

Dunedin City Council Land Information Memorandum

96392

Issued in accordance with Section 44A of the Local Government Official Information and Meetings Act 1987

Should you require further clarification of any of the information listed in this report, please phone our Customer Services Agency on 03 477 4000.

This Land Information Memoranda (LIM) has been prepared in accordance with Section 44A of the Local Government Official Information and Meetings Act 1987. It contains only information obtained from the records held by the Dunedin City Council as at **7 February 2024**

The Dunedin City Council has not carried out an inspection of the land and/or buildings for the purposes of preparing this LIM. The Dunedin City Council records may not show illegal or unauthorised buildings or works on the land. Accordingly this report may not necessarily reflect the current status of the property. Examples of situations which affect the property but are not recorded in this report include: unauthorised work not known to Council and breaches of Consents or Licences that are not the subject of a formal Requisition or Notice.

The applicant is solely responsible for ensuring that the land or any building or works on the land is suitable for a particular purpose. The applicant should check the Records of Title as this report may not include information that is registered on the Records of Title. The Records of Title may record further information or obligations relating to the land.

Further information about this property may be available from other agencies such as the Otago Regional Council, Nova Gas, Telecom New Zealand (Chorus) or Delta Utility Services Limited.

PROPERTY ADDRESS

932 Brighton Road Brighton

LIM Applicant
Print Date

Bryan Robert Johnston
07-Feb-2024

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PROPERTY DETAILS

Property ID 5051310
Address 932 Brighton Road Brighton
Parcels LOT 10 DP 4454

Rubbish Day Thursday

RATES DETAILS

Rate Account 2051310
Address 932 Brighton Road Brighton
Valuation Number 27880-26600

Latest Valuation Details
Capital Value \$1,110,000
Land Value \$740,000
Value of Improvements \$370,000
Area (Hectares) 0.1541HA
Units of Use 1

Current Rates
Current Rating Year Starting 01-Jul-2023
Dunedin City Council Rates \$4,265.86

Rates Outstanding for Year \$2,132.96

For further explanation on the rate account, or to enquire about information referred to on this page, please contact Rates Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

BUILDING, PLUMBING AND DRAINAGE

Minimum Floor Levels

Clause E1.3.2 of the New Zealand Building Code requires that surface water, resulting from an event having a 2% probability of occurring annually, shall not enter buildings. This requirement applies to Housing, Communal Housing, Communal Residential and Communal non-residential buildings. For guidance when establishing minimum floor levels please refer to : <https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels> and for links to specific areas: <https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels/mfl-guidance>

Public Sewer sheets.

WARNING. Please note that public sewer reticulation sheets are scaled in either Imperial feet or Metric metres. Please check with the Duty Drainage Inspector if in doubt.

Dunedin City Council Private Drainage plans incomplete.

WARNING. The Dunedin City Council's private drainage records (plans) prior to 1 January 1993 may be incomplete or not clearly recorded. Owners therefore are advised to carry out work with due care to avoid damage to any private drain not detailed because of the lack of information filed in the Council's records.

Building and Drainage Information

Council Stormwater & Foul Sewer Connections available.

There is Council Stormwater outfalls and Foul Sewer Connections adjacent to this land, to which buildings within this land may connect. A plan of these is attached.

Private Stormwater Drains servicing existing buildings

There are Private Stormwater drains servicing existing buildings on this land.

Drainage plan indicates Private Stormwater Drain discharges to Natural Watercourse.

Private Foul Drains servicing existing buildings

There are Private Foul drains servicing existing buildings on this land.

Drainage plan indicates Private Foul Drain connects to Council Foul Sewer in Street.

Form 5 (building consent) copy

This property contains building consent application/s where a copy of the building consent (Form 5) is not able to be provided.

This may be due to the age of the consent and/or processes that were in place at the time.

Building and Drainage Consents

The following consents are recorded for this property:

Status Key:	BC	-	Building Consent Issued
	CCC	-	Code Compliance Certificate Issued
Archived	/CCC	-	In accordance with section 93(2)(b) of the Building Act, the consent was reviewed for code compliance after two years. Compliance with the Building Code could not be established and therefore the Code Compliance Certificate has been refused.
Refused		-	Work has not commenced and no extension of time applied for within 12 months of date of consent issue. Consent is of no further effect
Lapsed		-	

NOTE: This is not a comprehensive list of all building consent statuses

[ABA-2006-313362](#) Building Consent - Demolish Dwg/Erect Dwelling Gas Heater

Lodgement Date 04-Sep-2006
Decision Granted
Decision Date 30-Oct-2006
Current Status **CCC Issued**
Previous Number ABA62620
(Applications before 2007)

[ABA-1992-315366](#) Building Consent - PERMIT - Relocate Foul Sewer Connection

Lodgement Date 02-Jul-1992
Decision Granted
Decision Date 16-Jul-1992
Current Status **Historical Record**
Previous Number ABA920213
(Applications before 2007)

[ABA-1996-335226](#) Building Consent - Add to Dwg/Deck/Yunca Heater

Lodgement Date 28-Mar-1996
Decision Granted
Decision Date 24-Apr-1996
Current Status **CCC Issued**
Previous Number ABA961080
(Applications before 2007)

Building and Drainage Permits

Building Permits were issued prior to the introduction of the Building Act 1992. Code Compliance Certificates were not required or issued for permits.

[H-1966-273086](#) AAS19660471

B070789 - Add bedroom, (Hughes). The permit was lodged on 09-Aug-1966.

[H-1966-273087](#) AAS19660472

1094 - Pipe out bathroom and connect wastes to existing drainage, No Plan (Hughes). The permit was lodged on 09-Aug-1966.

[H-1983-283169](#) AAS19830504

B009212 - Erect garage (Hughes). The permit was lodged on 06-May-1983.

[H-1983-283170](#) AAS19830505

4138 and 4139 - Connect house water and foul sewer to street, No Plan (Hughes). The permit was lodged on 31-Mar-1983.

For further explanation on the current status of any consent, or to enquire about information referred to on this page, please contact Building Control Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

HAZARDS

SITE HAZARDS

No records were found of land instability, potential erosion, avulsion, falling debris, subsidence, slippage, alluvion or inundation.

The **Otago Regional Council** has produced a number of reports for the Dunedin City District which outline areas affected by natural hazards including slippage, flooding, subsidence and inundation.

These reports are publicly available and can be accessed here:
<https://www.orc.govt.nz/plans-policies-reports/reports-and-publications/natural-hazards>

These reports do not provide property specific information, and may not describe all natural hazards that affect the land that is the subject of this LIM report. We recommend that in addition to reading these reports, that you seek independent advice about how this property may be affected by natural hazards including natural hazards that are not described in the reports produced by the Otago Regional Council.

Otago Regional Council - Natural Hazards Database

The characteristics of general natural hazards in the vicinity of this property are also available on the Otago Regional Council's Natural Hazards Database.

<https://www.orc.govt.nz/managing-our-environment/natural-hazards/otago-natural-hazards-database>

HAZARDOUS SUBSTANCES

WARNING – Change in legislation and management of hazardous substances

On 1 April 2004, all Dunedin City Council Dangerous Goods Licences expired. From this date they became the responsibility of the Environmental Protection Authority (EPA) under the Hazardous Substances and New Organisms Act 1996. All new licences for hazardous substances were issued by independent Test Certifiers approved by the EPA. The Council no longer holds current information on the use of hazardous substances at these premises and hazardous substances may be present without the Council's knowledge. The Council was advised by the EPA in 2016 that Worksafe had taken over responsibility for managing Location Test certificates under the Hazardous Substances and New Organisms Act 1996. The EPA no longer hold any information in relation to Location Test Certificates If you have any questions, please contact Worksafe.

Contaminated Site, Hazardous Substances and Dangerous Goods Information

No information

ENVIRONMENTAL HEALTH

No records were found of Environmental Health involvement with this property.

LICENSING

Health Licensing

There are no records of any Health Licences for this property.

Liquor Licensing

There are no records of any Liquor Licences for this property.

CITY PLANNING

The information provided with this LIM on District Plan requirements and resource consents has been verified by City Planning in relation to the subject property only. All information included in relation to other land surrounding the site is indicative.

Accuracy of Boundaries

Knowing the true location of the property boundaries on the ground is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. Please note that the Council's aerial photographs may not accurately depict the extent of the property. The Record of Title for the site should be checked in the first instance. A surveyor may need to be consulted to establish the true location of the title boundaries on the ground.

Access to Site

The legality of any access to the site is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. It is recommended that the Record of Title and/or a lawyer be consulted regarding the legality of any legal and/or physical access to the site (and the maintenance thereof).

Heritage New Zealand Pouhere Taonga Act 2014

The Heritage New Zealand Pouhere Taonga Act 2014 applies in addition to any protection provided to a building or site by the District Plan. The Heritage New Zealand Pouhere Taonga Act 2014 makes it unlawful for any person to destroy, or modify the whole or any part of an archaeological site, whether or not the land on which the site is located is designated, or a resource or building consent has been issued, without the prior authority of Heritage New Zealand. The Heritage New Zealand Pouhere Taonga Act 2014 defines an archaeological site as a place associated with pre-1900 activity, where there may be evidence relating to the history of New Zealand. Pre-1900 buildings are considered archaeological sites under the Heritage New Zealand Pouhere Taonga Act 2014 and are also often associated with subsurface archaeological remains that provide evidence of pre-existing use of the site. Council records may not necessarily identify the precise date upon which an existing building was constructed. Contact the Dunedin office of Heritage New Zealand for further information: infodeepsouth@heritage.org.nz ; 03 477 9871.

Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011

The Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011 came into force on 1 January 2012. The National Environmental Standard applies to any piece of land on which an activity or industry described in the current edition of the Hazardous Activities and Industries List (HAIL) is being undertaken, has been undertaken or is more likely than not to have been undertaken. (The current edition of the HAIL is available on the Ministry for the Environment website at www.mfe.govt.nz.) Activities on HAIL sites may need to comply with permitted activity conditions specified in the National Environmental Standard and/or might require resource consent. (The Otago Regional Council should also be consulted for any rules in might have in regards to the use or development of contaminated sites.)

If a person wishes to establish whether a piece of land has had hazardous activities or industries conducted on it, and thus whether activities on that land are controlled by the National Environmental Standard, then the person must pay for a review of the information about the land held by the Council, or pay for a suitably qualified and experienced practitioner to undertake a preliminary site inspection.

Formal confirmation from the Council that resource consent is not required under the National Environmental Standard can only be given through a certificate of compliance application.

Consent Notices

There are no Consent Notices recorded for this property. It is recommended that the applicant check the Record of Title for any notices or covenants that may affect the property.

District Plan Information

Dunedin currently has an Operative Dunedin City District Plan, and the Proposed Second Generation Dunedin City District Plan (2GP). Accordingly, both of these plans may affect the development potential of this site and surrounding properties.

As a general principle, rules in the 2GP must be considered along with the rules of the Operative District Plan until such time as the rules of the 2GP become operative, or are treated as operative. The policies and objectives of both plans should also be considered.

The 2GP was publicly notified on Saturday 26 September 2015. The submission period closed on Tuesday 24 November 2015. Decisions on the 2GP were released on Wednesday 7 November 2018. The appeal period closed on Wednesday 19 December 2018. The schedule of appeals can be viewed at <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan/appeals-received-on-the-2gp>.

You are advised to refer to our website to determine which rules in the 2GP have legal effect or are fully operative, and to determine which rules in the Operative District Plan are now inoperative.

The 2GP is subject to change at any time. Variation 2 (Additional Housing Capacity) to the 2GP was notified on Wednesday 3 February 2021. No rule changes proposed in Variation 2 had legal effect from the date of notification. Rules that did not have submissions in opposition to them are deemed operative.

Please refer to our website for more information on Variation 2 at <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan/plan-change-dis-2021-1-variation-2>

Further rules will come into legal effect and/or become fully operative at the release of decisions and the resolution of appeals.

You should check with the Council whether any changes have occurred since the date this LIM report was issued. The information provided with this LIM on district plan requirements is applicable as at the date this LIM is issued: there may be changes to the district plan rules following the release of this LIM that may affect this site and surrounding properties.

You should ensure that you consult the information and relevant planning maps in the Operative District Plan which can be found on our website at <https://www.dunedin.govt.nz/council/district-plan/district-plan-2006> and the 2GP which can be found on our website at <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan> as well as at all Dunedin City Council service centres and libraries.

OPERATIVE DISTRICT PLAN INFORMATION

Zoning

This property is zoned as follows in the District Plan.

Zone

RESIDENTIAL 1

Indigenous Vegetation and Fauna - Interim Rule 16.6.2

Rule 16.6.2 applies in the Rural and Rural Residential zones, but not in any Urban Landscape Conservation Area. The rule imposes controls on the clearance or modification of indigenous vegetation, and on earthworks in respect of coastal habitat, wetland, skink habitat and indigenous vegetation. Also refer to Planning Map 79.

Type

Coastal Habitat

Noise

This property is located in a Noise Area where the noise limits outlined below apply. Rule 21.5.1(i)(b) also specifies a maximum noise limit of 75 dBA Lmax between 9.00 pm on any night and 7.00 am the following day measured at the boundary of the site or within any other site. Note that some activities have a resource consent or existing use rights that allow these limits to be exceeded. Some activities are also exempted from noise limits. Furthermore, the actual limits that apply will also depend on whether this site adjoins a Noise Area Boundary and whether there are Special Audible Characteristics. Refer to Section 21.5 of the District Plan for further details. Every occupier of land is also under a general duty to adopt the best practicable option to ensure that the emission of noise from land does not exceed a reasonable level.

Noise Zone

50Dt/40Nt dBA, 45SP dBA

Road Hierarchy

The roads listed below adjoining this property are classified as either Collector, District Regional or National Roads in the District Plan Roding Hierarchy. All other roads adjoining this property but not listed here are classified as Local Roads. Refer to Section 20 of the District Plan for more information.

Type

NZTA Control

REGIONAL

Brighton Rd

SECOND GENERATION PLAN INFORMATION

Zoning

- Township and Settlement (refer Section 15, Residential)

Scheduled Items

- Nil

Overlay Zones

- Nil

Mapped Areas

- Archaeological Alert Layer
- Critical Electricity Distribution Lines Mapped Area (part)
 - Name: 11kv East Taieri Number 3, Overhead High Voltage
 - Type: Overhead High Voltage
 - Buffer Distance: 5
- Road Classification Hierarchy (main roads within 30m of site)
 - Brighton Rd is a Strategic road

[Please note that some of the items above may only extend over part of the property. If there are multiple designations over the property, these may overlap.]

Resource Consents

There are no resource consents for this property.

RESOURCE CONSENTS WITHIN 50 METRES OF 932 BRIGHTON ROAD BRIGHTON

[5051307](#) 922 Brighton Road Brighton

[RMA-2001-364856](#) Resource Management Act (Historical Data) DOUBLE GARAGE WITHIN FRONT YARD (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 29/06/2001.

[5051308](#) 924 Brighton Road Brighton

[RMA-2001-364884](#) Resource Management Act (Historical Data) GARAGE ENCROACHING ON FRONT AND SIDE YARD AND HEIGHT PLANE (Non-Notified - Restricted Discretionary). The outcome was Granted on 17/07/2001.

[5051311](#) 934 Brighton Road Brighton

[RMA-1992-355296](#) Resource Management Act (Historical Data) ER DECK FRONT SIDE REAR DWG Ownr:MORSHIUS / App: MORSHIUS 83 GORDON RD MSI (Non-Notified - Non Complying). The outcome was Granted on 02/10/1994.

[5068072](#) 936 Brighton Road Brighton

[LUC-2010-347](#) Land Use Consent establish a deck on an existing dwelling. The outcome was Granted on 08/09/2010.

[POL-2009-51](#) Planning Other Legislation Creation of R-O-W 'A' and 'B'. The outcome was Granted on 01/10/2009.

[LUC-2009-259](#) Land Use Consent construct a new dwelling. The outcome was Granted on 22/09/2009.

[5107980](#) 926 Brighton Road Brighton

[RMA-2001-364884](#) Resource Management Act (Historical Data) GARAGE ENCROACHING ON FRONT AND SIDE YARD AND HEIGHT PLANE (Non-Notified - Restricted Discretionary). The outcome was Granted on 17/07/2001.

[5107981](#) 938 Brighton Road Brighton

[POL-2009-51](#) Planning Other Legislation Creation of R-O-W 'A' and 'B'. The outcome was Granted on 01/10/2009.

[LUC-2009-259](#) Land Use Consent construct a new dwelling. The outcome was Granted on 22/09/2009.

[5114217](#) 7 Scroggs Hill Road Brighton

[S221-2008-12](#) s221 Change or Cancellation of Consent Notice S221 Consent notice. The outcome was Granted on 15/07/2008.

[LUC-2008-383](#) Land Use Consent Technical non compliance as a result of subdivision. The outcome was Granted on 15/07/2008.

[SUB-2008-88](#) Subdivision Consent Two Lot Subdivision. The outcome was Granted on 15/07/2008.

[RMA-2006-370718](#) Resource Management Act (Historical Data) ERECT A GARAGE/SLEEPOUT ON SITE. The outcome was Granted on 02/11/2006.

[RMA-2004-367985](#) Resource Management Act (Historical Data) SUBDIVISION OF 3-2770HA & 809M2 TITLES INTO 9300M2 ANS 2.34HA LOTS (Non-Notified - Non Complying). The outcome was Granted on 15/07/2004.

If you would like a copy of any Resource Consent decision or advice on the current status and relevance of any planning matter referred to in the LIM, enquiries may be made at the Planning Enquiries desk on the Ground Floor of the Civic Centre, 50 The Octagon, or by phoning 477 4000 and asking for the Duty Planner. Planners are available at the Planning Enquiries desk to answer your enquiries between 8:30am and 5:00pm weekdays.

TRANSPORT

Transport is aware of the following information related to this property:

There is an existing encroachment licence for the garage locate within the road reserve, this licence is required to be transferred to the new property owner.

The following Transport information is attached to this document:

- Encroachmen Licence 932 Brighton Road.pdf, date 01/12/2023.

As of the 24th April 2015, the Transport Group no longer inspects the site as part of a LIM. Only the electronic records since 2002 have been examined for Transport information in relation to the property.

For further explanations on property owner obligations in regard to local road encroachments, vehicle entrances, vegetation management or retaining structures please refer to the Dunedin City Council website at <http://www.dunedin.govt.nz/services/roads-and-footpaths> or contact Transport on 477 4000.

For properties abutting the state highway, Waka Kotahi NZ Transport Agency is the Road Controlling Authority.

3 WATERS

WATER

Urban water supply area – Connected

This property is connected to the Dunedin City Council's urban (on-demand) water supply. Indicative water pressures are available to view at www.dunedin.govt.nz/water-pressure, and flows available to the property can be provided on request. Any change in water use (e.g. for a new commercial activity) requires a new application to be made to the Council. It is recommended that the applicant check the property for the location and suitability of the water service.

Terms and conditions of supply

All new and existing connections to the Dunedin City Council's water supply network are subject to the terms and conditions of the Dunedin City Council Water Bylaw 2011. The bylaw is available to view at www.dunedin.govt.nz/water-bylaw.

Water pressure

Indicative network water pressure to the property is shown on maps available at www.dunedin.govt.nz/water-pressure. Specific detail is available on request.

Water reticulation maps

A copy of the water reticulation map of Dunedin City Council infrastructure in the vicinity of the subject property is attached. These show the location of the water main in the road. It may or may not show the water service to the property. It is recommended that the applicant check the property

FOUL SEWER AND WASTE WATER

Drainage Reticulation Plans

A copy of the Dunedin City Council's drainage infrastructure in the vicinity of the subject property is attached. Public foul sewers are shown in red and stormwater sewers in green. All public drainage services are available to receive connections from the property and limited flows of stormwater may also be discharged to the street channel or an approved outfall.

Stormwater/Sewer Separation - Compliant

The Dunedin City Council requires the foul sewer and storm water being discharged from a property to be directed to the separate foul sewer and storm water networks, respectively. This property is in an area where inspections have been undertaken to ensure compliance with this requirement. This property was certified as complying with Council's requirements for storm water separation at the time of inspection on **6th August 1992**.

No comment is made with regard to this property's compliance with the requirement for storm water separation after the date of inspection.

Restrictions near Council infrastructure

There is Dunedin City Council water infrastructure located within the boundaries of this property, as shown on the attached reticulation plans.

Relevant deposited plans, certificates of title and memoranda of transfer at Land Information New Zealand (www.linz.govt.nz) should be reviewed for information relating to any existing registered easements. However, as the Local Government Act 2002 (LGA) provides statutory rights for public infrastructure, easements are not always registered.

