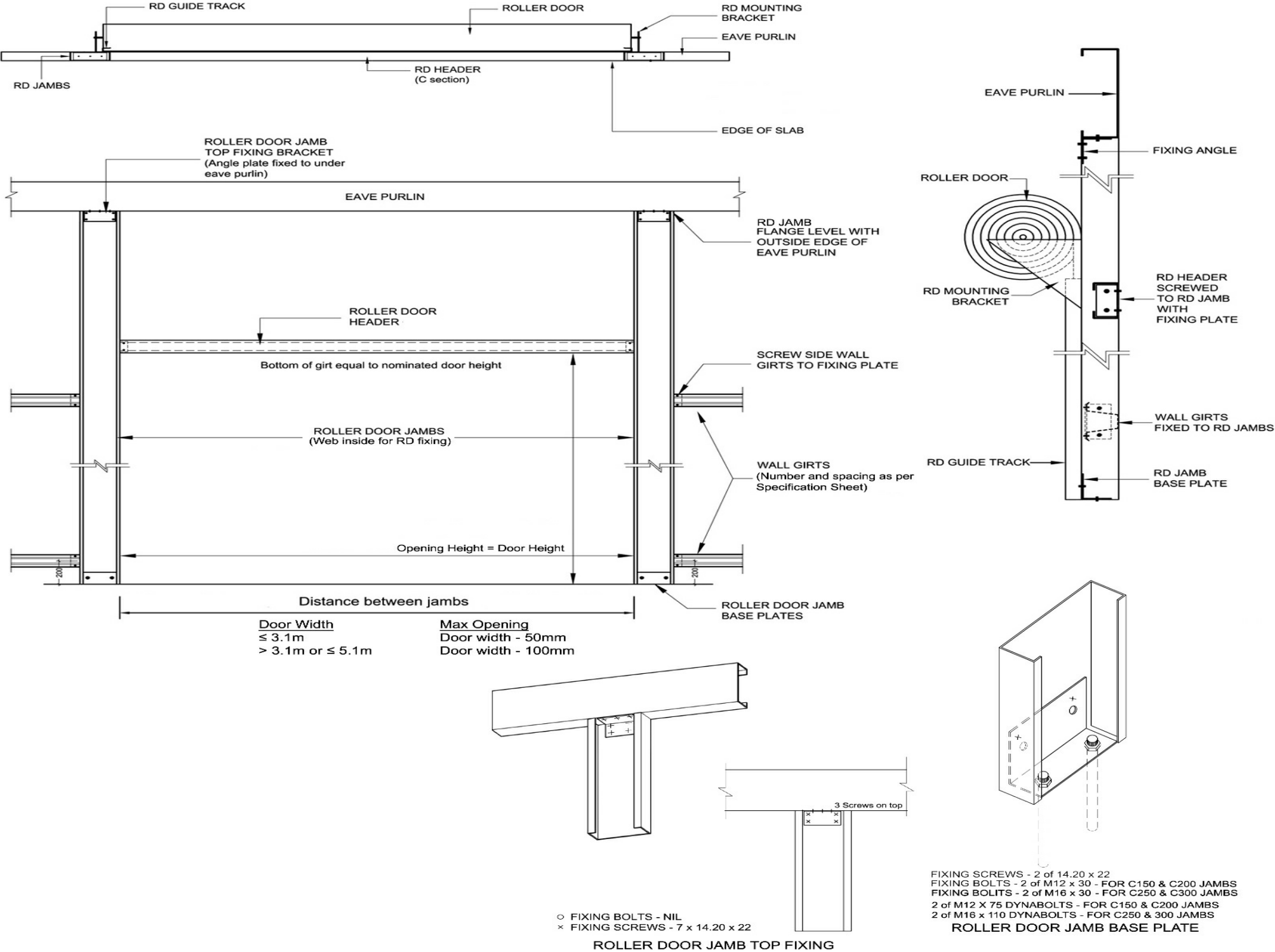


CORRO ROOFING + SKYLIGHT FIXING

Roofing Screws - 12.14 x 35 Hex Seal High Grip  
Skylight Screws - 12.14 x 45 Hex with Skylight Rubber Washer



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FIXING SCREWS - 4 of 14.20 x 22  
GIRT FIXING TO ROLLER DOOR JAMBS

× FIXING SCREWS - 4 of 14.20 x 22  
ROLLER DOOR HEADER FIXING

ROLLER DOOR DETAILS  
Side walls ONLY

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Fixing Instructions

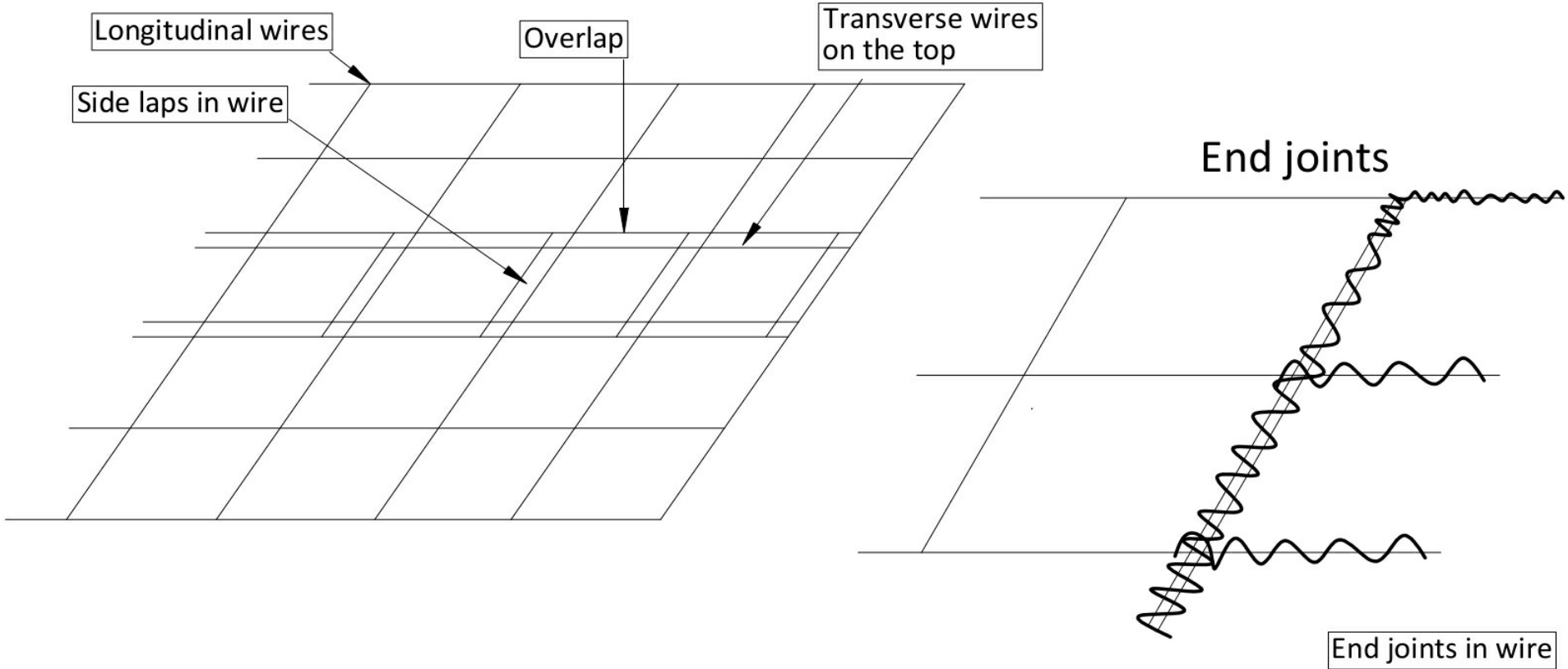
Transverse wires shall be on top of the longitudinal wires

**All Longitudinal wires** passed around anchor points with the tail of each wire being twisted four times around the main portion of the same wire.