No building or structure shall be constructed within 2.5 metres of any Council-owned underground infrastructure, or as specified on any registered easement, without the written approval of the Council.

Infrastructure shall not be damaged or otherwise interfered with. Prior to commencing any works within the subject property, all Council-owned structures, mains and service pipes, and associated fittings are to be located on-site and, if necessary, protected.

The Council can enter the land to inspect, alter, renew, repair or clean its infrastructure under the LGA. For planned works, reasonable notice will be given.

Within new land subdivisions the Council requires an easement in gross over public water supply infrastructure. The easement in gross must be a minimum of 3 metres wide, centred on the as-built position, and made in accordance with the Dunedin Code of Subdivision and Development 2010: Section 6.3.10.3 (Water).

Planting near infrastructure should be avoided, particularly large trees or other species whose roots could cause damage.

Information Regarding Watercourses

The controlling authority for all water and waterbodies in Dunedin City is the Otago Regional Council. The Regional Plan: Water addresses water take and use, diversions, damming, discharges and bed alteration under the Resource Management Act 1991. They are also responsible for the Flood Protection Management Bylaw 2012.

The controlling authority for watercourses in relation to stormwater drainage, and removal of obstructions in accordance with Local Government Act 1974 is the Dunedin City Council. The Council also issues building and resource consents for certain works around watercourses.

Not all watercourses within Dunedin City are recorded or known to the Council, therefore it is recommended that the applicant inspect the property for watercourses.

For further information on watercourses it is recommended the applicant read the Watercourse Information Sheet. A copy of this document is available on request or for download from the Dunedin City Council website www.dunedin.govt.nz

APPENDIX

Glossary of terms and abbreviations

The following are abbreviations and terms that may appear as a part of a LIM.

Consent, Permit, Licence & Complaint types

- AAB DCC Building permit
- AAD DCC Drainage permit
- AAG Green Island drainage permit
- AAH Hyde permit
- AAK St Kilda permit
- AAM Mosgiel permit
- AAP Port Chalmers permit
- AAS Silverpeaks permit
- AAT Maniototo permit
- ABA Application Building Act 1991
- AMD Amendment to a Building Consent
- BC Building Consent
- BCC Building Compliance Certificate - Sale of Liquor Act
- BCM Building Complaint
- CER Certifier
- COA Certificate of Acceptance
- DGL Dangerous Goods Licensing
- ENV Health complaint
- HTH Health licence
- LIQ Liquor licence
- NTF Notice to Fix
- NTR Notice to Rectify
- PIM Project Information Memorandum
- POL Planning Other Legislation
- RMA Resource Management Act - Resource consent
- RMC Resource consent complaint
- WOF Building Warrant of Fitness

Terms used in Permits & Consents

- ALT Alteration
- ADD Addition
- BD D/C Board drain in common
- BLD Building
- BLDNG Building
- BT Boundary trap
- B/T Boiler tube
- CCC Code Compliance Certificate
- DAP Drainage from adjacent property
- DGE Drainage
- DIC Drain in common
- DR Drainage
- DWG Dwelling
- FS Foul sewer
- HEA Heater
- ICC Interim Code Compliance
- MH Manhole
- PL Plumbing
- PLB Plumbing
- PTE Private
- SIS Sewer in section
- WC Water course
- WT Water table
- SW Stormwater

General terms

- RDMS Records and Document Management System



Photographic Map

Scale at A4:

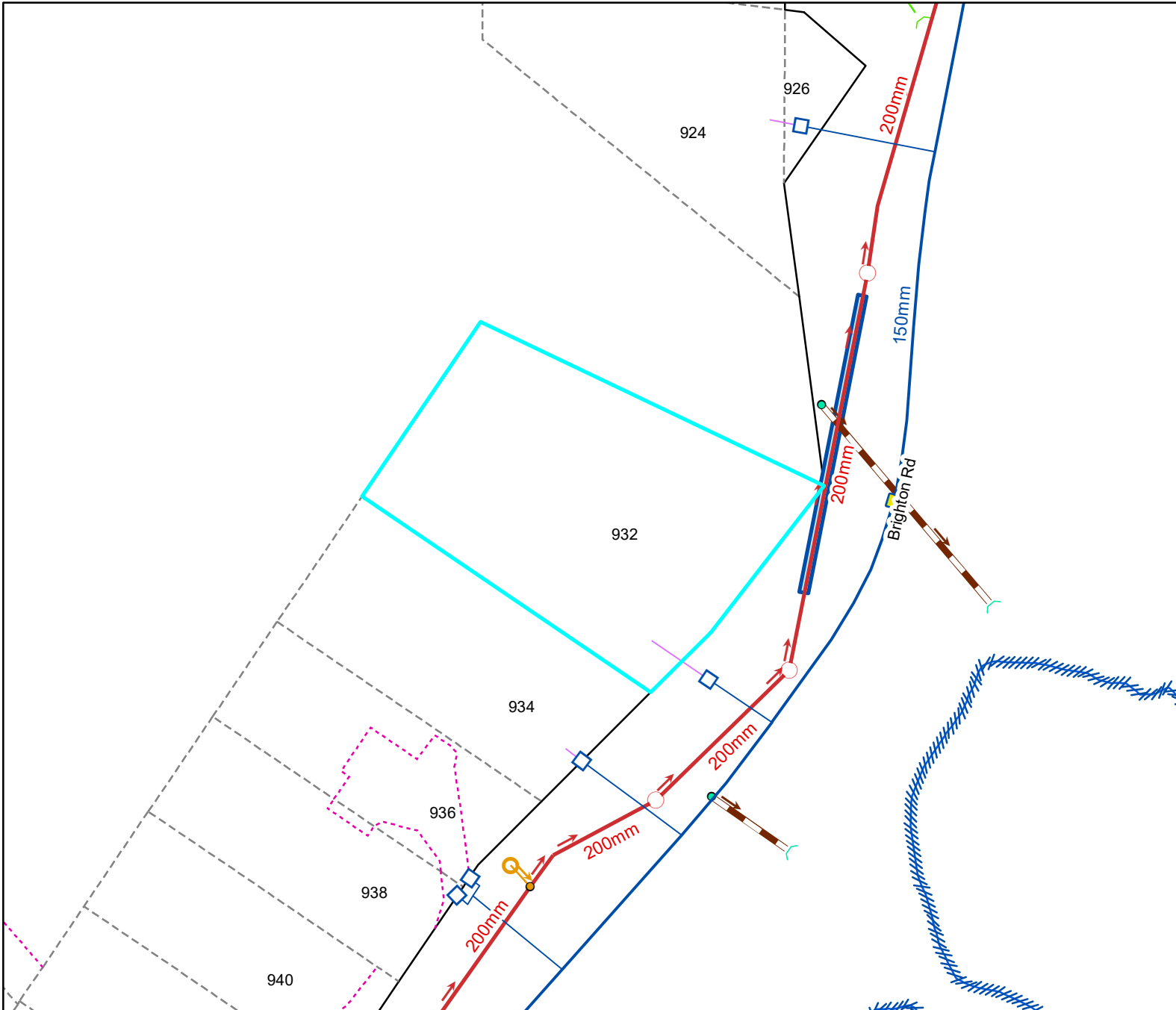
1:750

31/01/2024
8:10:26 PM



PARCEL LINES CAN VARY FROM
LEGAL PARCEL BOUNDARIES
This map is for illustration purposes only
and is not accurate to surveying, engineering
or orthophotographic standards. Every effort
has been made to ensure correctness and
timeliness of the information presented.

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2006, copyright Terralink International Ltd.



Legend

Water Supply	
	Manifold Box
	Water Meter
	Toby
	Meter without manifold box
	Retic Flow Meter
	Combination Meter
	Manifold Box With Restrictor
	Water Valve - Zone
	Non Return Valve
	Water Valve - Gate
	Water Valve - Sluice
	Water Hydrant
	Water Backflow Preventor - RPZ
	Water Non-Return Valve
	Water Pump Station
	Water Bore
	Water Treatment Plant
	Water Storage Tank
	Supply Main
	Trunk Main
	Disused
	Reticulation
	Scour
	Water Service Lateral
	Water Fire Service Lateral
	Water Critical Service Lateral
	Water Zone Boundary
	Water Reservoir
	Redundant Water Main

NOTE: Private water services have the same symbols as those above, however they are coloured pink.

Foul Sewerage	
	Standard Manhole
	Valve Chamber (pressurised)
	Boundary Kit
	Non-Return Valve
	Pump Station Domestic
	Drop Manhole
	Inspection Manhole
	Inspection Opening
	Lamphole
	Outlet
	Pump Station
	Treatment Plant
	Vent
	Foul Sewer Node
	Foul Drains in Common (public)
	Sewer
	Trunk Sewer
	Vent Line
	Rising Main
	Redundant Foul Sewer Pipe

NOTE: Private foul drains have the same symbols as those above, however they are coloured orange.

Stormwater	
	SW Bubble-up Tank
	SW Drop Manhole
	SW Insp Chamber and Grating Inlet
	SW Inspection Manhole
	SW Inspection Opening
	SW Lamphole
	SW Mudtank Inlet
	SW Outlet
	SW Pipe Inlet
	SW Pressure Manhole
	SW Standard Manhole
	SW Stormwater Node
	Roading Bubble-Up Tank
	Roading Mudtank
	Stormwater Main
	Stormwater Trunk Main
	DCC Open Channel
	Piped WC
	Open WC
	Culvert
	Stormwater Mudtank Pipe
	Redundant Stormwater Main
	SW Sump
	SW Pump Station

NOTE: Private stormwater drains have the same symbols as those above, however they are coloured light green.

General		Cadastral	
	DCC Water & Waste Structure		Parcel
	Hydro		Road/Rail
	Railway Centreline		Motorway Parcels
			Strata
			Easment (where recorded)

Full legend can be viewed at <https://www.dunedin.govt.nz/council-online/webmaps/waterservices>



Council Water & Drainage Services

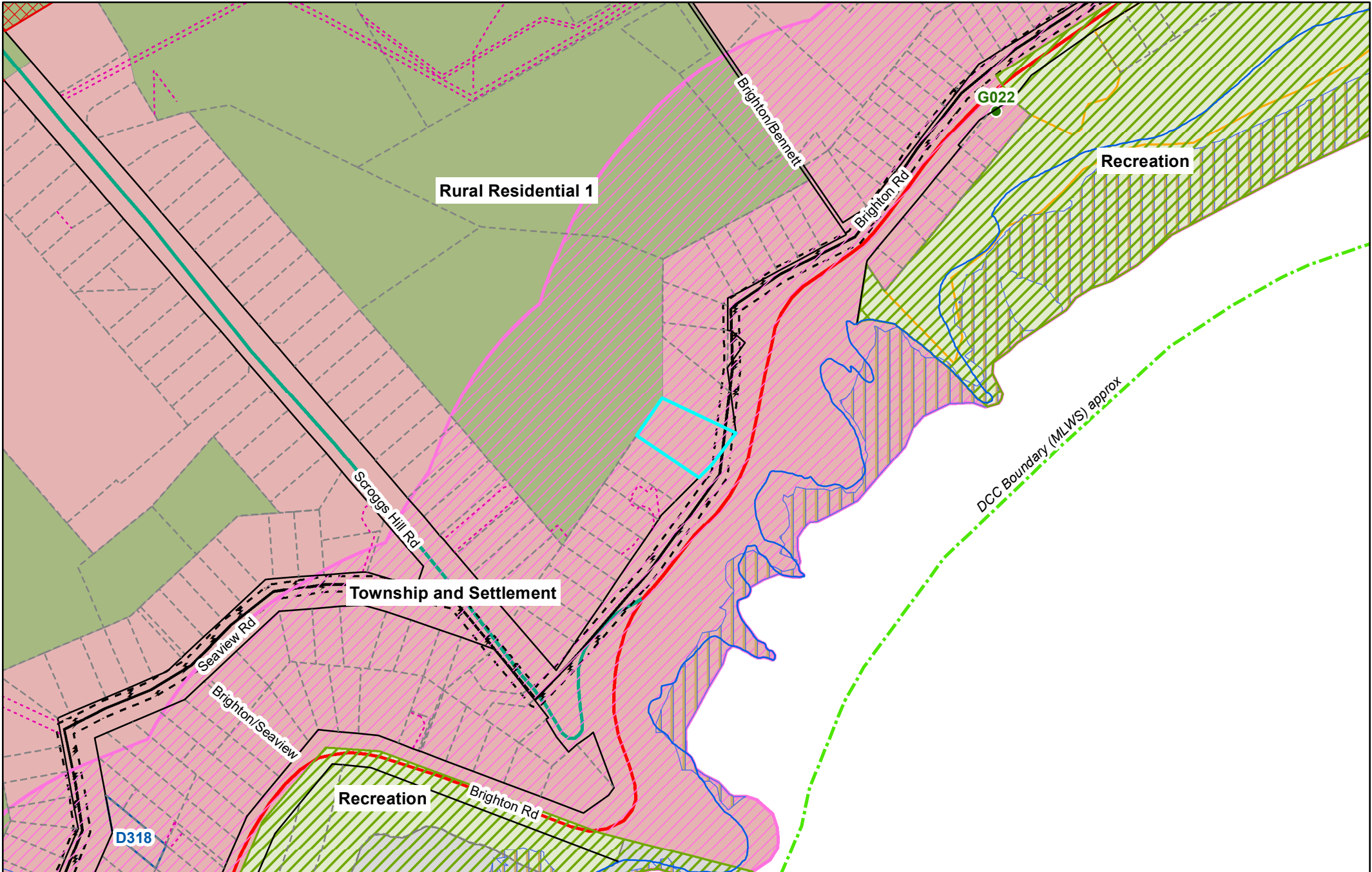
Information shown is the best available at the time of publishing. The accuracy and completeness of This information is variable. Private assets are typically not mapped. Recent changes may not be reflected. Verify on site before commencing work. For all enquiries phone 03 477 4000.

Scale at A4:
1:750
31/01/2024
8:10:35 PM



PARCEL LINES CAN VARY FROM LEGAL PARCEL BOUNDARIES
This map is for illustration purposes only and is not accurate to surveying, engineering or orthophotographic standards. Every effort has been made to ensure correctness and timeliness of the information presented.

2018-2019 Urban. Copyright DCC/Aerial Surveys Ltd. Rural, ORC/Aerial Surveys Ltd. CC BY 4.0 NZ
2013 Urban and rural photography Jan/Feb 2013. Copyright DCC. CC BY 3.0 NZ.
2006/2007 Urban photography March 2007, copyright NZAM. Rural photography March 2006, copyright Terralink International Ltd.



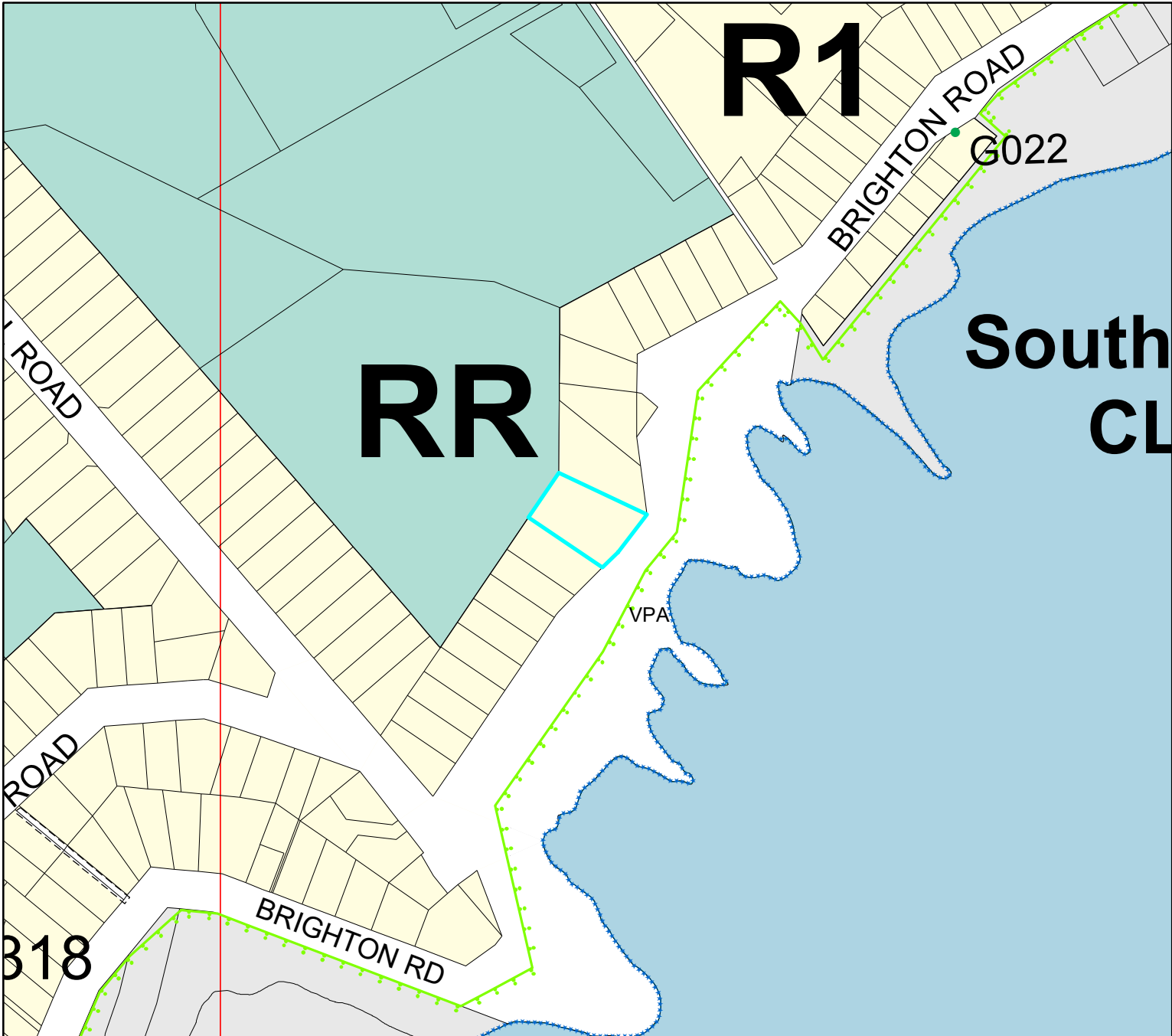
Second Generation District Plan

Scale at A4:
 1:3,000
 31/01/2024
 8:11:02 PM



PARCEL LINES CAN VARY FROM LEGAL PARCEL BOUNDARIES
 This map is for illustration purposes only and is not accurate to surveying, engineering or orthographic standards. Every effort has been made to ensure correctness and timeliness of the information presented.

2018-2019 Urban. Copyright DCC/Aerial Surveys Ltd. Rural, ORC/Aerial Surveys Ltd. CC BY 4.0 NZ
 2013 Urban and rural photography Jan/Feb 2013. Copyright DCC. CC BY 3.0 NZ.
 2006/2007 Urban photography March 2007, copyright NZAM. Rural photography March 2006, copyright Terralink International Ltd.



Legend

- Significant Trees
- ◆ Transpower Structure
- Transpower Lines
- Heritage Structure
- Heritage Facade
- X DP Archaeological Sites
- - - Airport Fan Designation 274 bdy
- Port Height Restrictions
- DP Designations
- Urban Landscape Conservation Area
- DP Taiari Aerodrome
- Restricted Water Supply Area
- Ground Water Protection Zone A
- Ground Water Protection Zone B
- Public Roads not Legal
- Unformed Legal Road

- #### Zones
- R1 - Residential 1 Zone
 - R2 - Residential 2 Zone
 - R3 - Residential 3 Zone
 - R4 - Residential 4 Zone
 - R5 - Residential 5 Zone
 - R6 - Residential 6 Zone
 - R6A
 - Campus Zone
 - Airport Zone
 - Stadium Zone
 - CA - Central Activity Zone
 - LSR - Large Scale Retail Zone
 - LA1 - Local Activity Zone 1
 - LA2 - Local Activity Zone 2
 - In1 - Industrial 1 Zone
 - In2 or SD - Industrial 2 or Special Development Zone
 - Port 1 Zone
 - Port 2 Zone
 - RR - Rural Residential Zone
 - Rural Zone
 - H - Harbourside

Port & Airport Noise

- X Air Noise Boundary
- X Airport Outer Control Boundary
- X Outer Port Control Boundary
- X Port Noise Boundary

Esplanade Requirement

- * Esplanade Reserve Required
- * Esplanade Strip Required

Landscape Management Boundary

- outside boundary
- boundary between areas
- prominence boundary

Townscape

- Townscape and Heritage Precinct Boundary - Internal
- Townscape and Heritage Precinct Boundary

Pedestrian Frontage

- Identified Pedestrian Crossing
- Verandah Required

Areas of Significant Conservation Value boundary

- ASCV Boundary
- ASCV Boundary - Internal
- Areas of Significant Conservation Value (Estuarine edge)
- Areas of Significant Conservation Value (Wetland)

Most detail not shown at scales smaller than 1:25,000
 Optimal scale range is 1:2000 - 1:5000

This Planning Map is indicative.