**End joints in wire**, two transverse wires are placed together, the longitudinal tail wires (approx 300mm long) are tied around each other, one being twisted four times around the main portion of the same wire, the other longitudinal wire twisted once around the main portion of the same wire then four times around the transverse wires.

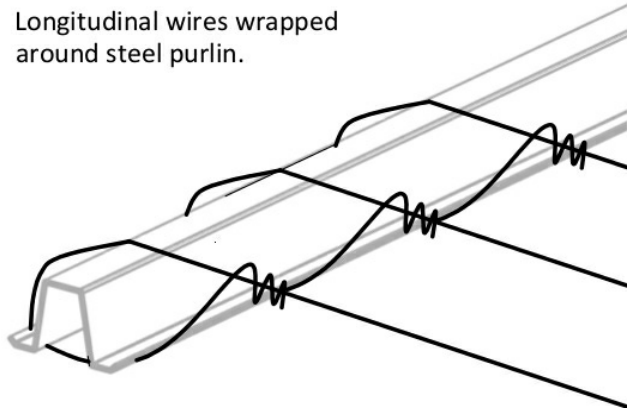
**Side laps** (i) For purlin spacing span/less than 1200mm, the runs of mesh shall be side-lapped by a minimum of one mesh spacing (150mm). (ii) For purlin spacing/span between 1200-2200mm, the runs of mesh shall be side-lapped by a minimum of one mesh spacing (150mm). Side laps shall be secured with ring fasteners fabricated from minimum 1.90mm diameter wire, or equivalent. fitted at maximum 900mm centres between each purlin on one side of the lap (iii) For purlin spacing/span greater than 2200mm, the runs of mesh shall be side-lapped by a minimum of two mesh spacing (300mm). Side laps shall be secured with ring fasteners fabricated from minimum 1.90mm diameter wire, or equivalent, fitted at maximum 600mm centers between purlin/span on both sides of the lap.

**Toughness.** Mesh shall be pulled taut to ensure only natural sag between each purlin or roof member.



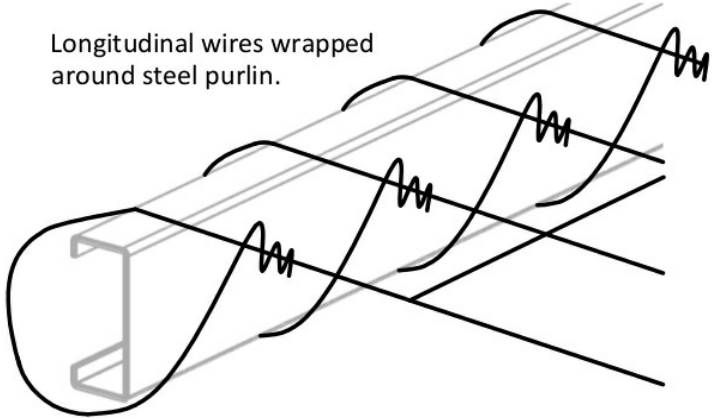
(Steel Z or Tophat purlin)

Longitudinal wires wrapped around steel purlin.



(End rafters or Eave purlin)

Longitudinal wires wrapped around steel purlin.



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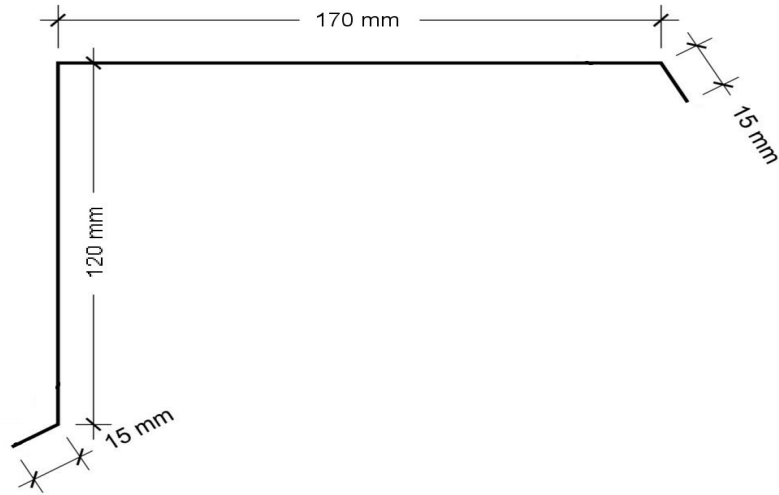
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Connection Details

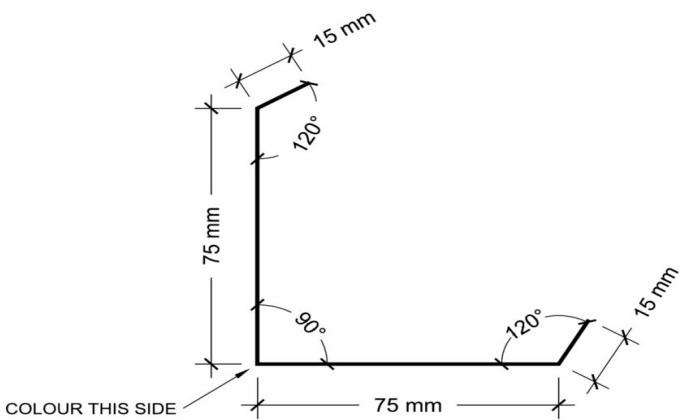
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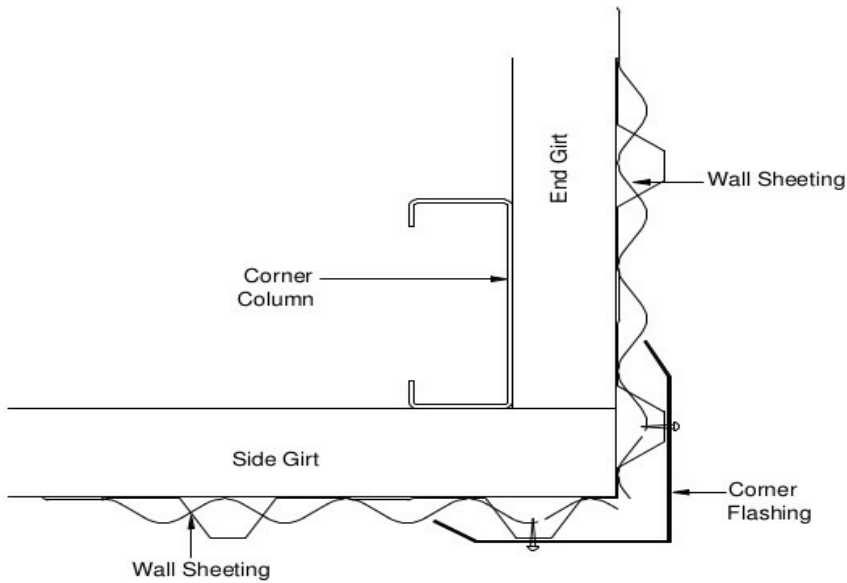




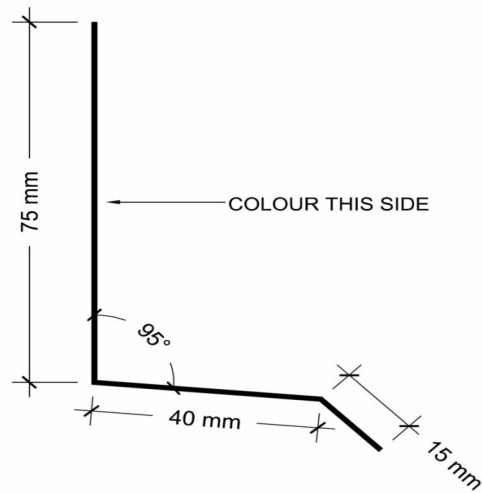
XF 10



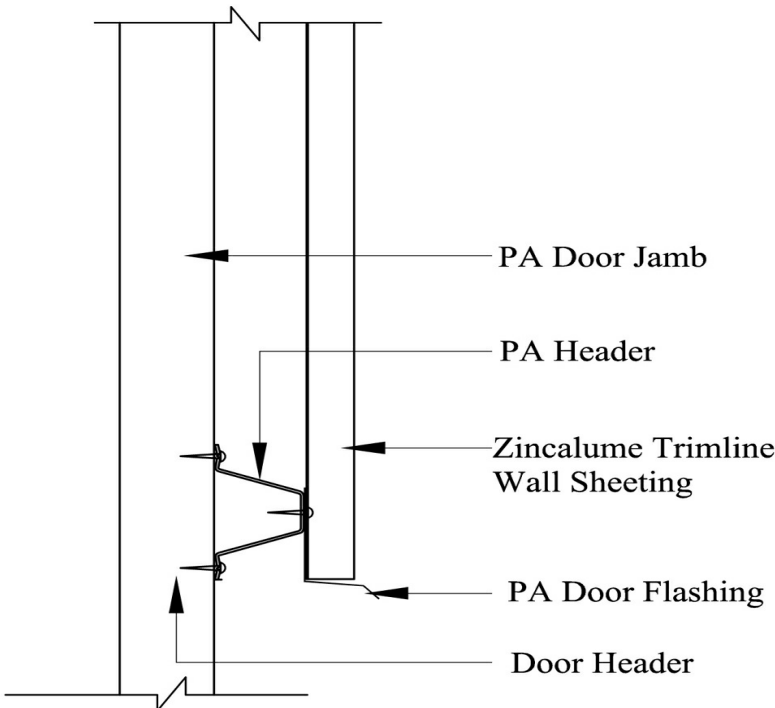
XF 21



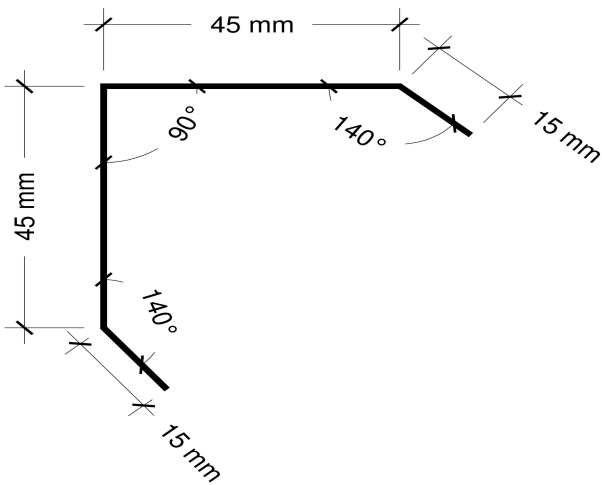
Corner Flashing XF21 - Connection



XF 23



PA Door Header Flashing - XF 23



NZ XF 28

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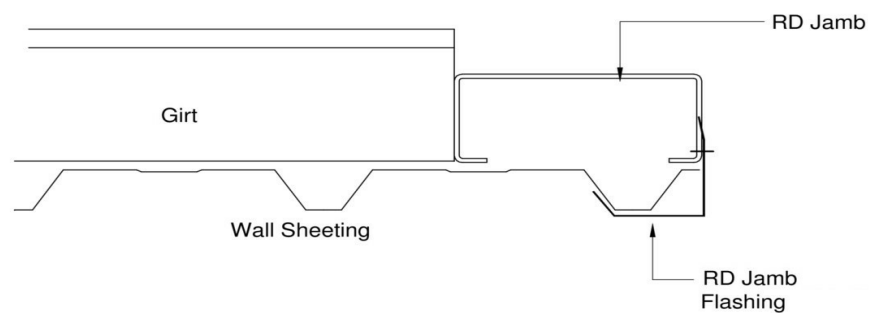
Drawing # ZSOU211130 - 9

Print Date: 23/05/21

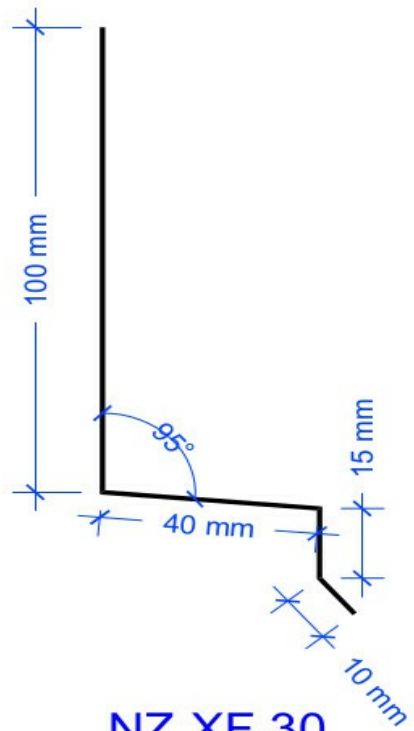
Flashing Fixing Details

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Page 1 of 3  
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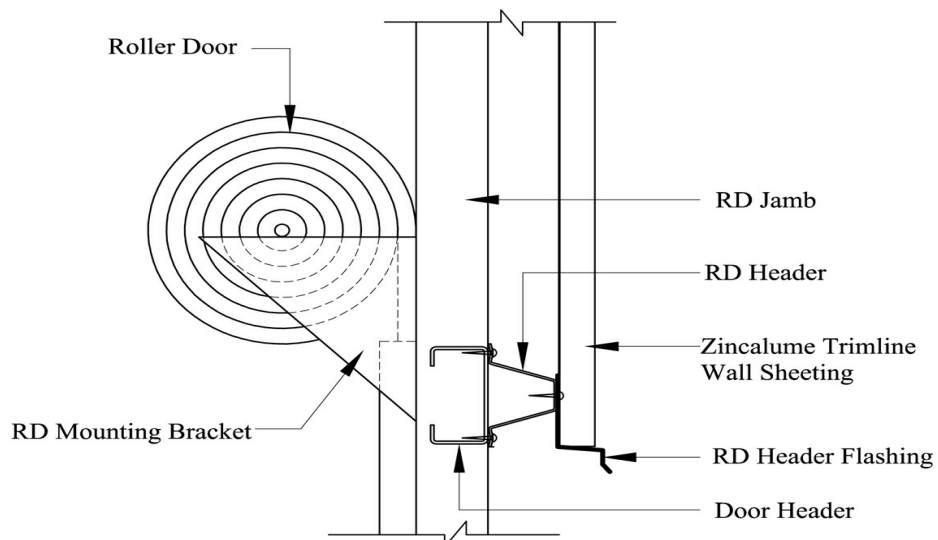
Seller: Wide Span Sheds South Island Ltd  
WideSpan South Island 2015 Ltd  
Phone: 3 550 2768  
Fax:  
Email: kevin.lynch@sheds.co.nz