The official Planning Maps are compiled within the District Plan (Volume 2). This map is a representation of the official maps. However, due to the ability to display these maps at different scales, and the dynamic nature of the underlying cadastre, some inconsistencies or misalignment of data may be depicted which is not visible on the official maps. Consult Dunedin City Council for any clarification.



Operative District Plan Map

Scale at A4:
 1:3,000
 31/01/2024
 8:11:08 PM



PARCEL LINES CAN VARY FROM LEGAL PARCEL BOUNDARIES
 This map is for illustration purposes only and is not accurate to surveying, engineering or orthophotographic standards. Every effort has been made to ensure correctness and timeliness of the information presented.



CODE COMPLIANCE CERTIFICATE

DCCBCA F4 07B v2/0

Section 95, Building Act 2004

CCC No:	ABA62620	Telephone No:	03 477 4000
APPLICANT		PROJECT	
B R Johnston and P D Johnston 932 Brighton Road Brighton Dunedin 9035		Work Type: New Construction	
PROJECT LOCATION		Intended Use/Description of Work: Demolish Dwg/Erect Dwelling Gas Heater	
932 Brighton Road Brighton			
LEGAL DESCRIPTION			
Legal Description: LOT 10 DP 4454 Valuation Roll No: 27880-26600 Building Name: N/A		Intended Life: Indefinite, not less than 50 years This CCC also applies to the following Amended Consents: N/A	

The Building Consent Authority named above is satisfied, on reasonable grounds, that:

- (a) The building work complies with the Building Consent, and
- (b) The specified systems in the building are capable of performing to the performance standards set out in the Building Consent.

Compliance Schedule attached

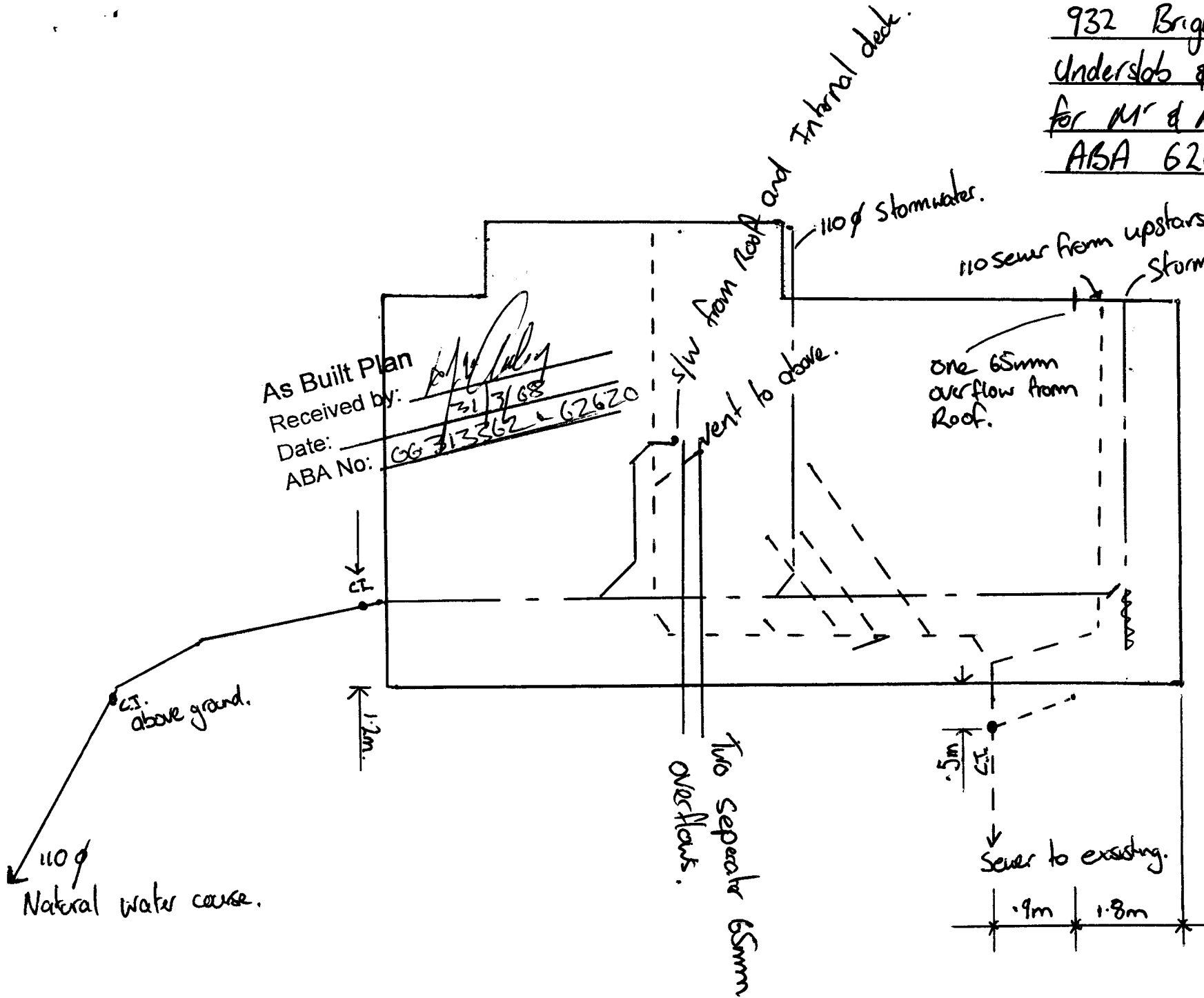
Signed for and on behalf of the Council:

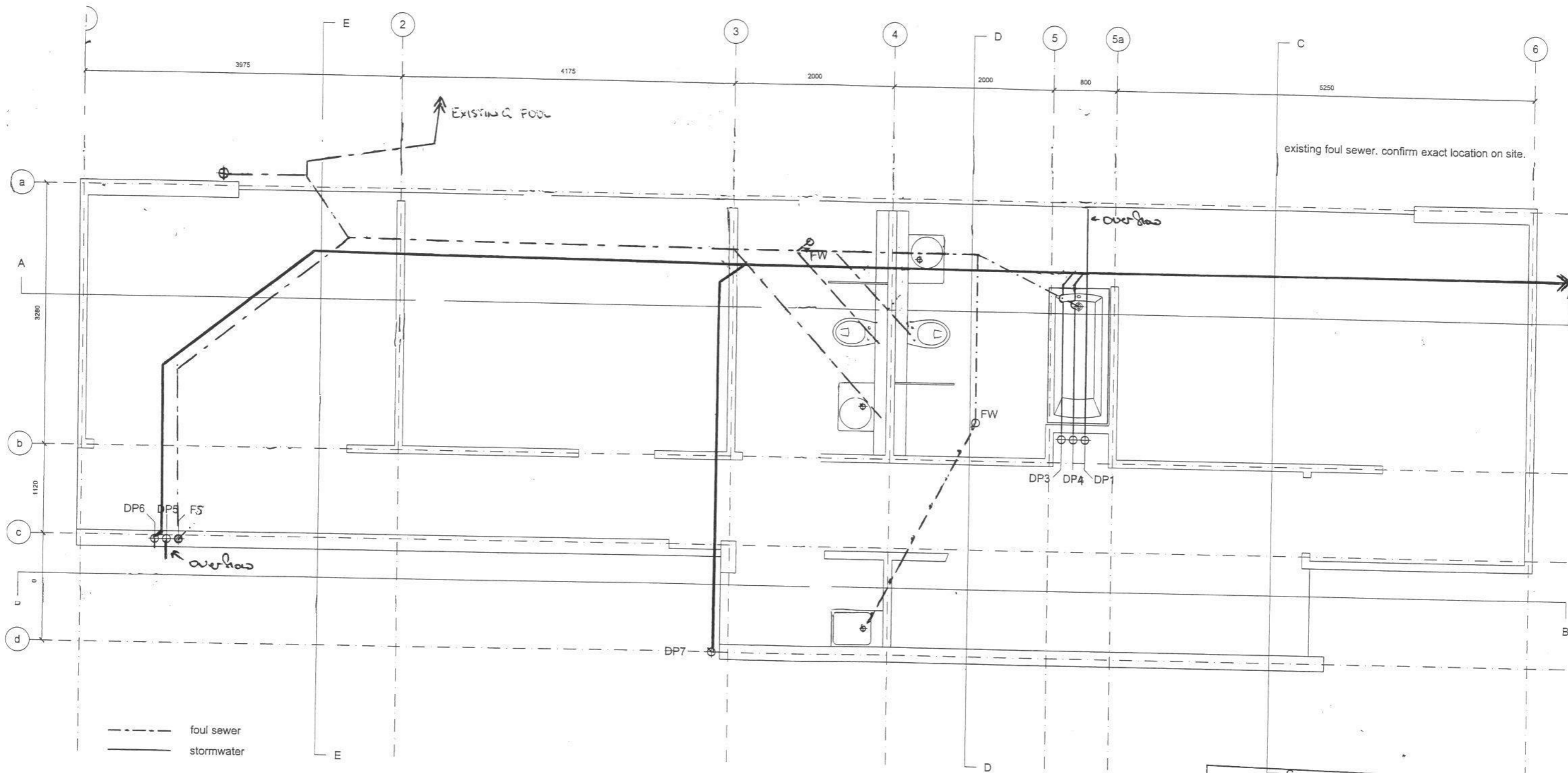
TEAM LEADER INSPECTIONS

Date: 26 May 2010

932 Brighton Rd.
 Understob & drainage plan
 for Mr & Mrs Johnstone.
 ABA 62620. (06 31 3362)
 ABA:

As Built Plan
 Received by: *[Signature]*
 Date: 21/3/68
 ABA No: 06 31 3362 - 62620





AS BUILT DRAINAGE PLAN

As Built Plan

Received by: *[Signature]*

Date: 31-3-10

ABA No: 2006-313362

Plumbing and Drainage
To comply with approved documents: E1/AS1, G12/AS1, G13/AS1 & 2

BLAIR JOHNSTON ARCHITECT 2005
PROJECT NAME:
932 BRIGHTON RD

NOTES:
do not scale drawings.
confirm all dimensions on site prior to any fabrication / construction work.

ISSUE:	DATE:	COMMENT:
A	01.10.2005	preliminary issue for review & comment
B	01.08.2006	issued for consent

DRAWING NAME:
DRAINAGE PLAN

DRAWING SCALE:
1:50

DRAWING NUMBER:
02.40

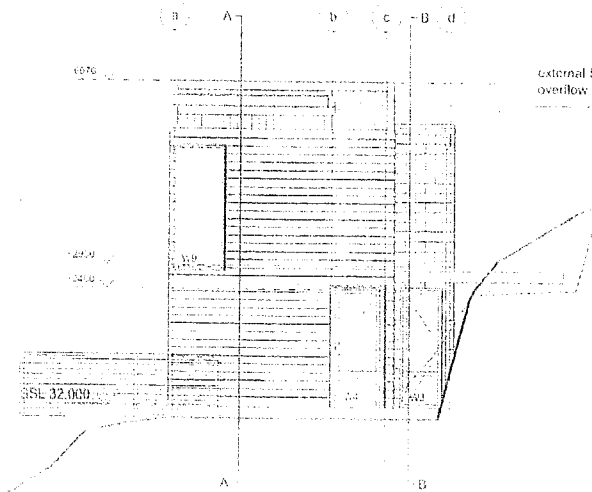
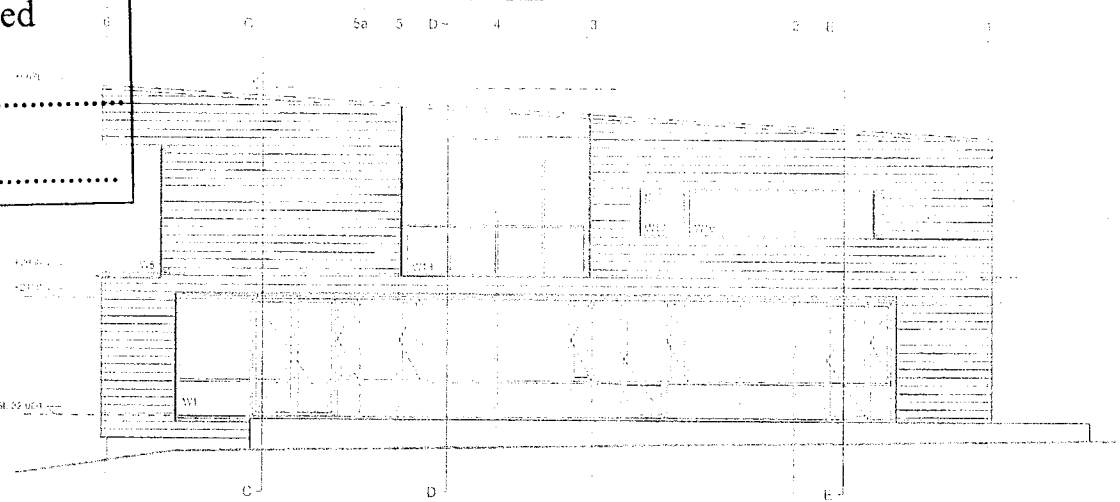
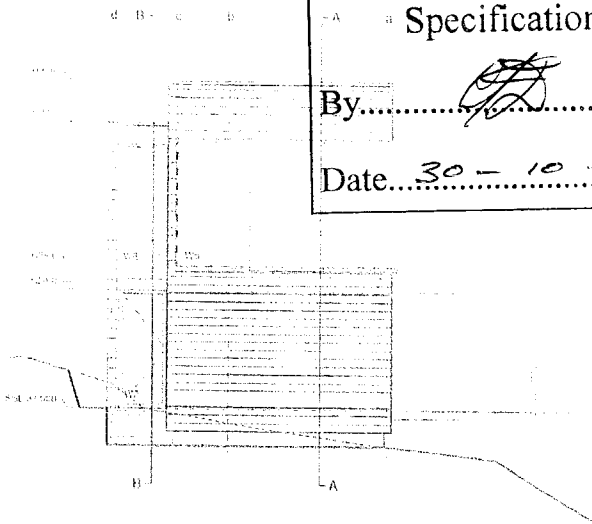
ISSUE:
B

Amended Plan and/or
Specification Received

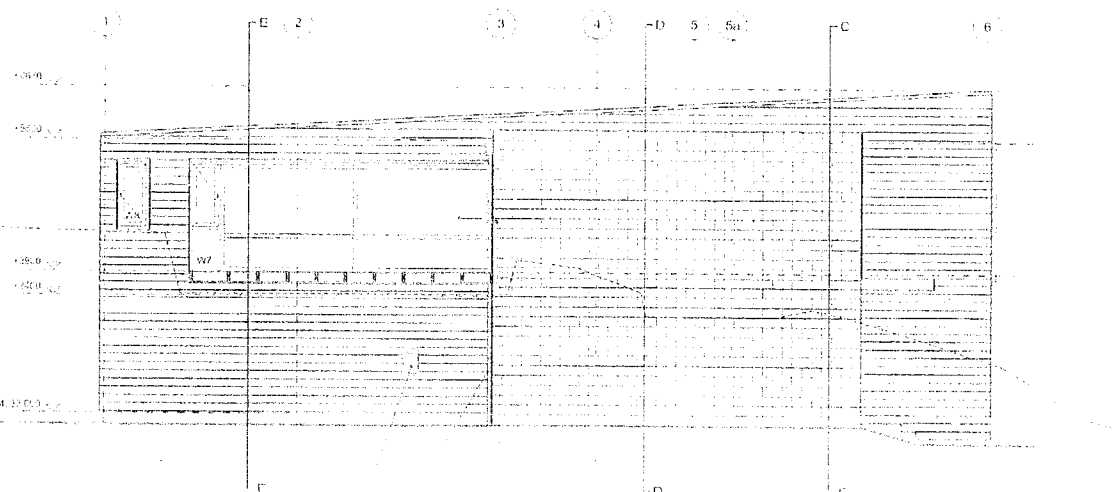
By 

Date 30-10-06

W1 first floor finish to
manufacturers specification



external S/S rainhead,
overflow outlet and downpipe



external wall mounted continuous
flow gas water heater
external S/S downpipe and
rainhead

BLAIR JOHNSTON ARCHITECTS
932 BRIGLITON RD

NOTES
1. ALL WORK TO BE IN ACCORDANCE WITH THE NEW ZEALAND BUILDING CODE (NZBC) AND THE NEW ZEALAND STANDARD (NZS) 3101:2006.

2. ALL WORK TO BE IN ACCORDANCE WITH THE NEW ZEALAND BUILDING CODE (NZBC) AND THE NEW ZEALAND STANDARD (NZS) 3101:2006.

ELEVATIONS
1:100

04.00 C

932 BRIGHTON RD ARCHITECTURAL DRAWINGS

TENDER & CONSENT ISSUE AUGUST 2006

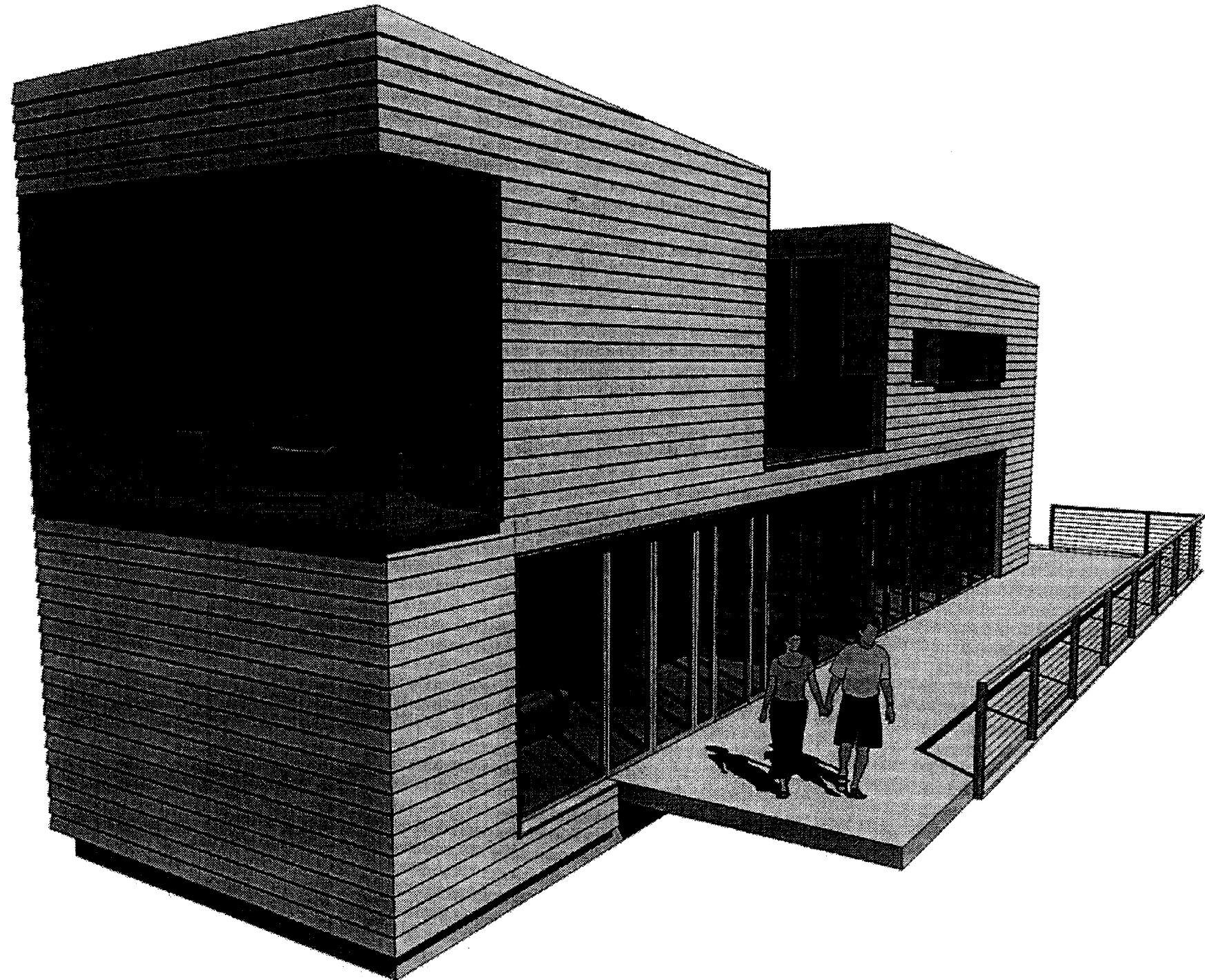
DUNEDIN CITY COUNCIL

Plans and Specifications Approved in accordance
with The New Zealand Building Code and Approved
Documents. To be retained on works
and produced on request