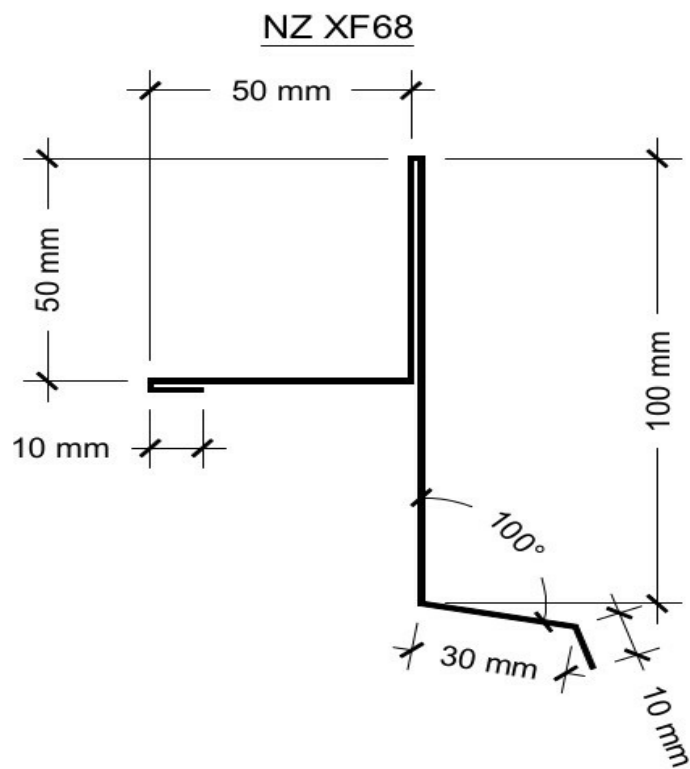
Wall RD Jamb Flashing XF28



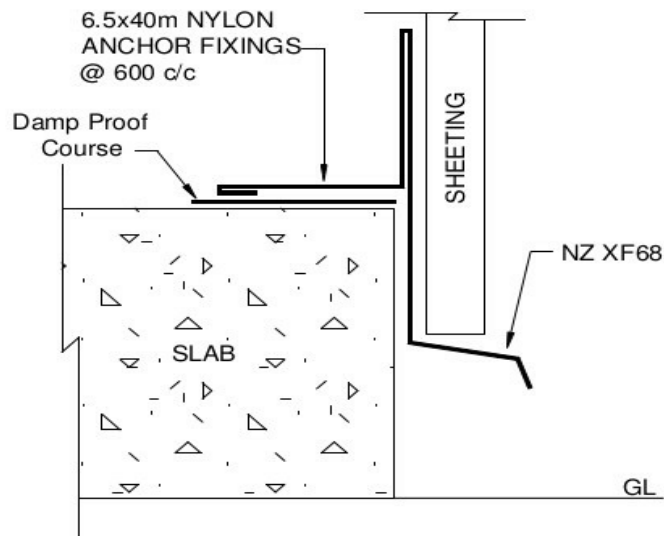
NZ XF 30



Roller Door Header Flashing - XF 30

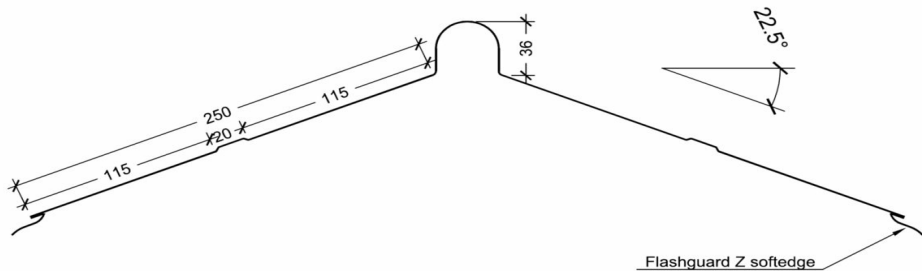


NZ XF68



NZ XF68

VERMIN FLASHING NZ XF68b



XF 87

Purchaser Name: Christopher and Leanne Parsons

Site Address: 61 Big Stone Rd Dunedin New Zealand

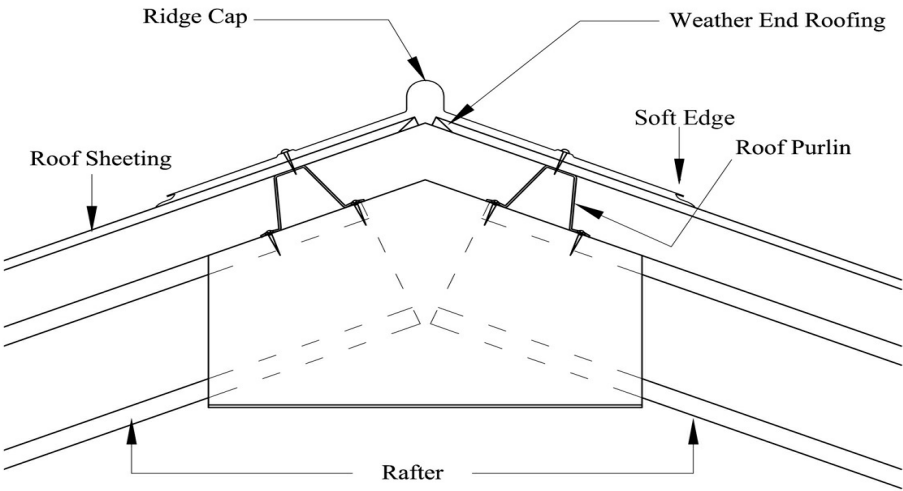
Drawing # ZSOU211130 - 9

Print Date: 23/05/21

Flashing Fixing Details

Not to Scale  
Page 2 of 3  
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Seller: Wide Span Sheds South Island Ltd  
WideSpan South Island 2015 Ltd  
Phone: 3 550 2768  
Fax:  
Email: kevin.lynch@sheds.co.nz

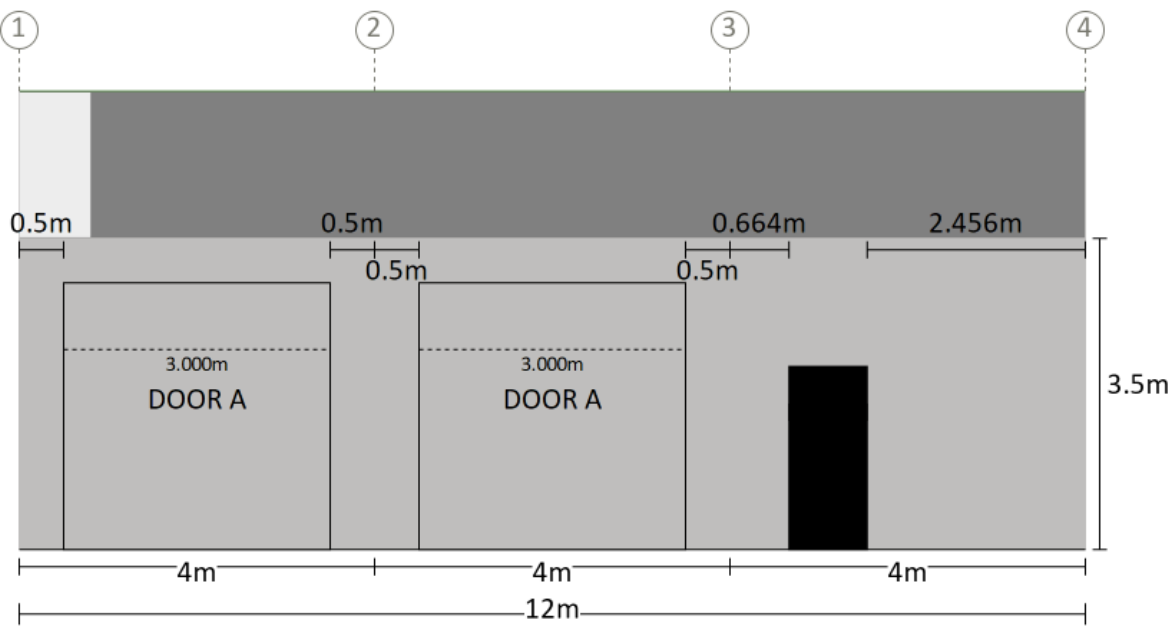


Ridge Cap - XF 87

Purchaser Name: Christopher and Leanne Parsons		<div>Flashing Fixing Details</div> <div>Not to Scale Page 3 of 3 © Copyright Steelx IP Pty Ltd</div>	<div>Seller: Wide Span Sheds South Island Ltd WideSpan South Island 2015 Ltd Phone: 3 550 2768 Fax Email: kevin.lynch@sheds.co.nz</div>	
Site Address: 61 Big Stone Rd Dunedin New Zealand				
Drawing # ZSOU211130 - 9	Print Date: 23/05/21			

This setout is provided as a guide only. It is the responsibility of the concreter/erector to confirm that all dimensions are correct.