Building	Date
Drainage	Date
Health	Date

NOTE

See 01.01 B. Stamped.



	drawing number	drawing name	issue	date
preliminaries	01.00	existing site plan	b	01.05.2006
	01.01	proposed site plan	b	01.05.2006
	01.01	grid setout	b	01.05.2006
plans	02.00	ground floor plan	b	01.05.2006
	02.01	first floor plan	d	01.08.2006
	02.02	roof plan	b	01.05.2006
	02.10	concrete profile	b	01.05.2006
	02.20	first floor framing	d	01.08.2006
	02.21	roof framing	d	01.08.2006
	02.22	wall bracing drawings	b	01.05.2006
	02.30	ground floor electrical plan	b	01.05.2006
	02.31	first floor electrical plan	b	01.05.2006
	02.40	drainage plan	b	01.08.2006
	plan details	03.01	ground floor details 1	b
03.02		ground floor details 2	b	01.05.2006
03.03		ground floor details 3	b	01.05.2006
03.10		first floor details 1	c	01.08.2006
03.11		first floor details 2	b	01.08.2006
03.12		first floor details 3	b	01.08.2006
elevations & sections	04.00	elevations	c	01.08.2006
	04.10	section aa	b	01.05.2006
	04.11	section bb	c	01.08.2006
	04.12	section cc	b	01.05.2006
	04.13	section dd	b	01.05.2006
	04.14	section ee	b	01.05.2006
section details	05.00	section aa details 1	d	01.08.2006
	05.01	section aa details 2	c	01.08.2006
	05.02	section aa details 3	b	01.05.2006
	05.03	section aa details 4	b	01.05.2006
	05.04	section aa details 5	c	01.08.2006
	05.10	section bb details 1	b	01.05.2006
	05.11	section bb details 2	b	01.05.2006
	05.20	section cc details 1	c	01.08.2006
	05.21	section cc details 2	c	01.08.2006
	05.22	section cc details 3	b	01.05.2006
	05.30	section dd details 1	c	01.05.2006
	05.31	section dd details 2	c	01.08.2006
	05.40	section ee details 1	c	01.08.2006
	05.41	section ee details 2	d	01.08.2006
	05.50	typical balustrade detail	b	01.05.2006
	05.60	sheet metal details	a	01.05.2006
schedules	06.10	aluminium window schedule	c	01.08.2006
	06.11	steel window schedule	c	01.08.2006
	06.12	structural steel schedule 1	b	01.04.2006
	06.13	structural steel schedule 2	c	01.08.2006
garage retaining wall	07.00	retaining wall plan	b	01.08.2006
	07.01	retaining wall sections	b	01.08.2006

BLAIR JOHNSTON ARCHITECT 2005

PROJECT NAME:
932 BRIGHTON RD

NOTES:

do not scale drawings.
confirm all dimensions on site prior to any
fabrication / construction work.

ISSUE:

A	20.12.2005
B	01.05.2006
C	01.08.2006

COMMENT:

preliminary issue for review & comment
tender and consent issue
reissued for consent

DRAWING NAME:

DRAWING REGISTER

DRAWING SCALE:

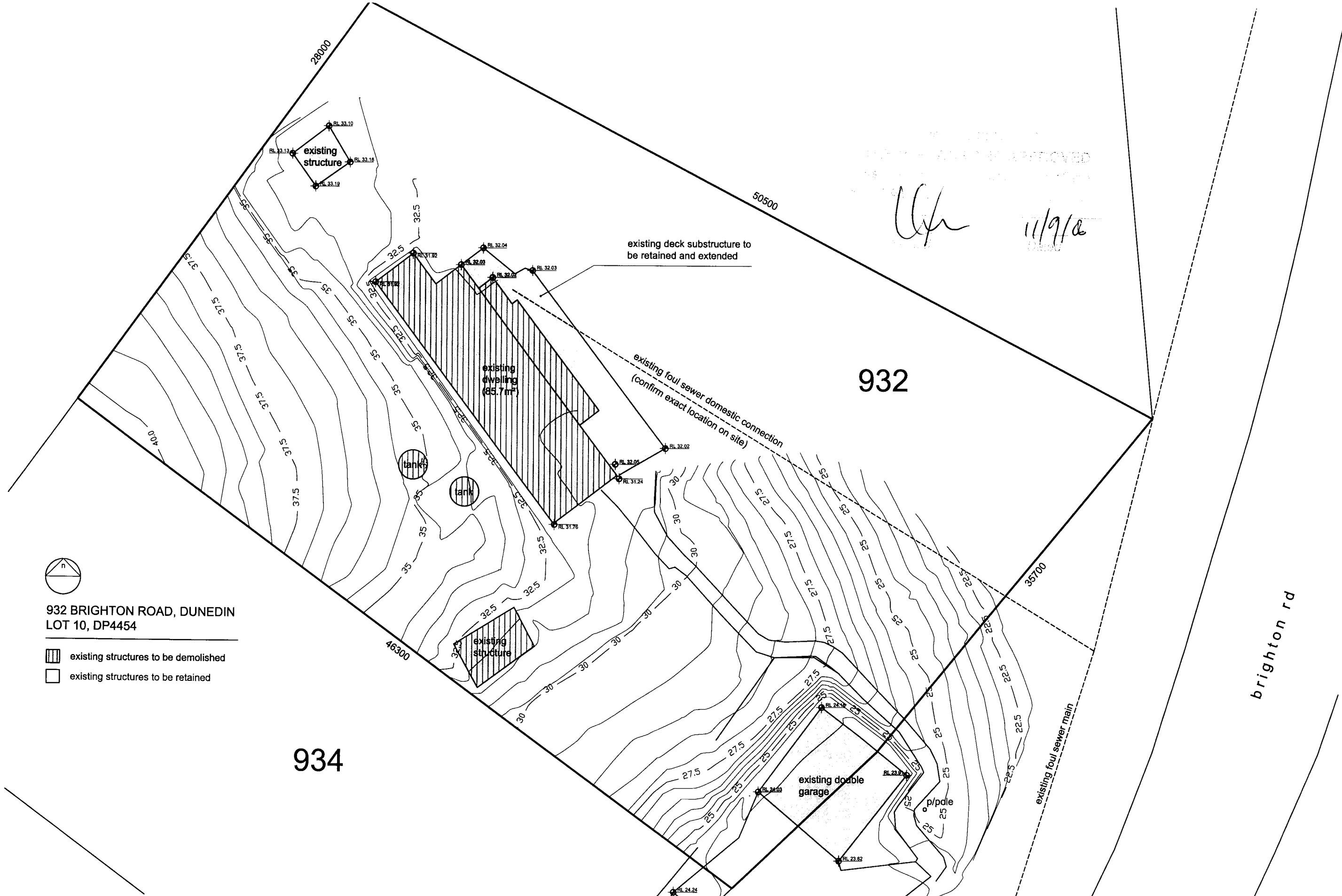
N.T.S

DRAWING NUMBER:

00.00

ISSUE:

C



APPROVED
 11/9/05

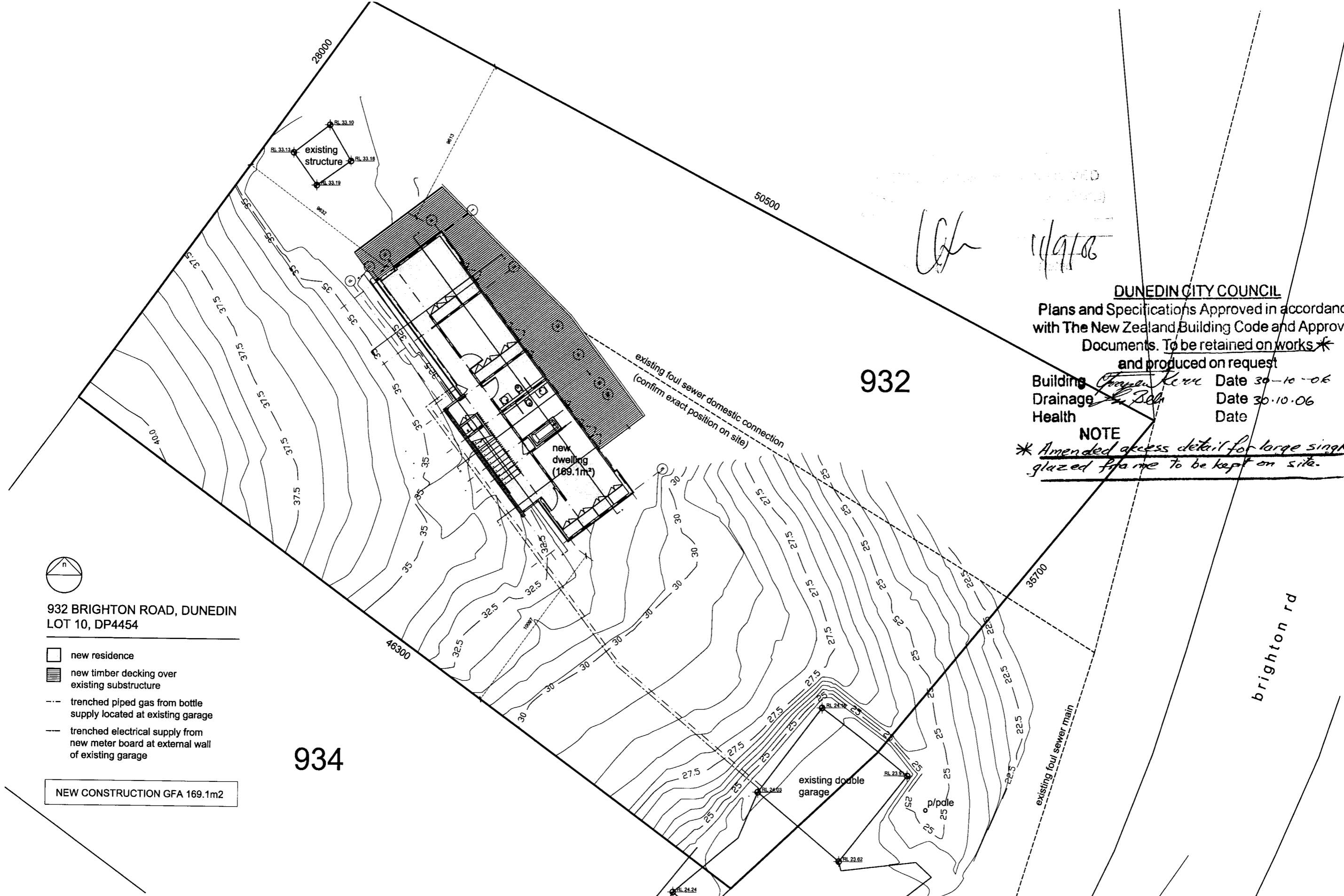


932 BRIGHTON ROAD, DUNEDIN
 LOT 10, DP4454

- existing structures to be demolished
- existing structures to be retained

934

BLAIR JOHNSTON ARCHITECT 2005 PROJECT NAME: 932 BRIGHTON RD	NOTES: do not scale drawings. confirm all dimensions on site prior to any fabrication / construction work.	ISSUE: DATE: A 01.10.2005 B 01.05.2006	COMMENT: preliminary issue for review & comment tender and consent issue	DRAWING NAME: EXISTING SITE PLAN DRAWING SCALE: 1:200	DRAWING NUMBER: 01.00 B ISSUE:
--	---	---	--	--	--



WJ
14/9/06

DUNEDIN CITY COUNCIL

Plans and Specifications Approved in accordance with The New Zealand Building Code and Approved Documents. To be retained on works and produced on request

Building *Thomas Kerr* Date 30-10-06
 Drainage *John Bell* Date 30-10-06
 Health Date

NOTE

* Amended access detail for large single glazed frame to be kept on site.



932 BRIGHTON ROAD, DUNEDIN
 LOT 10, DP4454

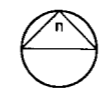
- new residence
- new timber decking over existing substructure
- trenched piped gas from bottle supply located at existing garage
- trenched electrical supply from new meter board at external wall of existing garage

NEW CONSTRUCTION GFA 169.1m2

BLAIR JOHNSTON ARCHITECT 2005
 PROJECT NAME:
 932 BRIGHTON RD

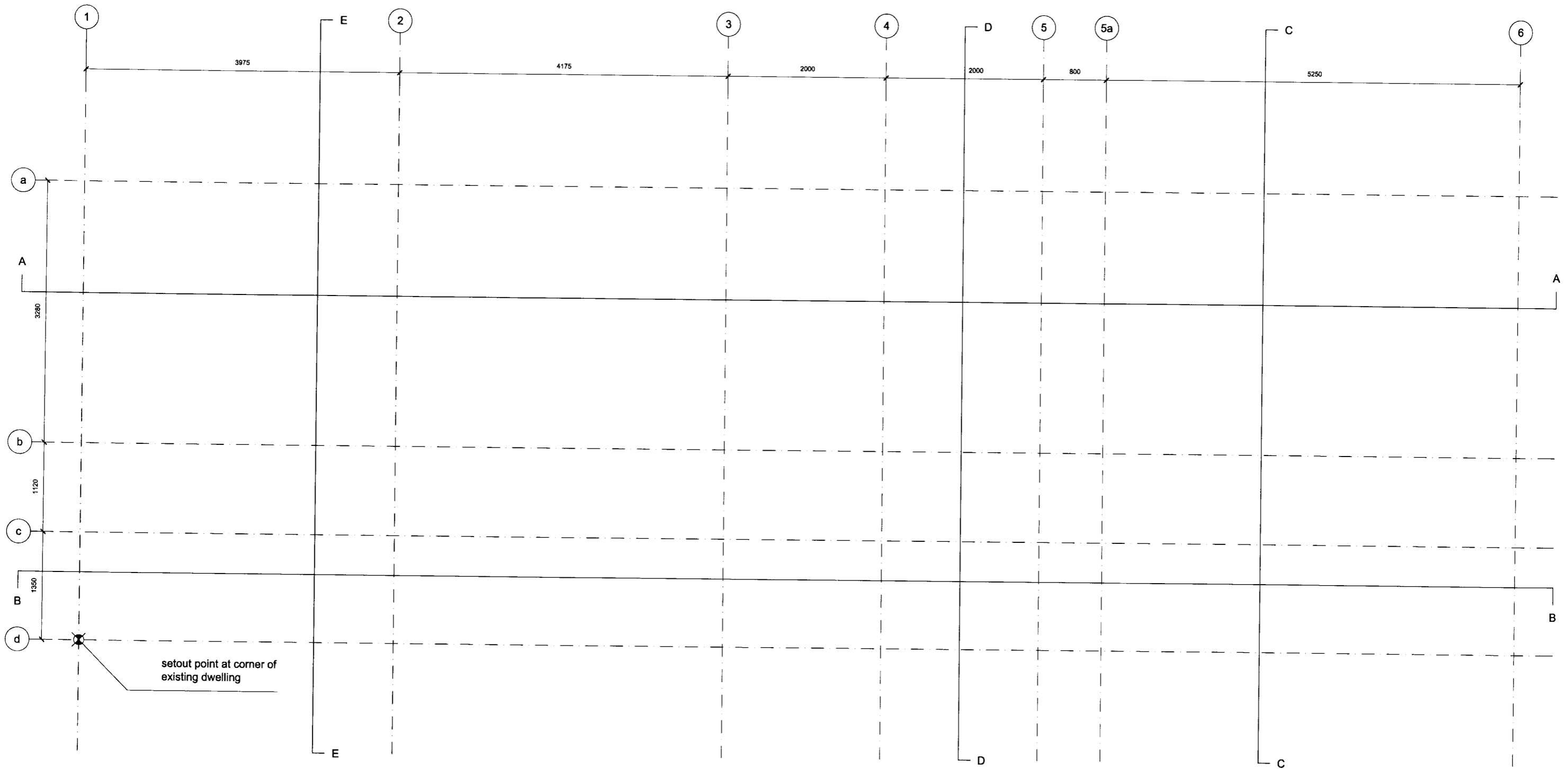
NOTES:
 do not scale drawings.
 confirm all dimensions on site prior to any fabrication / construction work.

ISSUE:	DATE:	COMMENT:
A	01.10.2005	preliminary issue for review & comment
B	01.05.2006	tender and consent issue



DRAWING NAME:
PROPOSED SITE PLAN
 DRAWING SCALE:
 1:200

DRAWING NUMBER:
01.01
 ISSUE:
B



BLAIR JOHNSTON ARCHITECT 2005

PROJECT NAME:
932 BRIGHTON RD

NOTES:

do not scale drawings.
confirm all dimensions on site prior to any
fabrication / construction work.

ISSUE:

A
B

DATE:

20.12.2005
01.05.2006

COMMENT:

preliminary issue for review & comment
tender and consent issue



DRAWING NAME:

GRID SETOUT

DRAWING SCALE:

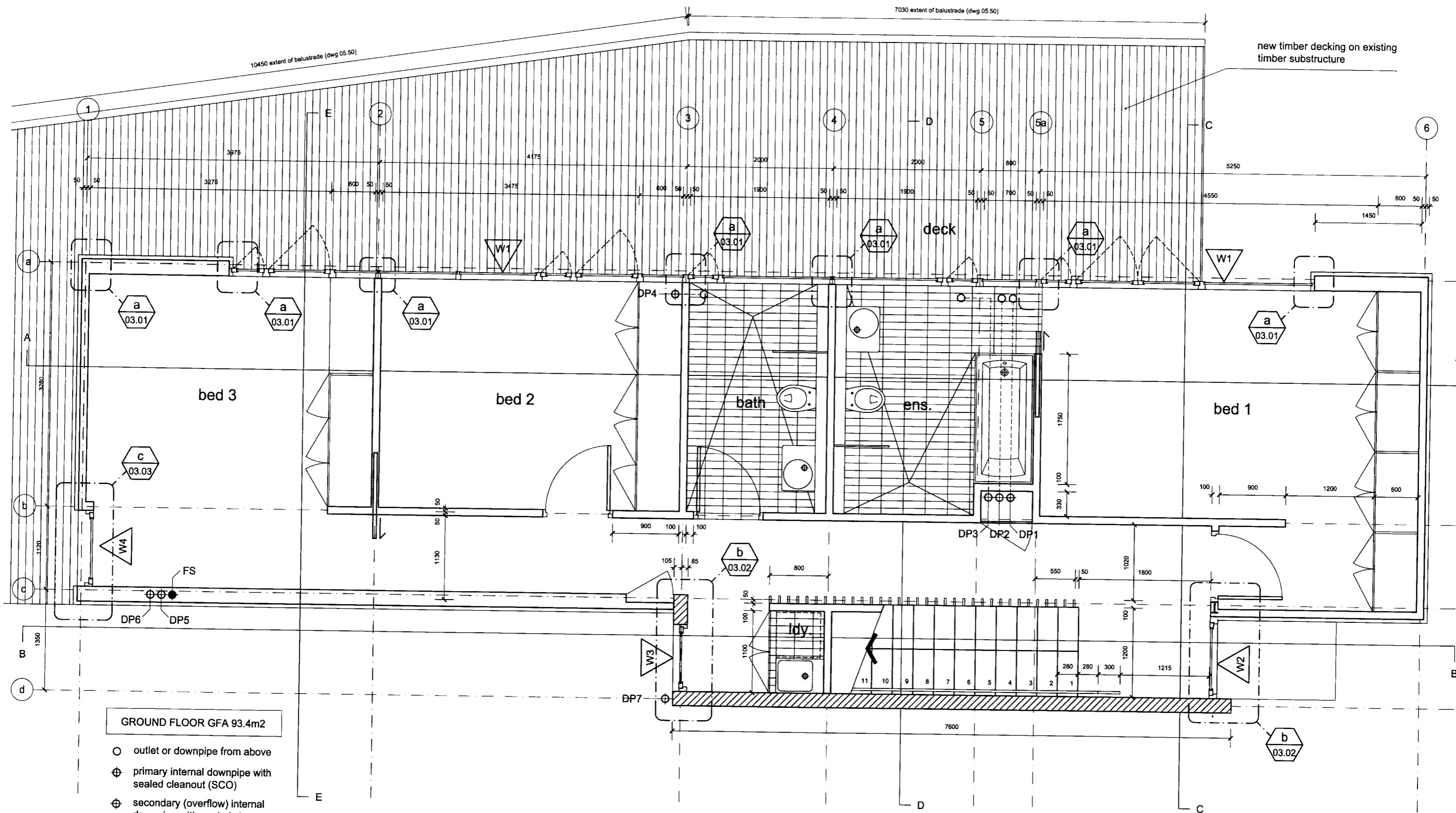
1:50

DRAWING NUMBER:

01.10

ISSUE:

B



GROUND FLOOR GFA 93.4m²

- outlet or downpipe from above
- ⊕ primary internal downpipe with sealed cleanout (SCO)
- ⊕ secondary (overflow) internal downpipe with sealed cleanout (SCO)
- ⊕ foul sewer (FS)

BLAIR JOHNSTON ARCHITECT 2005
 PROJECT NAME:
 932 BRIGHTON RD

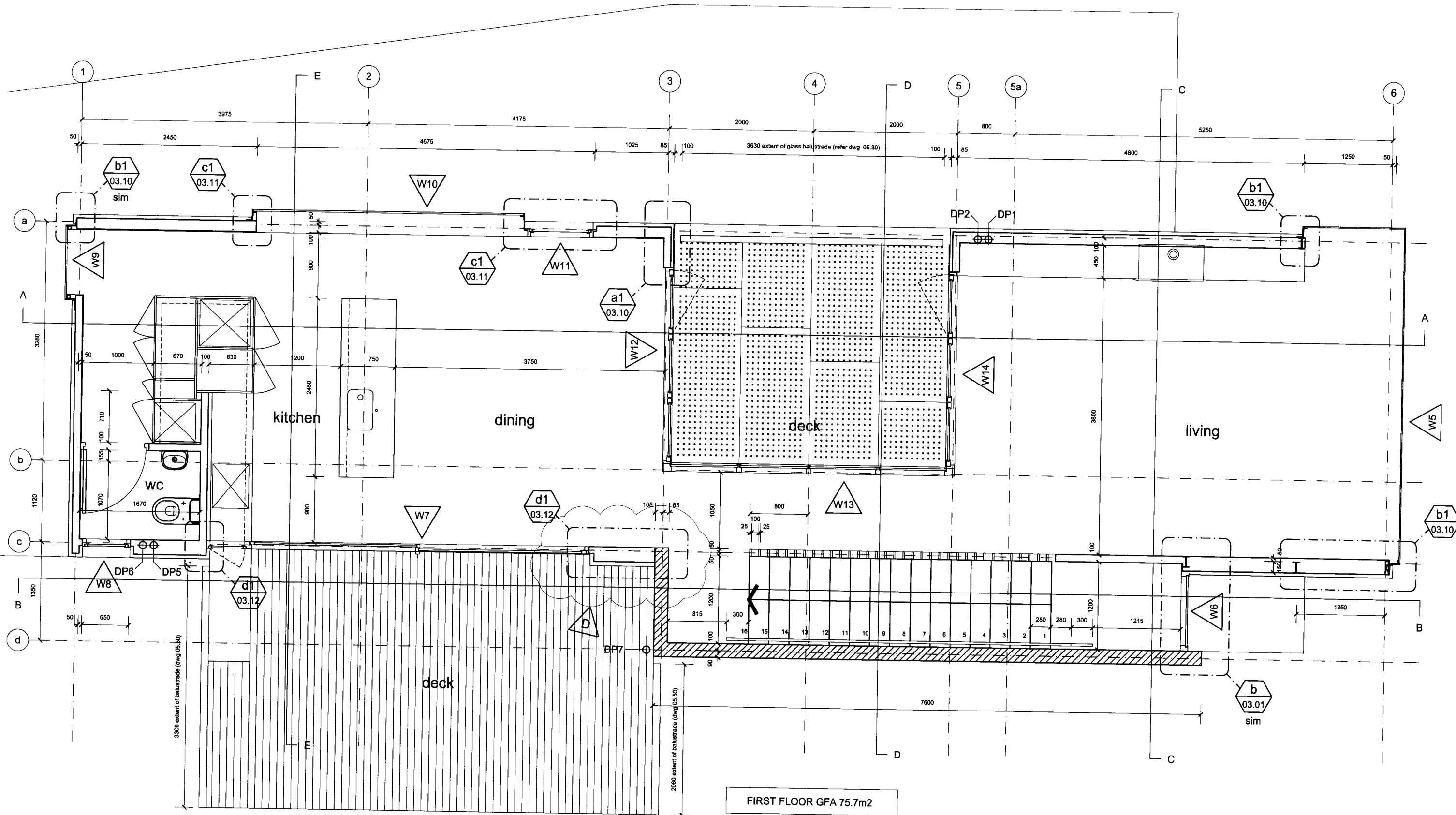
NOTES:
 do not scale drawings.
 confirm all dimensions on site prior to any
 fabrication / construction work.

ISSUE:	DATE:	COMMENT:
A	01.10.2005	preliminary issue for review & comment
B	01.05.2006	tender and consent issue



DRAWING NAME:
 GROUND FLOOR PLAN
 DRAWING SCALE:
 1:50

DRAWING NUMBER:
02.00
 ISSUE:
B



BLAIR JOHNSTON ARCHITECT 2005

PROJECT NAME:
932 BRIGHTON RD

NOTES:

do not scale drawings.
confirm all dimensions on site prior to any
fabrication / construction work.

ISSUE:

ISSUE:	DATE:	COMMENT:
A	20.12.2005	preliminary issue for review and comment
B	01.03.2006	W5 revised.
C	01.05.2006	tender and consent issue
D	01.08.2006	W7 modified. issued for consent



DRAWING NAME:
FIRST FLOOR PLAN

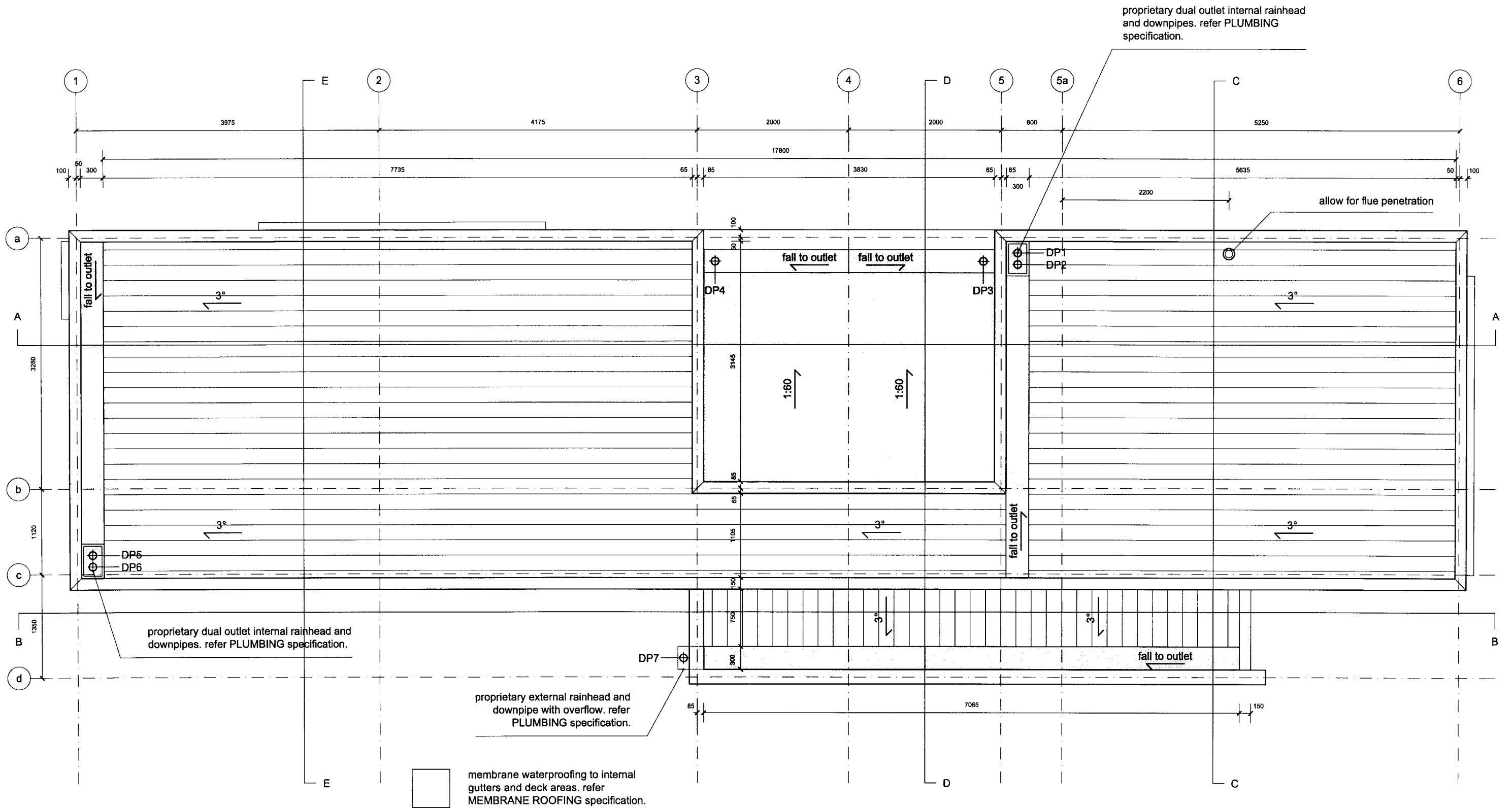
DRAWING SCALE:
1:50

DRAWING NUMBER:

02.01

ISSUE:

D



BLAIR JOHNSTON ARCHITECT 2005
 PROJECT NAME:
 932 BRIGHTON RD

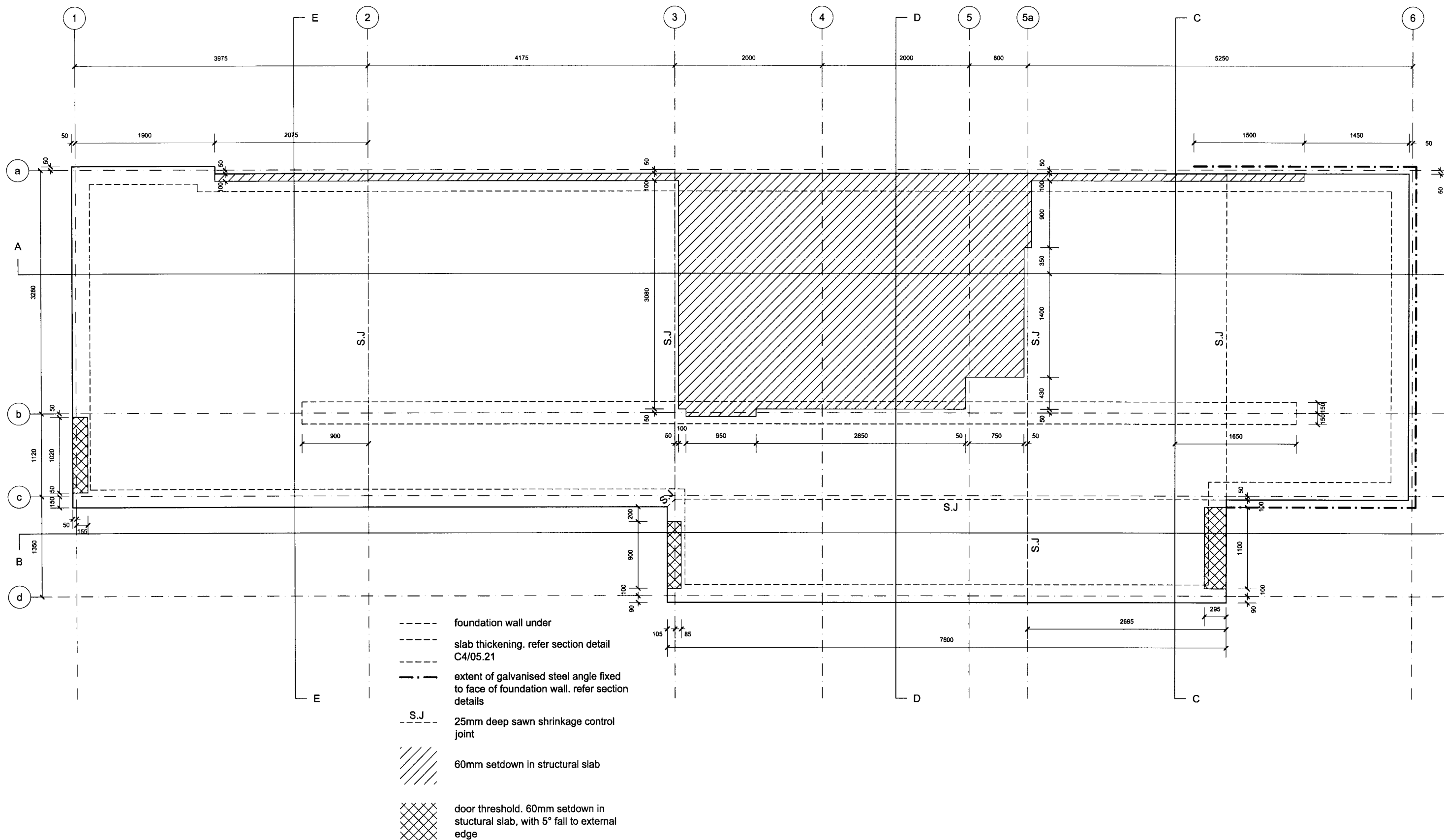
NOTES:
 do not scale drawings.
 confirm all dimensions on site prior to any
 fabrication / construction work.

ISSUE: A DATE: 20.12.2005 COMMENT: preliminary issue for review & comment
 B DATE: 01.05.2006 COMMENT: tender and consent issue



DRAWING NAME:
 ROOF PLAN
 DRAWING SCALE:
 1:50

DRAWING NUMBER:
 02.02
 ISSUE:
 B



BLAIR JOHNSTON ARCHITECT 2005
 PROJECT NAME:
 932 BRIGHTON RD

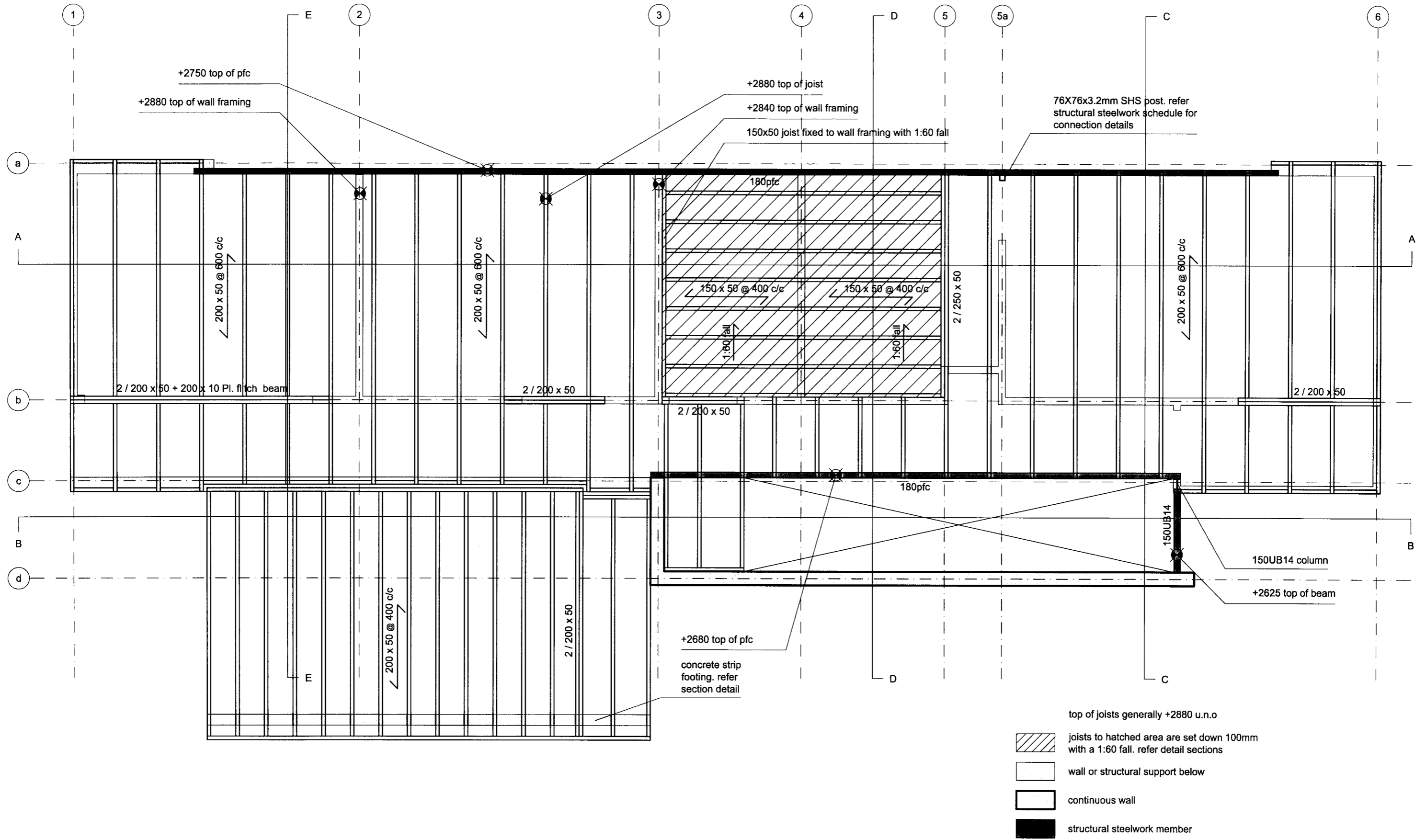
NOTES:
 do not scale drawings.
 confirm all dimensions on site prior to any
 fabrication / construction work.

ISSUE:	DATE:	COMMENT:
A	20.12.2005	preliminary issue for review & comment
B	01.05.2006	tender / consent issue. NOT FOR CONSTRUCTION



DRAWING NAME:
CONCRETE PROFILE
 DRAWING SCALE:
 1:50

DRAWING NUMBER:
02.10 B
 ISSUE:



BLAIR JOHNSTON ARCHITECT 2005
 PROJECT NAME:
 932 BRIGHTON RD

NOTES:
 do not scale drawings.
 confirm all dimensions on site prior to any
 fabrication / construction work.

ISSUE:	DATE:	COMMENT:
A	20.12.2005	preliminary issue for review & comment
B	02.04.2006	timber beam on grid B revised to flitch beam
C	01.05.2006	tender and consent issue
D	01.08.2006	minor revisions. issued for consent



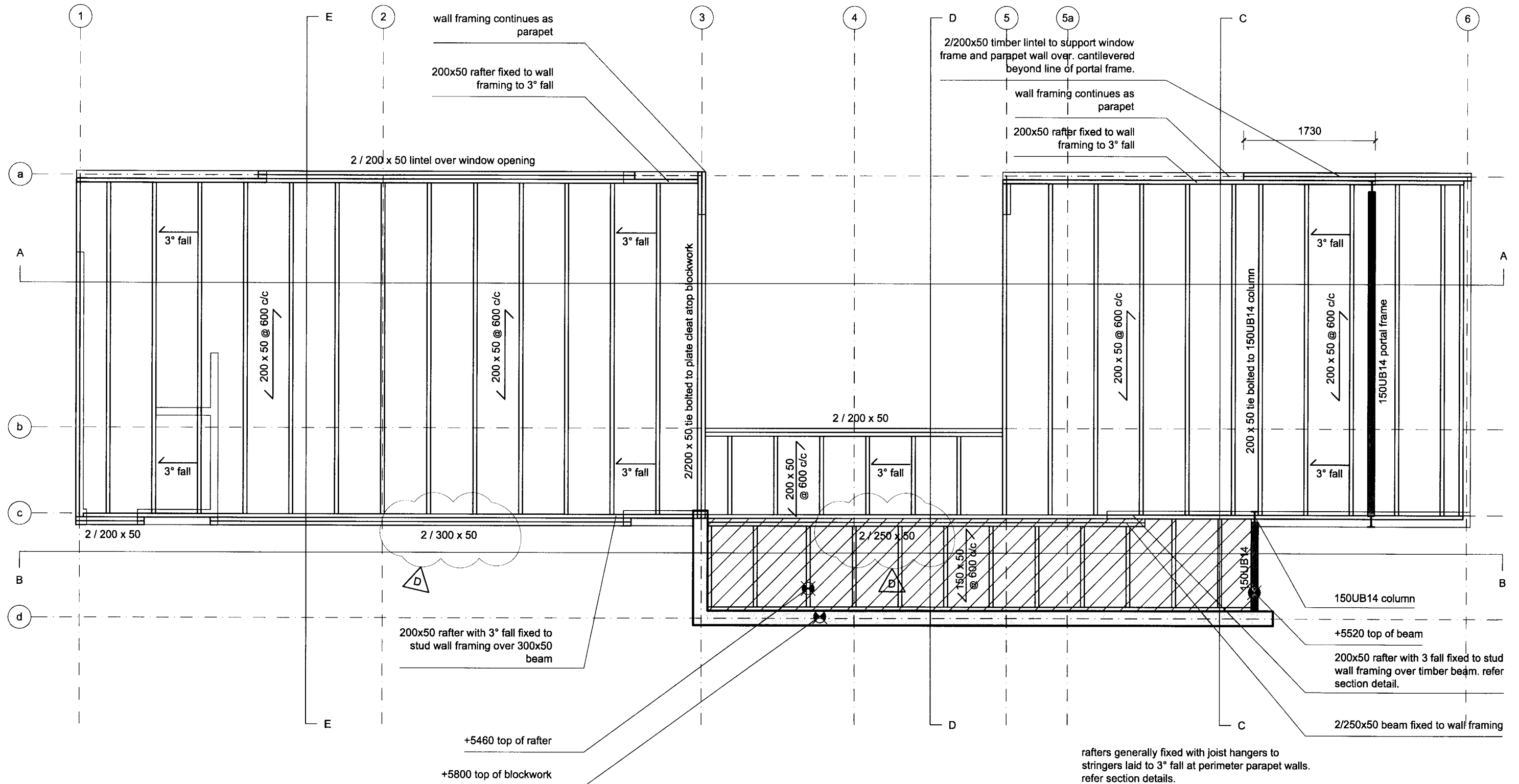
DRAWING NAME:
FIRST FLOOR FRAMING
 DRAWING SCALE:
 1:50

DRAWING NUMBER:





02.20

ISSUE:

D



rafters generally fixed with joist hangers to stringers laid to 3° fall at perimeter parapet walls. refer section details.