Right Side



Measurements are from the outside of end girts (end bays) and/or centre of columns (mid bays) to inside of component opening size.

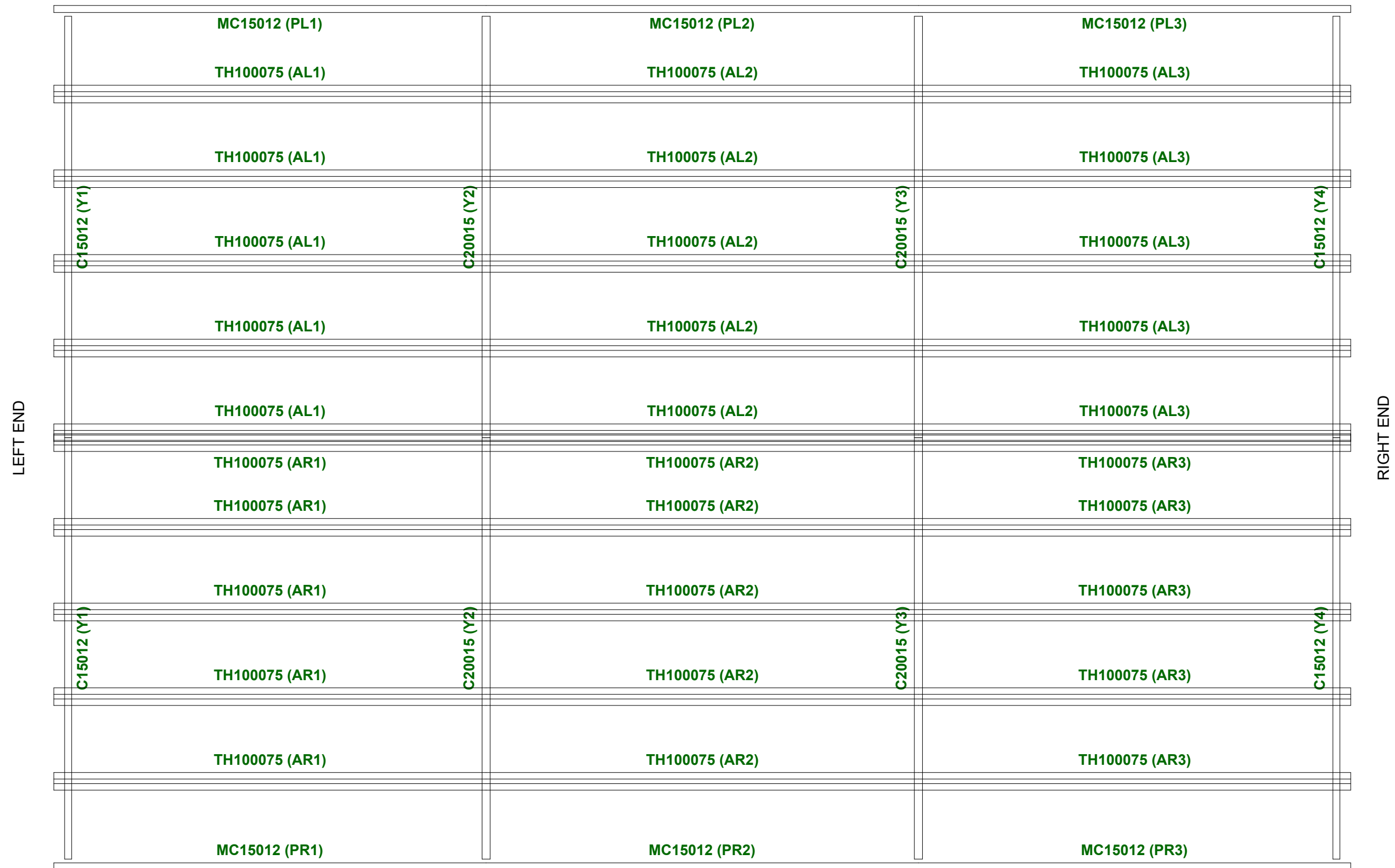
Purchaser Name: Christopher and Leanne Parsons		<div>Component Position</div> <div>Not to Scale</div> <div>Page 1 of 1</div> <div>© Copyright Steelx IP Pty Ltd</div>	<div>Seller: Wide Span Sheds South Island Ltd</div> <div>WideSpan South Island 2015 Ltd</div> <div>Phone: 3 550 2768</div> <div>Fax</div> <div>Email: kevin.lynch@sheds.co.nz</div>	
Site Address: 61 Big Stone Rd Dunedin New Zealand				
Drawing # ZSOU211130 - 10	Print Date: 23/05/21			



ROOF (TOP VIEW)

Notes:  
Brackets are not shown. Refer to Specification Details  
for more information. Opening members not labeled.