-  +5460 top of rafters to shaded area
-  wall or structural support below
-  continuous wall
-  structural steelwork member

BLAIR JOHNSTON ARCHITECT 2005
PROJECT NAME:
932 BRIGHTON RD

NOTES:
do not scale drawings.
confirm all dimensions on site prior to any
fabrication / construction work.

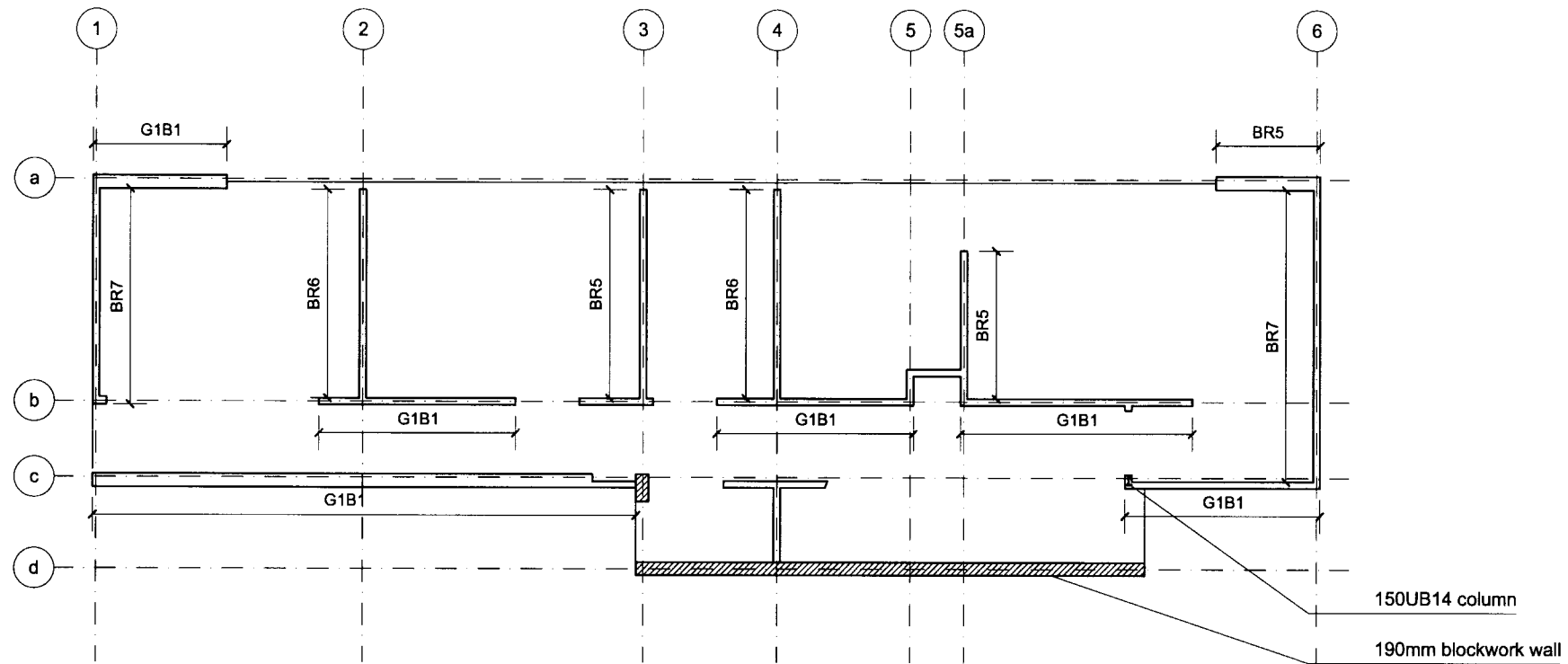
ISSUE:	DATE:	COMMENT:
A	20.12.2005	preliminary issue for review & comment
B	02.04.2006	general revisions as noted
C	01.05.2006	tender and consent issue
D	01.08.2006	PFC beams revised to timber as noted. issued for consent



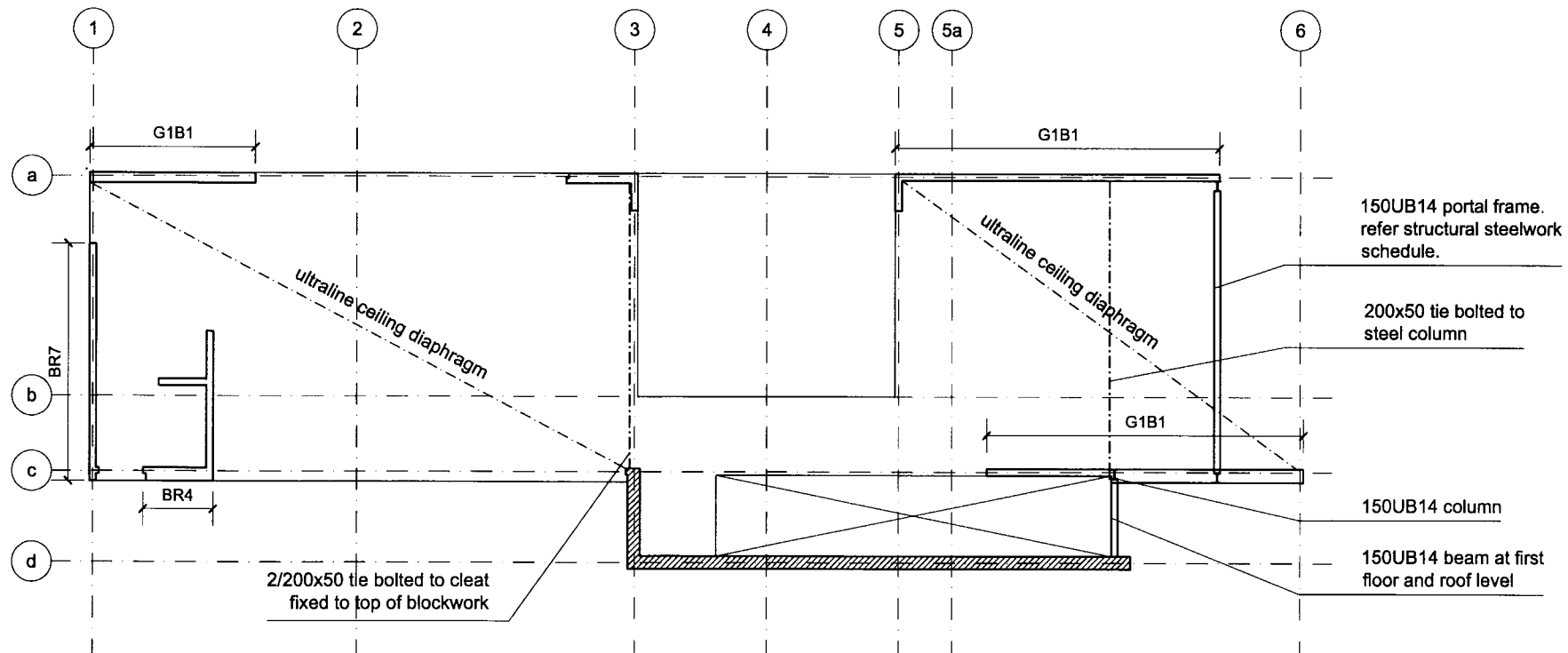
DRAWING NAME:
ROOF FRAMING
DRAWING SCALE:
1:50

DRAWING NUMBER:
02.21
ISSUE:
D

a GROUND FLOOR BRACING
SCALE 1:100



b FIRST FLOOR BRACING
SCALE 1:100



BLAIR JOHNSTON ARCHITECT 2005
PROJECT NAME:
932 BRIGHTON RD

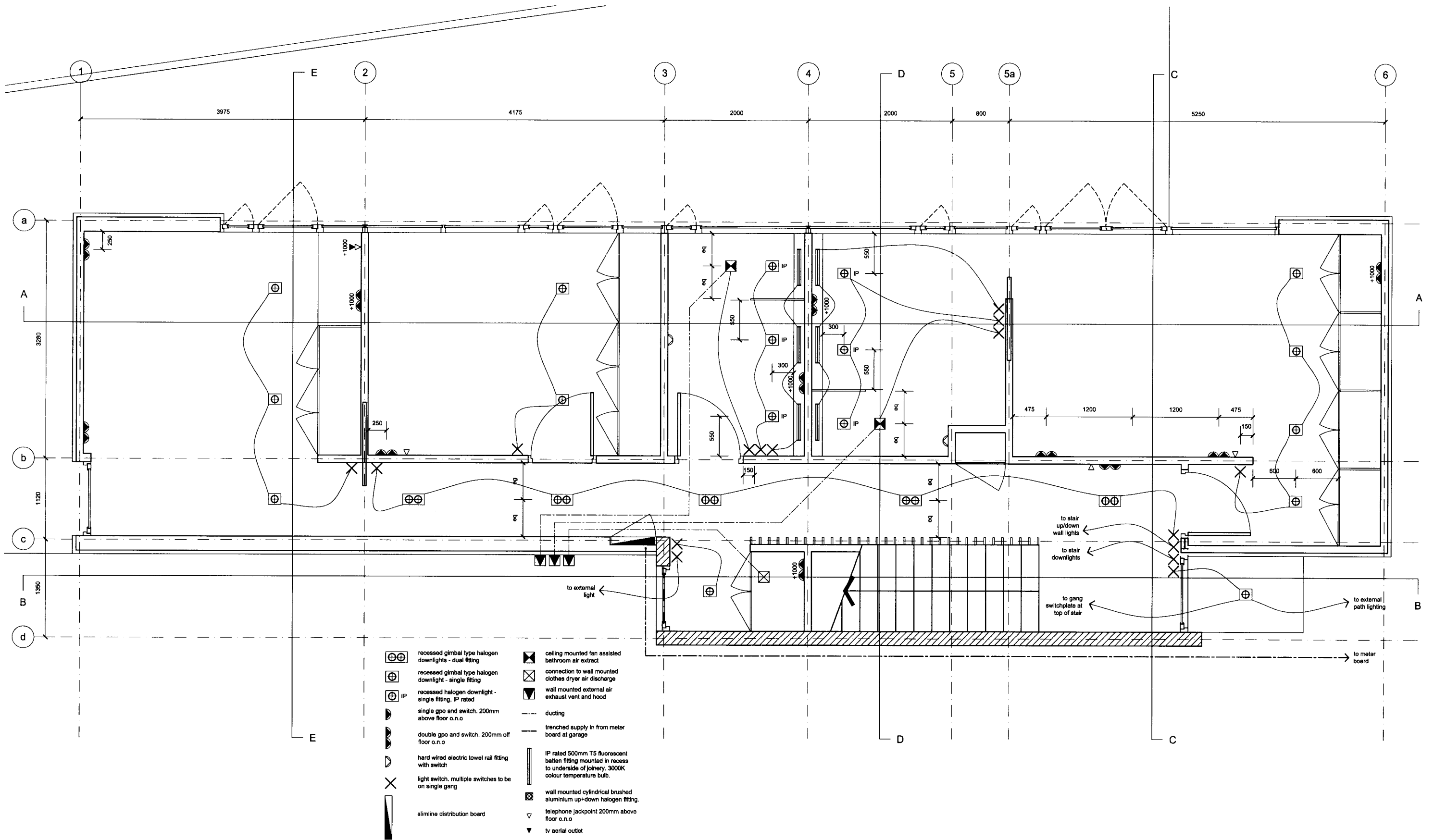
NOTES:
do not scale drawings.
confirm all dimensions on site prior to any
fabrication / construction work.

ISSUE: DATE: COMMENT:
A 20.12.2005 preliminary issue for review & comment
B 01.05.2006 tender and consent issue



DRAWING NAME:
WALL BRACING DRAWINGS
DRAWING SCALE:
1:100

DRAWING NUMBER:
02.22
ISSUE:
B



BLAIR JOHNSTON ARCHITECT 2005
 PROJECT NAME:
 932 BRIGHTON RD

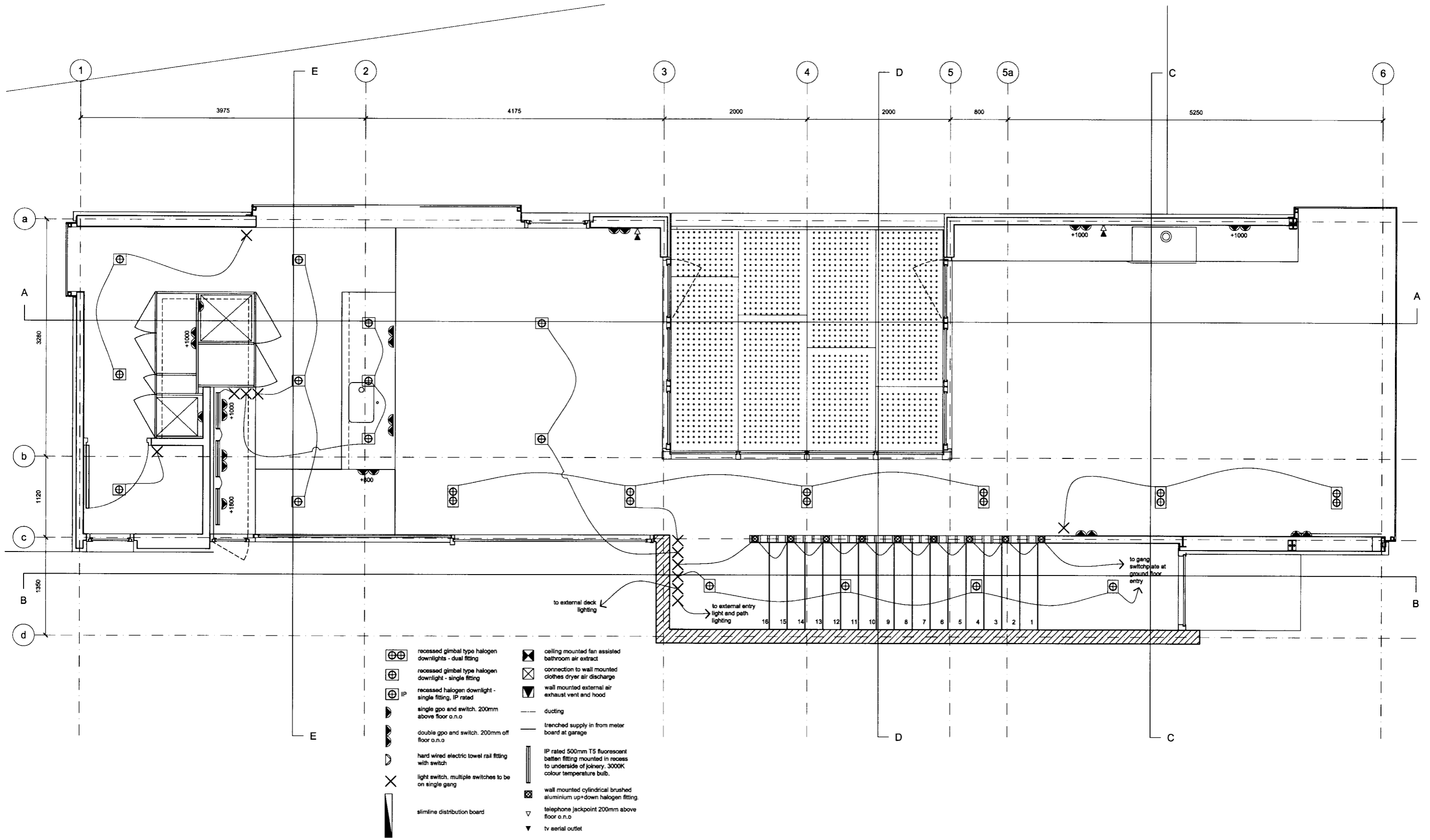
NOTES:
 do not scale drawings.
 confirm all dimensions on site prior to any
 fabrication / construction work.

ISSUE: DATE: COMMENT:
 A 01.03.2006 issued for tender
 B 01.05.2006 tender and consent issue



DRAWING NAME:
 GROUND FLOOR ELEC. PLAN
 DRAWING SCALE:
 1:50

DRAWING NUMBER:
 02.30
 ISSUE:
 B



- | | | | |
|------|---|-----|--|
| ⊕ | recessed gimbal type halogen downlights - dual fitting | ⊗ | ceiling mounted fan assisted bathroom air extract |
| ⊕ | recessed gimbal type halogen downlight - single fitting | ⊗ | connection to wall mounted clothes dryer air discharge |
| ⊕ IP | recessed halogen downlight - single fitting, IP rated | ⊗ | wall mounted external air exhaust vent and hood |
| ⊕ | single gpo and switch, 200mm above floor o.n.o | --- | ducting |
| ⊕ | double gpo and switch, 200mm off floor o.n.o | --- | trenched supply in from meter board at garage |
| ⊕ | hard wired electric towel rail fitting with switch | ⊕ | IP rated 500mm T5 fluorescent batten fitting mounted in recess to underside of joinery, 3000K colour temperature bulb. |
| ⊕ | light switch, multiple switches to be on single gang | ⊕ | wall mounted cylindrical brushed aluminium up+down halogen fitting. |
| ⊕ | stimline distribution board | ▽ | telephone jackpoint 200mm above floor o.n.o |
| | | ▽ | tv aerial outlet |

BLAIR JOHNSTON ARCHITECT 2005
 PROJECT NAME:
 932 BRIGHTON RD

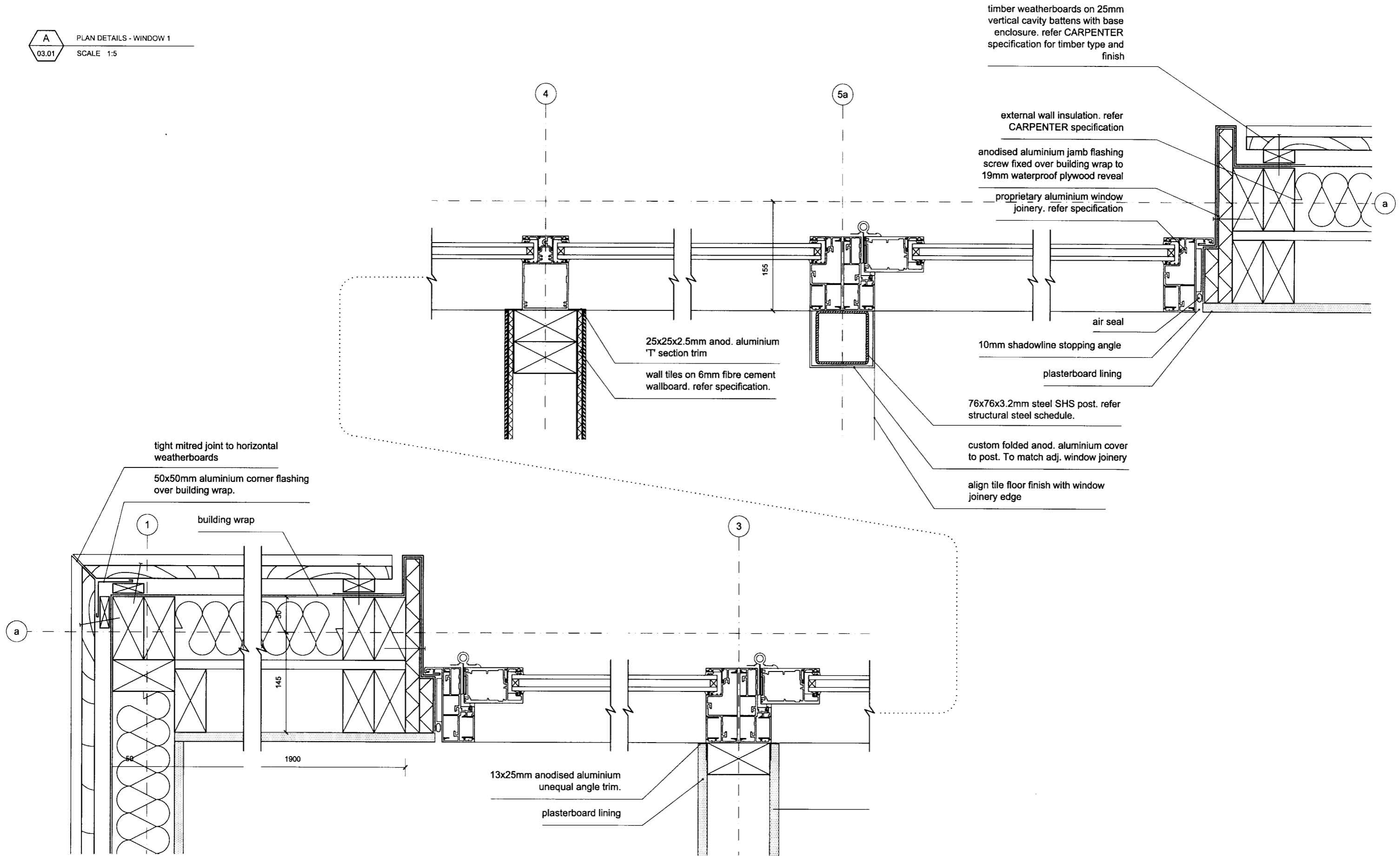
NOTES:
 do not scale drawings.
 confirm all dimensions on site prior to any fabrication / construction work.

ISSUE:	DATE:	COMMENT:
A	01.03.2006	issued for tender
B	01.05.2006	tender and consent issue



DRAWING NAME:
FIRST FLOOR ELEC. PLAN
 DRAWING SCALE:
 1:50

DRAWING NUMBER:
02.31
 ISSUE:
B



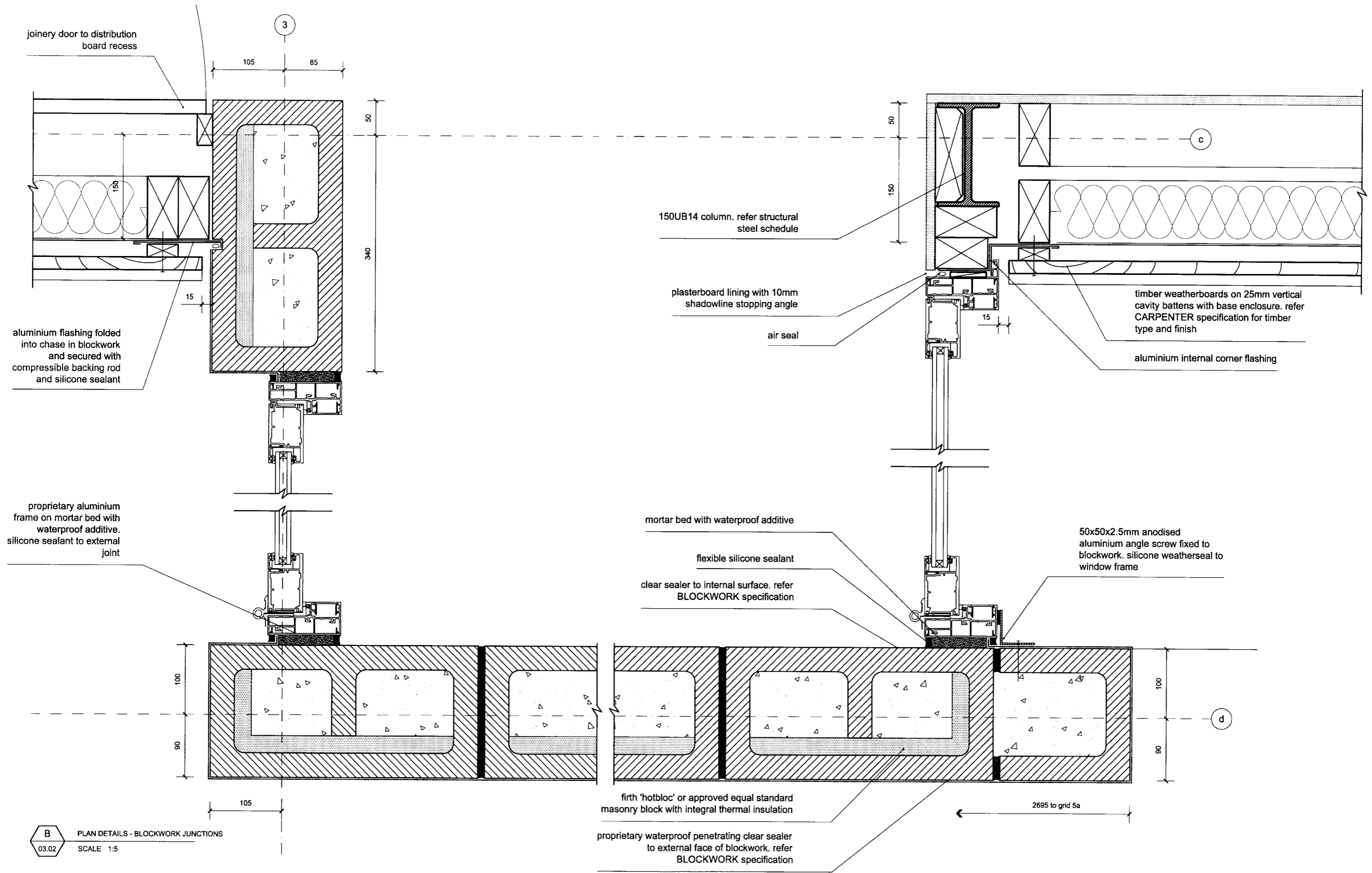
BLAIR JOHNSTON ARCHITECT 2005
PROJECT NAME:
932 BRIGHTON RD

NOTES:
do not scale drawings.
confirm all dimensions on site prior to any fabrication / construction work.

ISSUE:	DATE:	COMMENT:
A	01.10.2005	preliminary issue for review & comment
B	01.05.2006	issued for tender and consent

DRAWING NAME:
PLAN DETAILS 1
DRAWING SCALE:
1:5

DRAWING NUMBER:
03.01
ISSUE:
B



B PLAN DETAILS - BLOCKWORK JUNCTIONS
 03.02 SCALE 1:5

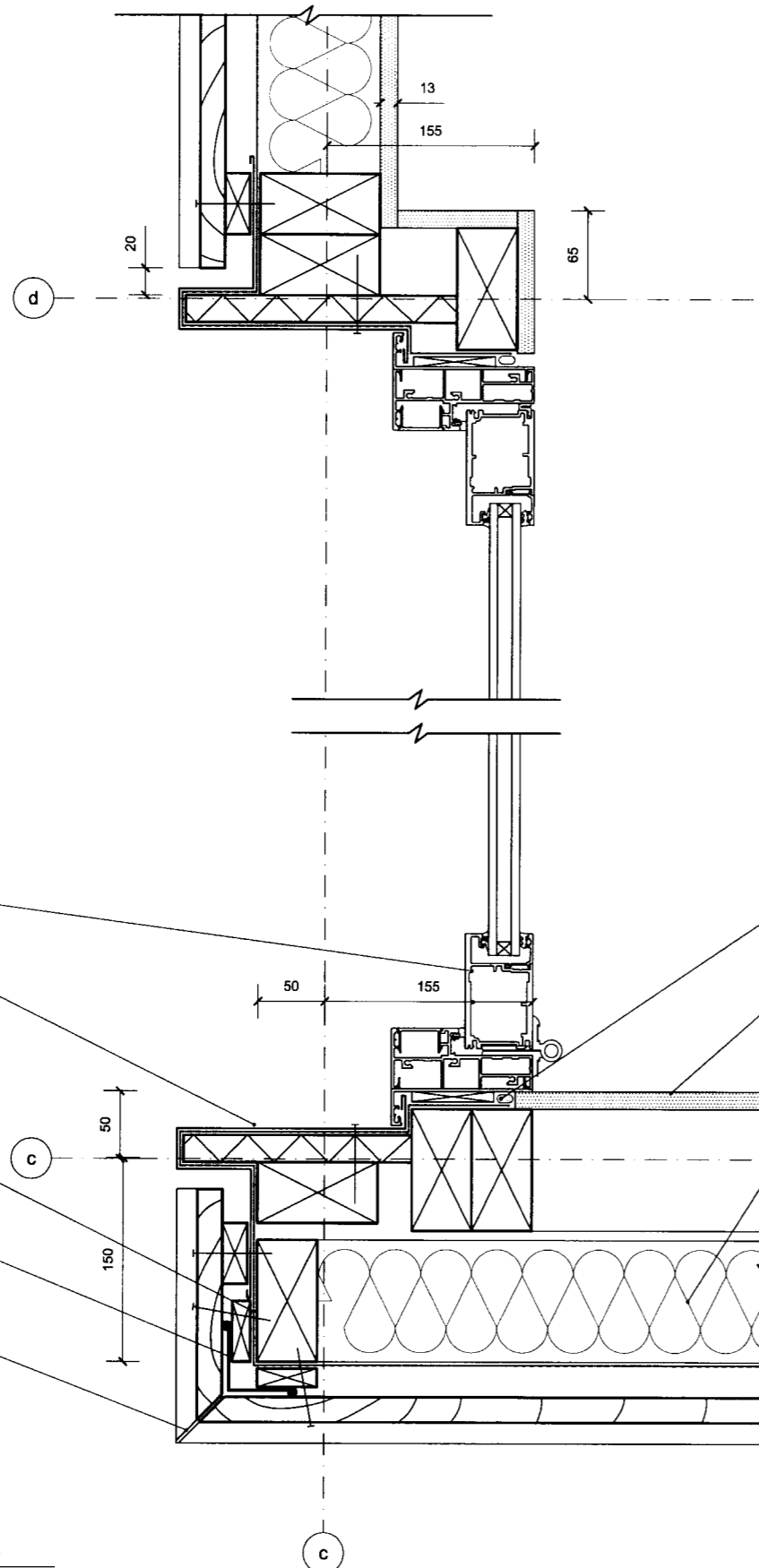
BLAIR JOHNSTON ARCHITECT 2005
 PROJECT NAME:
 932 BRIGHTON RD

NOTES:
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ISSUE:	DATE:	COMMENT:
A	01.10.2005	preliminary issue for review & comment
B	01.05.2006	tender and consent issue

DRAWING NAME:
PLAN DETAILS 2
 DRAWING SCALE:
 1:5

DRAWING NUMBER:
03.02
 ISSUE:
B



proprietary anodised aluminium door joinery. refer ALUM. WINDOWS specification

anodised aluminium jamb flashing

building wrap

50x50mm aluminium corner flashing over building wrap.

tight mitred joint to horizontal weatherboards

air seal

plasterboard internal lining

external wall insulation. refer CARPENTER specification

C PLAN DETAIL - WINDOW 4
03.03 SCALE 1:5

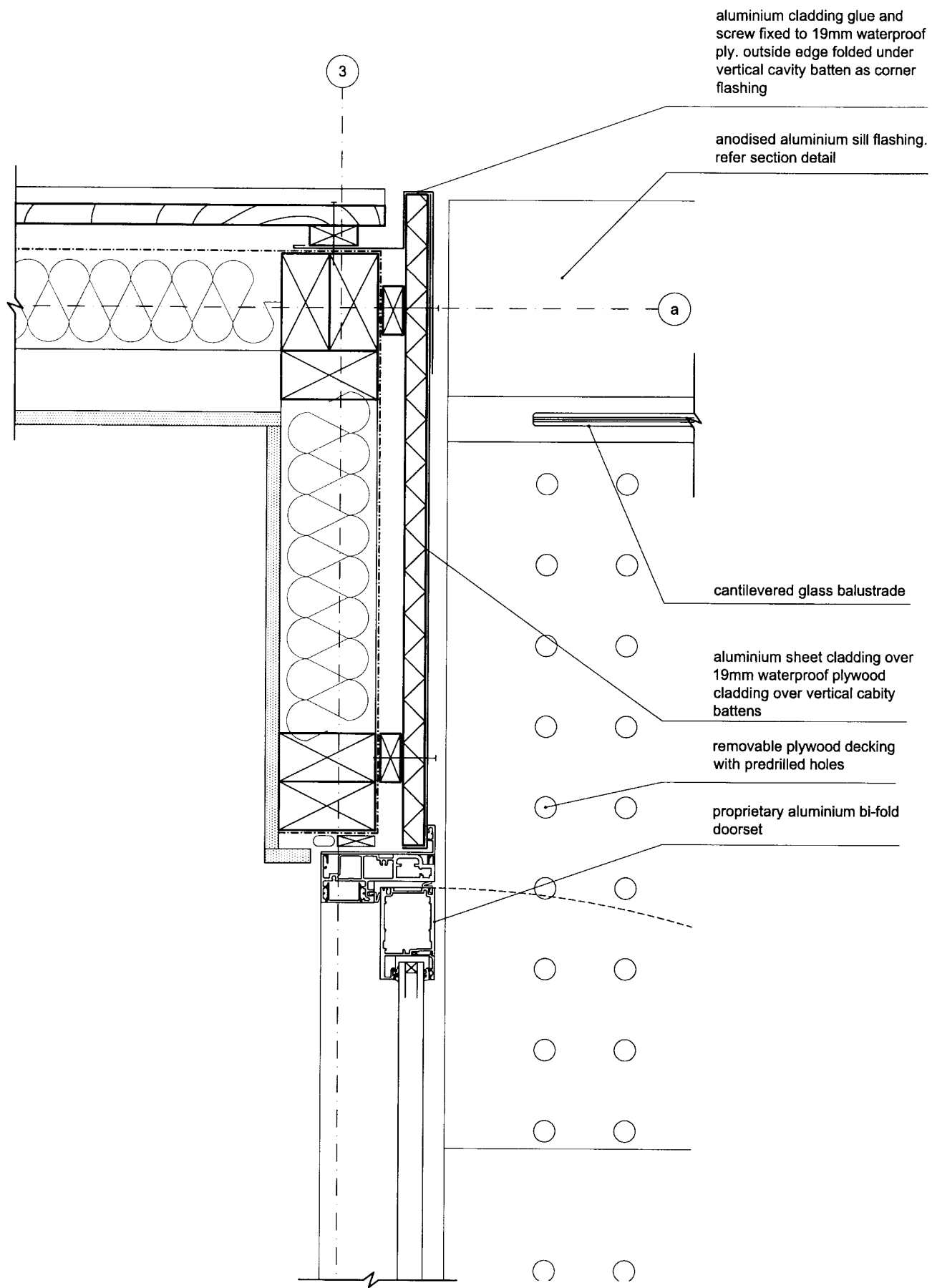
BLAIR JOHNSTON ARCHITECT 2005
PROJECT NAME:
932 BRIGHTON RD

NOTES:
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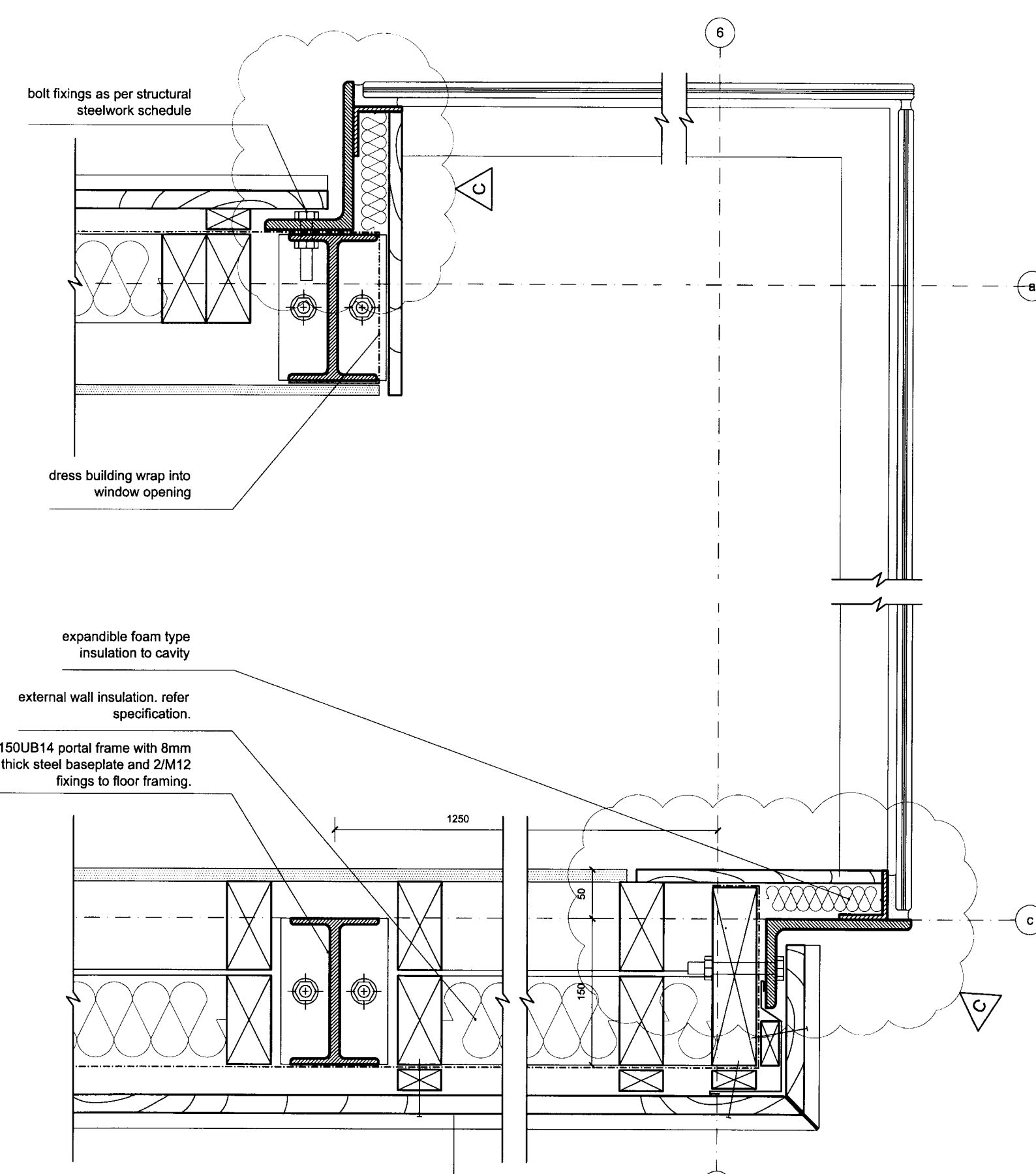
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A	01.10.2005	preliminary issue for review & comment
B	01.05.2006	tender and consent issue

DRAWING NAME:
PLAN DETAILS 3
DRAWING SCALE:
1:5

DRAWING NUMBER:
03.03
ISSUE:
B



A1 PLAN DETAIL - BIFOLD JAMB
03.10 SCALE 1:5



B1 PLAN DETAIL - STEEL WINDOW / PORTAL FRAME
03.10 SCALE 1:5

BLAIR JOHNSTON ARCHITECT 2005
PROJECT NAME:
932 BRIGHTON RD

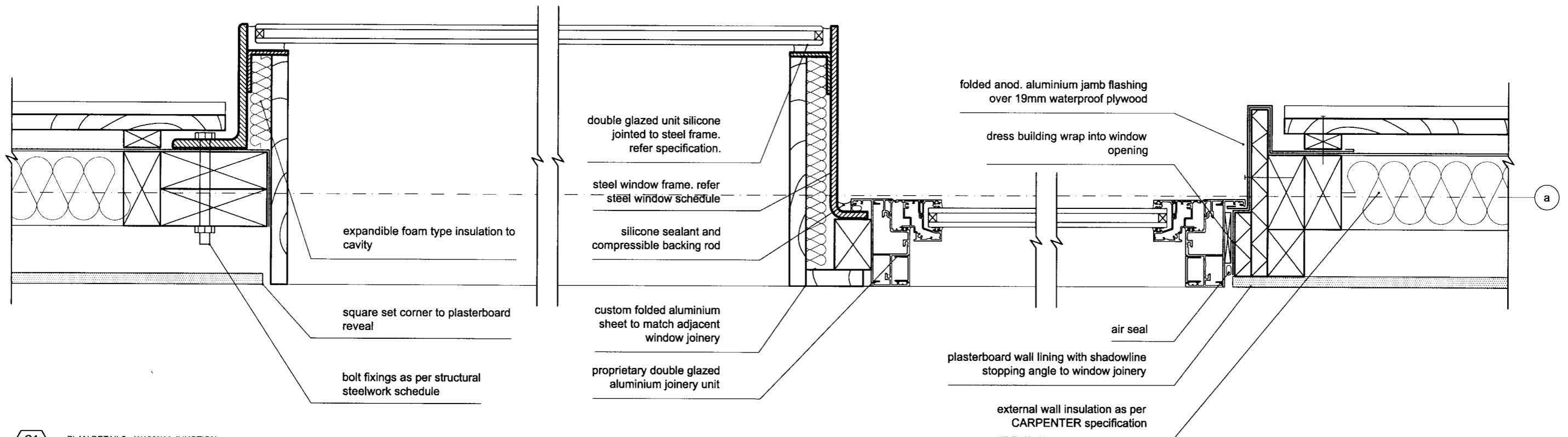
NOTES:
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confirm all dimensions on site prior to any
fabrication / construction work.