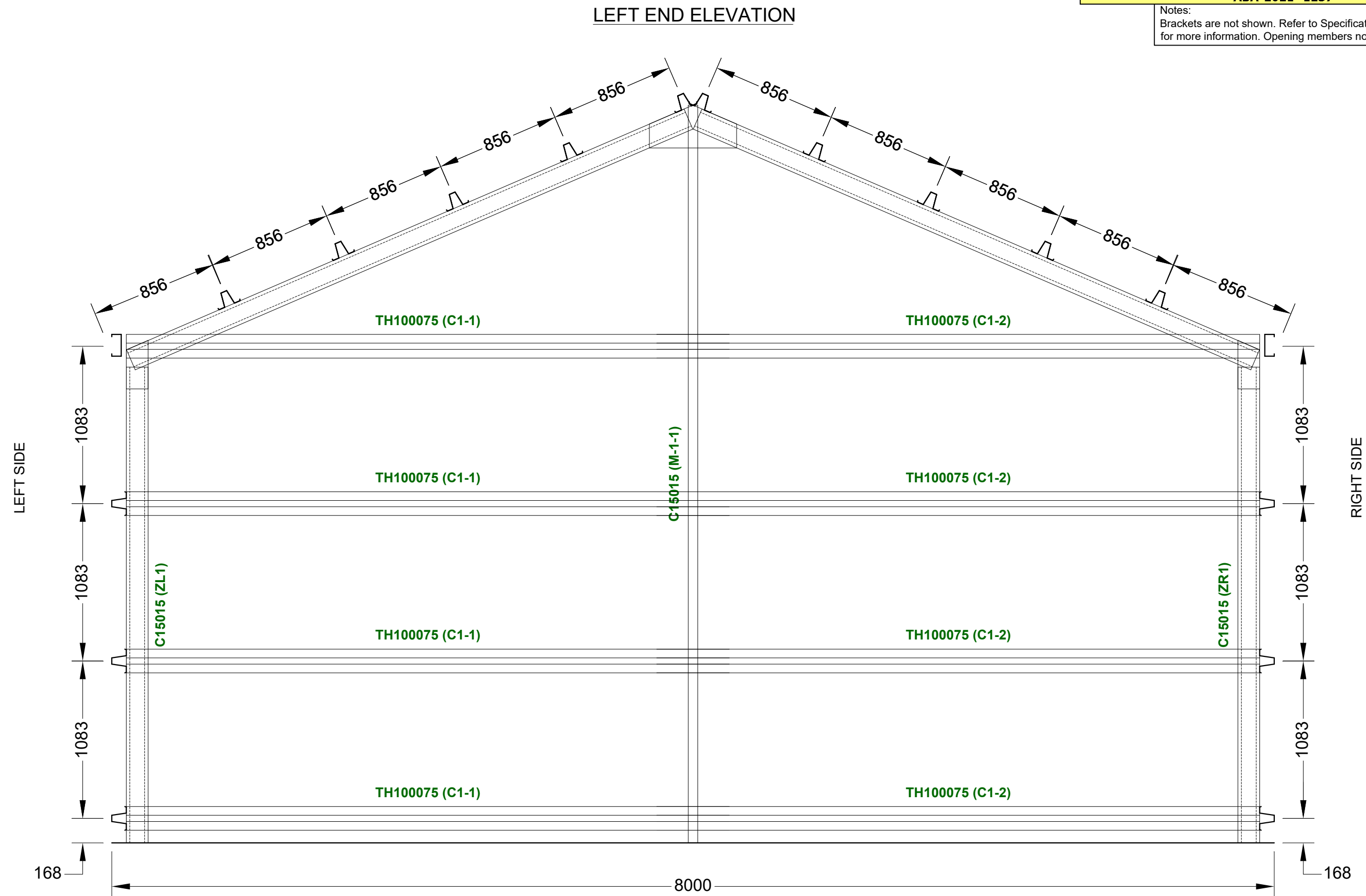
LEFT SIDE



RIGHT SIDE

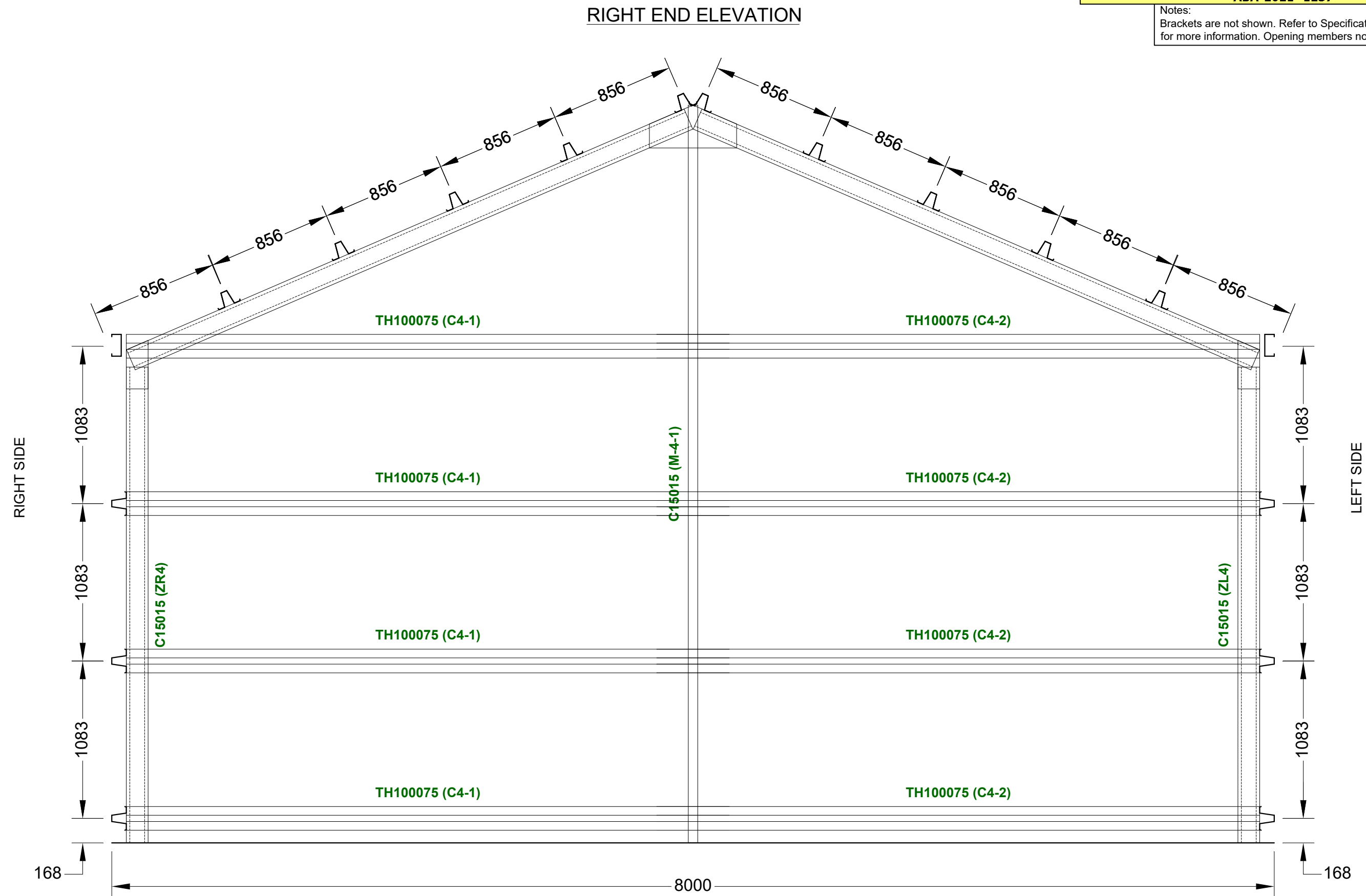
Revision	Date	Initial	Purchaser Name: Christopher and Leanne Parsons		<div>Purlin and Girt Plan</div> <div>NOT TO SCALE</div> <div>Page 1 of 4</div> <div>©Copyright Steelx IP Pty Ltd</div>	<div>Seller: Wide Span Sheds South Island Ltd</div> <div>Name: WideSpan South Island 2015 Ltd</div> <div>Phone: 3 550 2768</div> <div>Fax:</div> <div>Email: kevin.lynnh@sheds.co.nz</div>	
			Site Address: 61 Big Stone Rd Dunedin New Zealand				
			Drawing # ZSOU211130 - 11	Print Date: 23/05/2021			

Notes:  
Brackets are not shown. Refer to Specification Details  
for more information. Opening members not labeled.

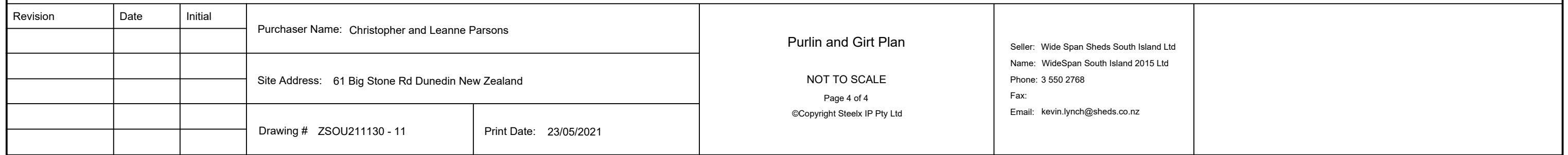


Revision	Date	Initial	Purchaser Name: Christopher and Leanne Parsons		Purlin and Girt Plan	NOT TO SCALE	©Copyright Steelx IP Pty Ltd	Seller: Wide Span Sheds South Island Ltd Name: WideSpan South Island 2015 Ltd Phone: 3 550 2768 Fax: Email: kevin.lynch@sheds.co.nz		
			Site Address: 61 Big Stone Rd Dunedin New Zealand							
			Drawing # ZSOU211130 - 11							Print Date: 23/05/2021

Notes:  
Brackets are not shown. Refer to Specification Details  
for more information. Opening members not labeled.



Revision	Date	Initial	Purchaser Name: Christopher and Leanne Parsons		Purlin and Girt Plan	NOT TO SCALE	©Copyright Steelx IP Pty Ltd	Seller: Wide Span Sheds South Island Ltd Name: WideSpan South Island 2015 Ltd Phone: 3 550 2768 Fax: Email: kevin.lynch@sheds.co.nz
			Site Address: 61 Big Stone Rd Dunedin New Zealand					
			Drawing # ZSOU211130 - 11	Print Date: 23/05/2021				





**AS-BUILT  
DRAINAGE PLAN**

Please nominate:

- ☐ Underslab  
☐ Foul  
☒ Stormwater  
☐ Effluent Disposal System

Building Consent No: 2021/1237

Site Address: 61 Bigstone Rd  
(Laid by White Plumbing & Drainage)

Plumber/Drainlayer: Mike Smeaton

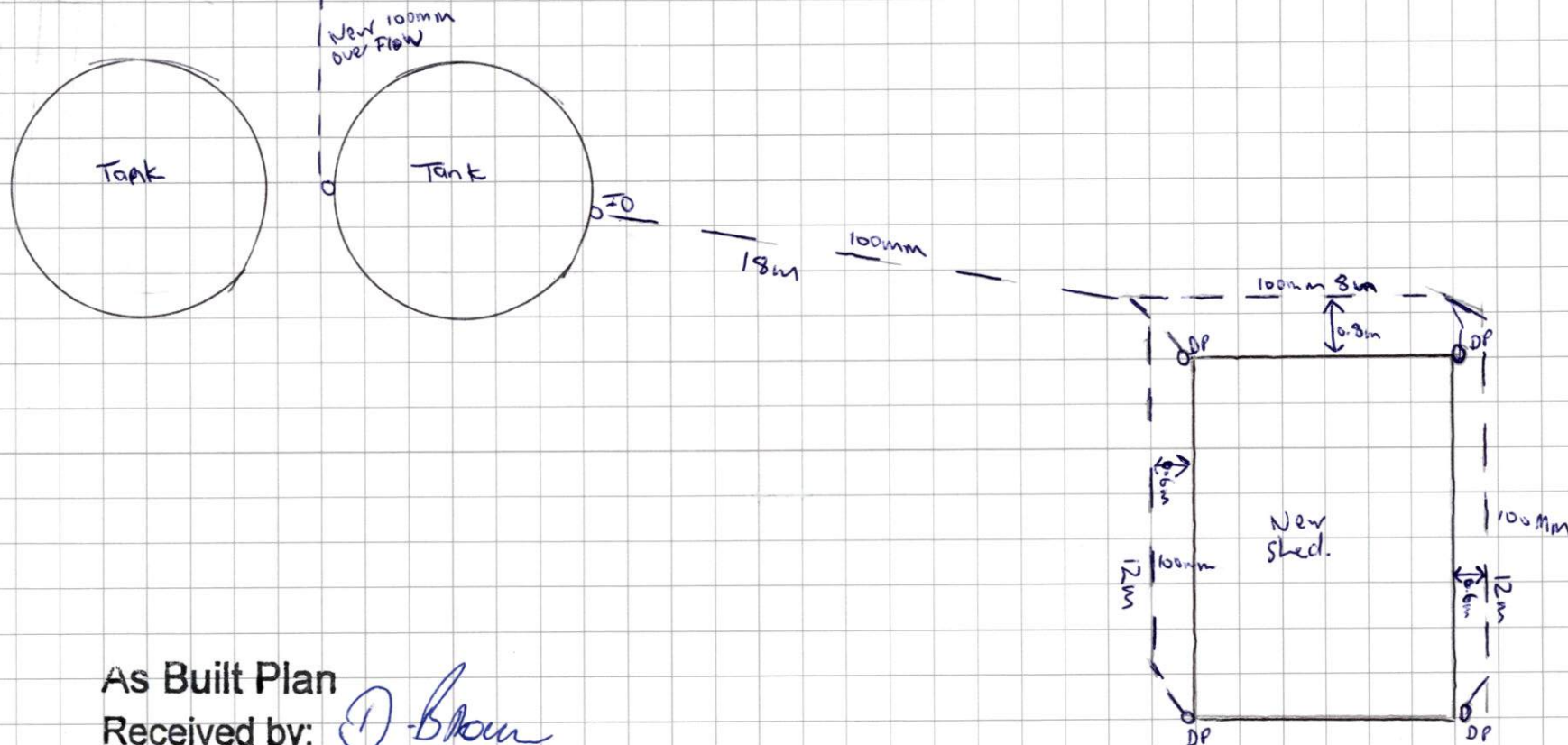
Registration No: 24864

Please show the following items:

1. Site plan of section
2. Must include street or road names & North point
3. Drain measurements
4. Foul water drains (red ink)
5. Septic tank and effluent lines (red ink)
6. Stormwater drain – including down pipe positions (blue ink)

7. GT – Gully trap positions
8. TV – Terminal vent positions
9. IP – Inspection points
10. Falls and invert levels

Scale drawn: N/A  
(Plans must not be drawn in pencil)

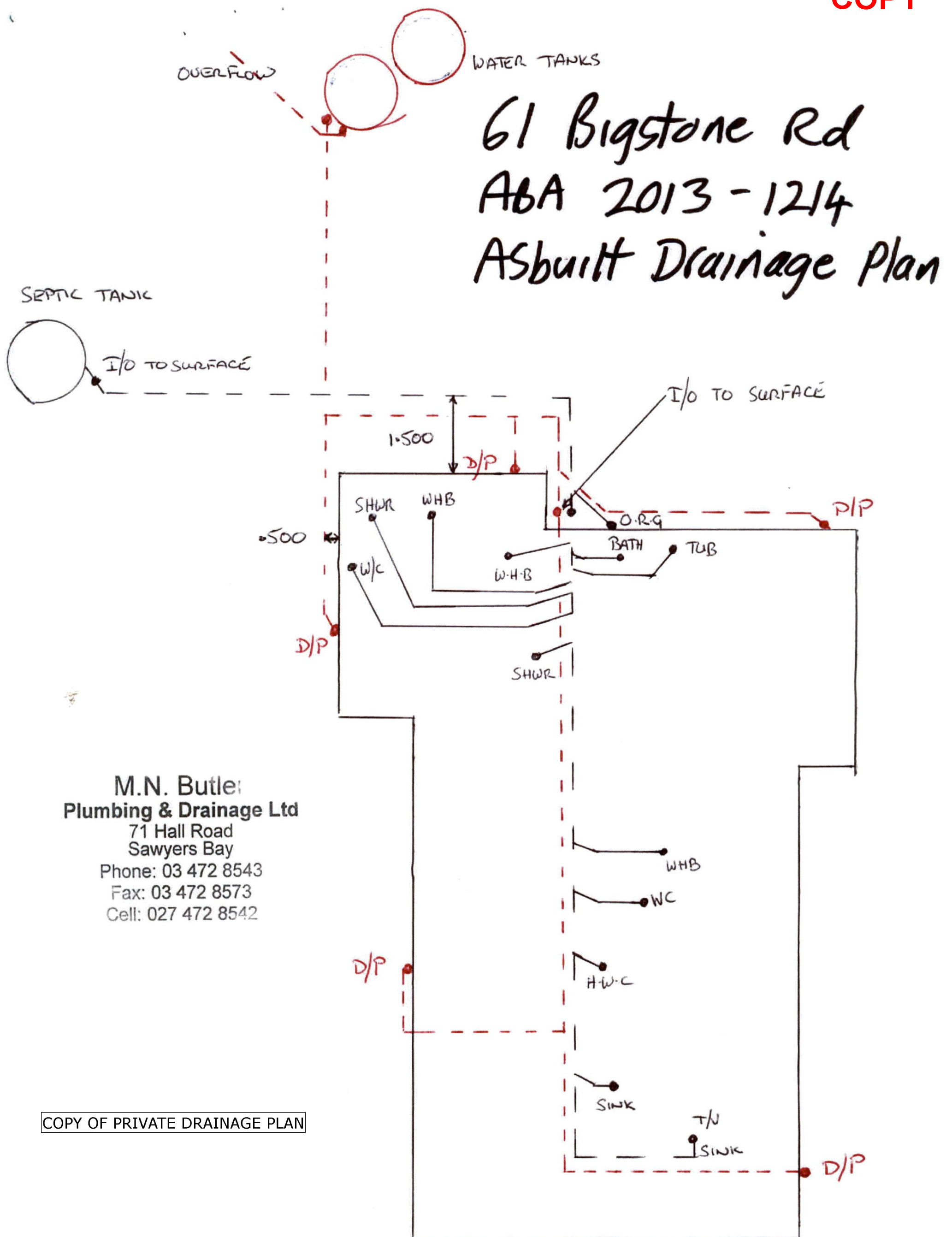


As Built Plan

Received by: D. Brown

Date: 21-12-21

ABA No: 2021-1237



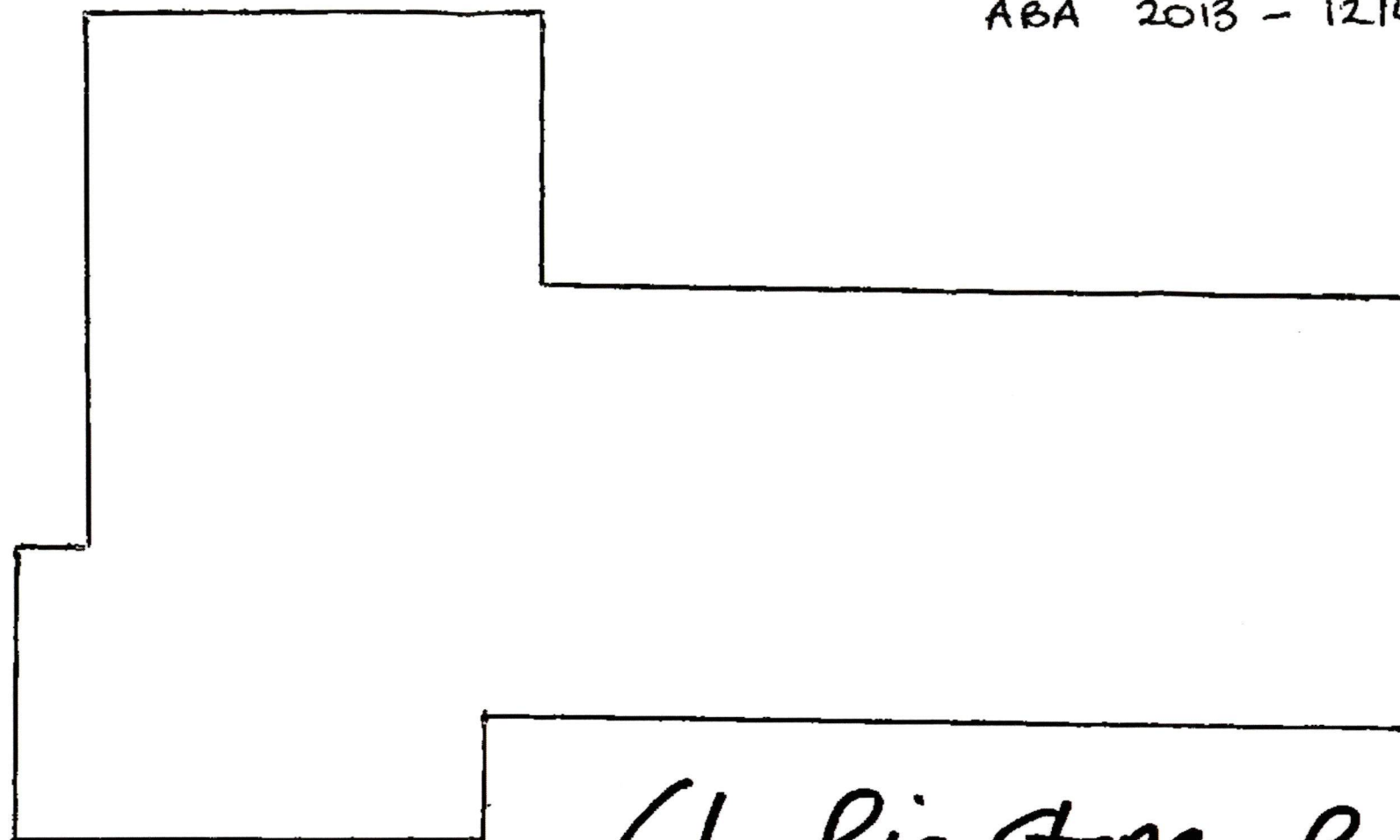
AS BUILT DRAINAGE PLAN  
# 63 BIG STONE RD

Received by: NMAC  
Date: 19/12/2013  
ABA No: 2013-1214



YOLANDER HEARING  
61 BIG STONE ROAD  
ABA 2013 - 1214

COPY



61 Big Stone Rd  
ABA 2013-1214  
ASbuilt Drainage Plan

As Built Plan

Received by: NMHC

Date: 19/12/2013

ABA No: 2013-1214

EFFLUENT DISPERSED FIELD.  
PINNED DOWN IN PINE TREES



PUMP LINE

SEPTIC  
TANK

COPY OF PRIVATE DRAINAGE PLAN

DUNEDIN CITY COUNCIL

CONSENT NOTICE PURSUANT TO SECTION 221  
RESOURCE MANAGEMENT ACT 1991

IN THE MATTER of Lots 1,2 and 5 being a  
proposed subdivision of Lot 7  
Deposited Plan 21252 being part  
Section 1 Block III Otokia  
District comprised in Certificate  
of Title 13A/250.


AND

IN THE MATTER of subdivision Consent pursuant  
to Sections 105,220 and 221 of  
The Resource Management Act 1991

Pursuant to Section 221 of the Resource Management Act 1991 the Dunedin City Council by resolution passed under delegated authority on the 30th day of January 1992 imposed the following conditions on the subdivision consent for Lots 1,2 and 5 being a proposed subdivision of Lot 7 Deposited Plan 21252 being part Section 1 Block III Otokia District comprised in Certificate of Title 13A/250.

- a) All native vegetation is to be retained on the steep faces within the gully system.
- b) Where gorse is cleared from the gully faces, suitable tree planting is to be carried out to maintain land stability.
- c) All earthworks are to be supervised by a registered engineer for access and house foundations where cuts exceed 1.2 metres.
- d) Concentrated stormwater from each building site is to be piped to the nearest watercourse.

DATED at Dunedin this 13th day of August 1992

  
.....  
ADMINISTRATION MANAGER  
DUNEDIN CITY COUNCIL

30NO 815461 Consent unc

Cpv - 01/01, Pgs - 002,23/06/03,11-59



DocID: 110472183



11.01 05.OCT192 815461

PARTICULARS ENTERED IN REGISTER  
LAND REGISTRY OTAGO  
ASST. LAND REGISTRAR

*[Signature]*

140/169  
140/172.  
140/171

RECALL FILE LABEL



F5000000500863