ISSUE:	DATE:	COMMENT:
A	01.10.2005	preliminary issue for review & comment
B	01.05.2006	tender and consent issue
C	01.08.2006	window detail revised. issued for consent



DRAWING NAME:
PLAN DETAILS 1
DRAWING SCALE:
1:5

DRAWING NUMBER:
03.10
ISSUE:
C



C1 PLAN DETAILS - W10/W11 JUNCTION
 03.11 SCALE 1:5

BLAIR JOHNSTON ARCHITECT 2005
 PROJECT NAME:
 932 BRIGHTON RD

NOTES:
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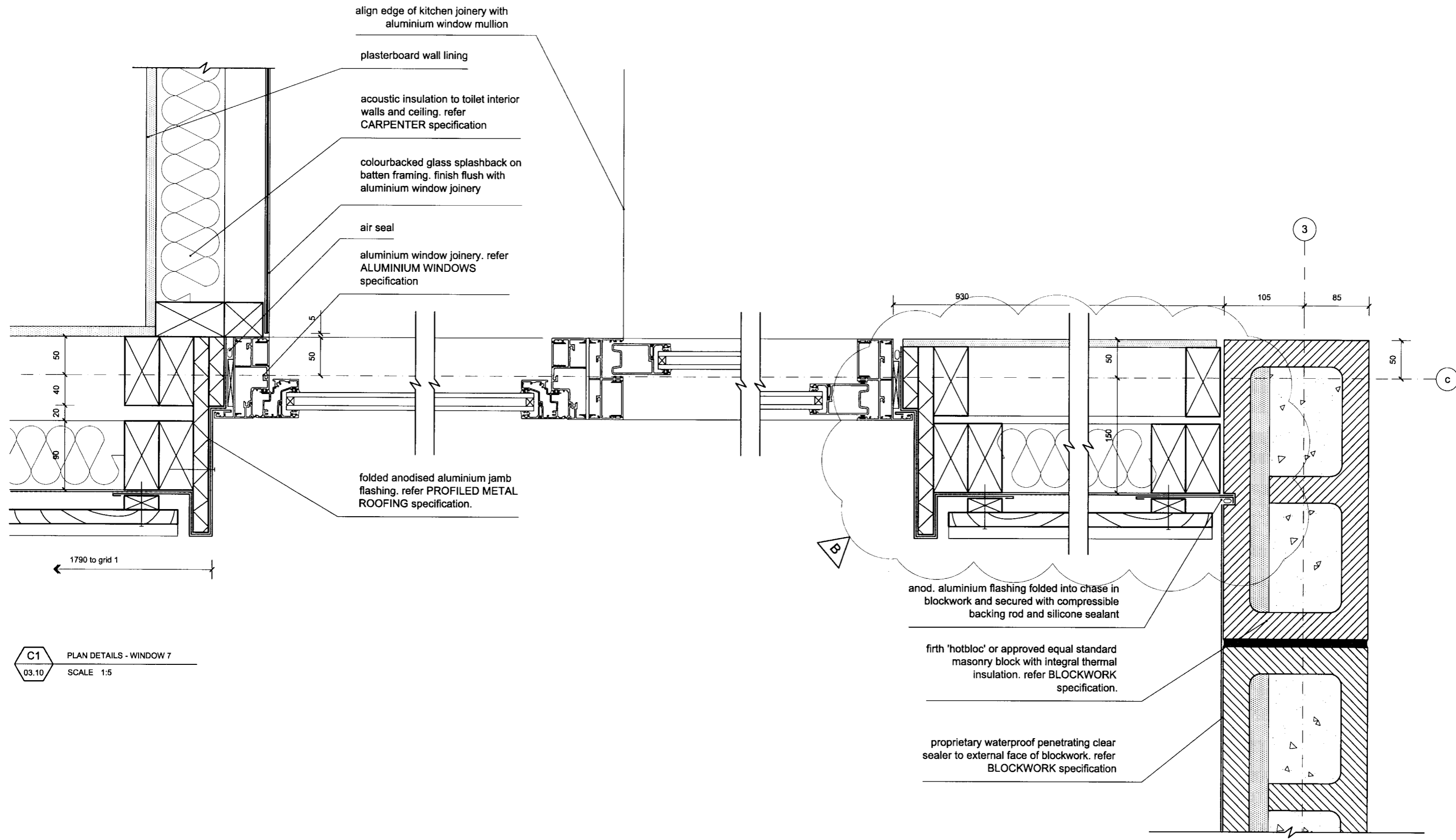
ISSUE:	DATE:	COMMENT:
A	01.05.2006	tender and consent issue
B	01.08.2006	steel window frame revised. issued for consent



DRAWING NAME:
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 1:5

DRAWING NUMBER:
03.11

ISSUE:
B



C1 PLAN DETAILS - WINDOW 7
03.10 SCALE 1:5

BLAIR JOHNSTON ARCHITECT 2005
PROJECT NAME:
932 BRIGHTON RD

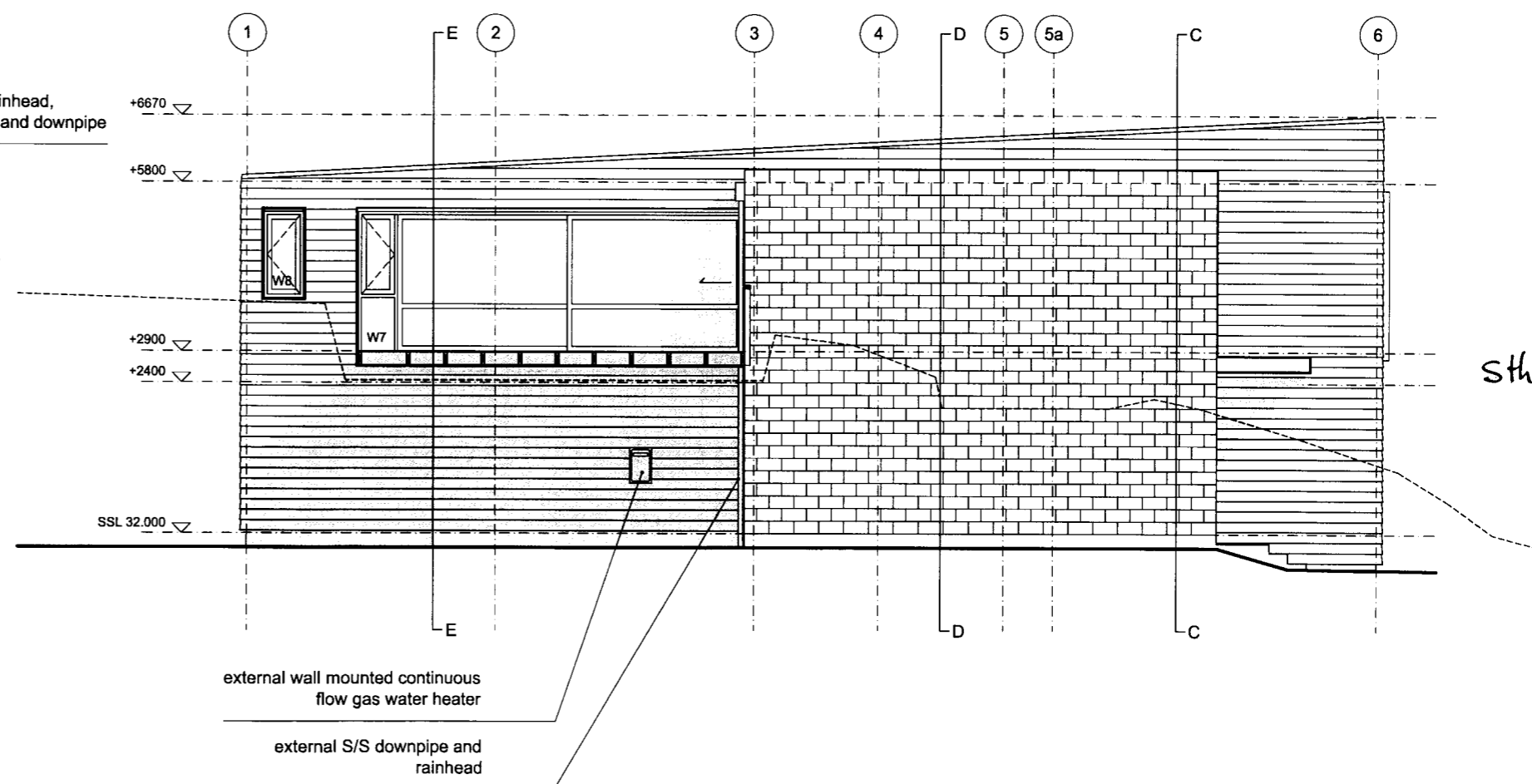
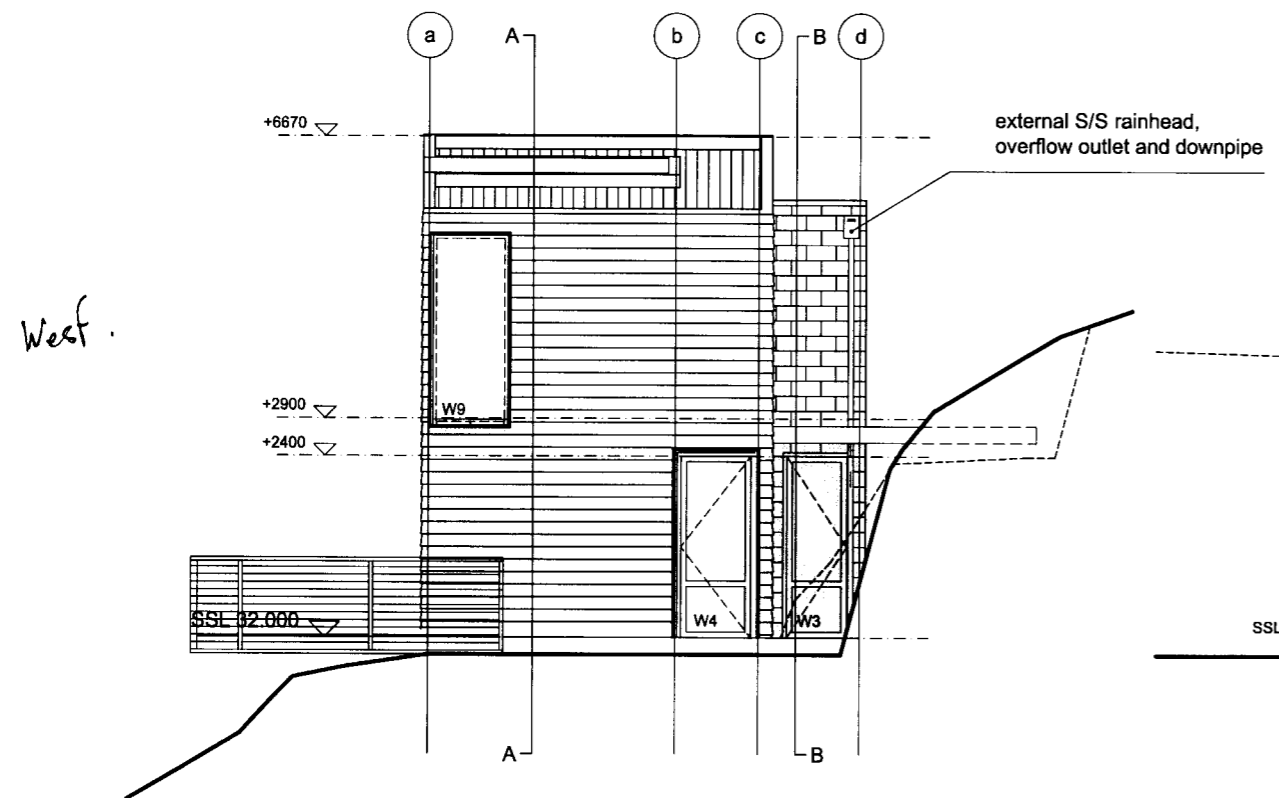
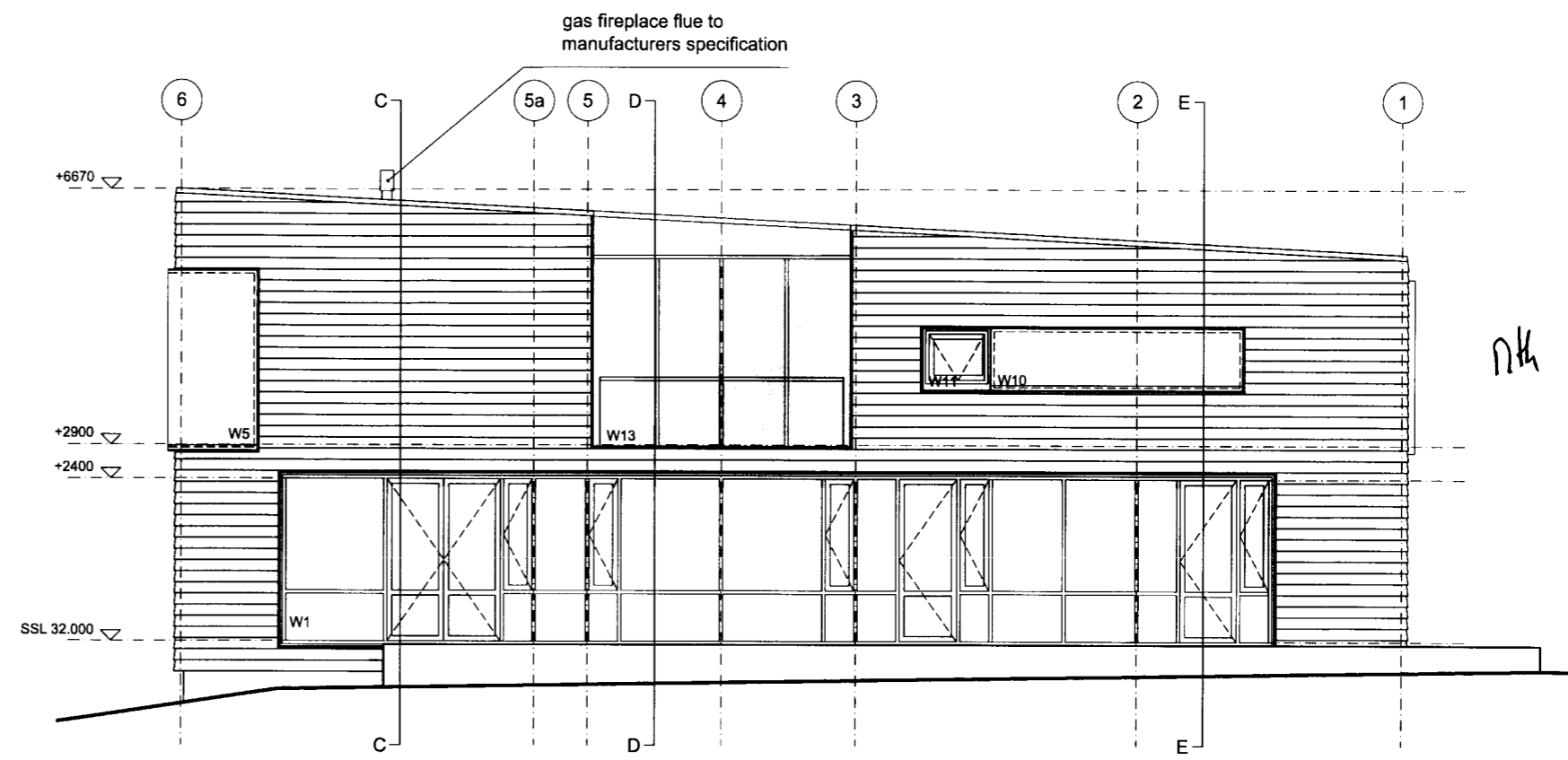
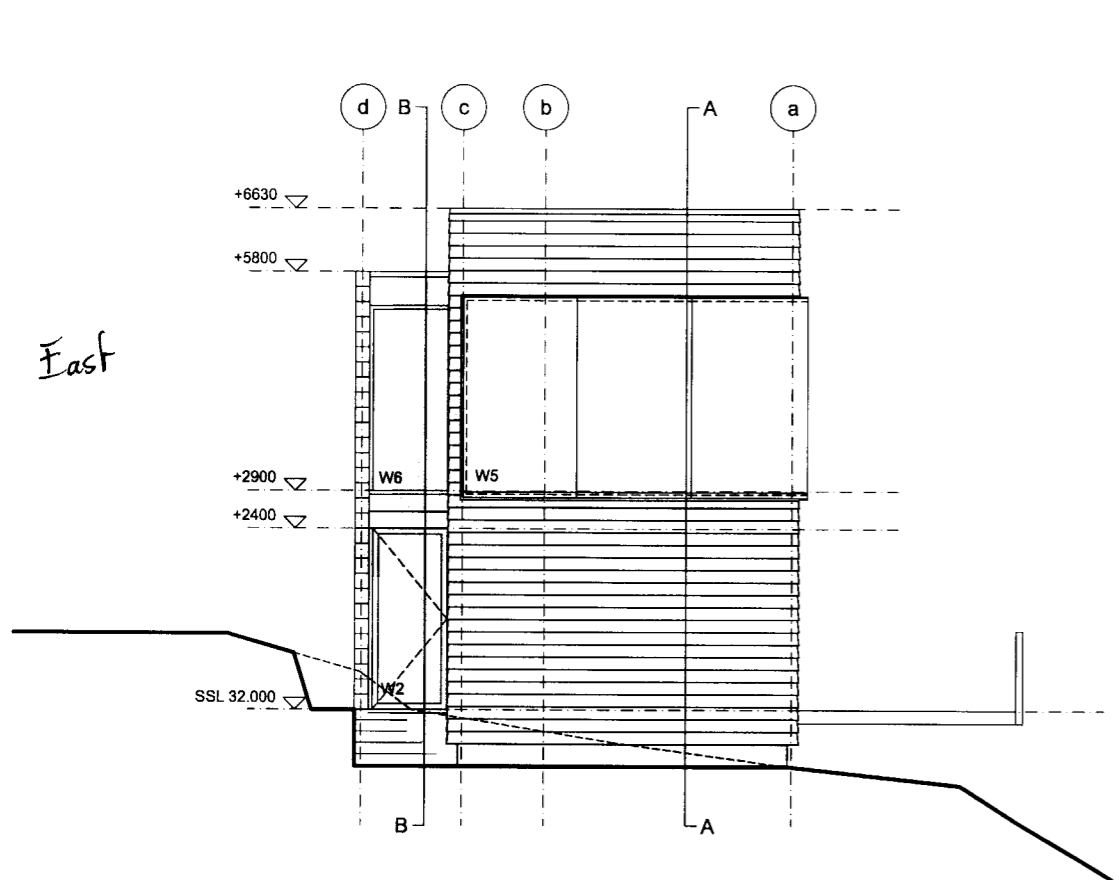
NOTES:
do not scale drawings.
confirm all dimensions on site prior to any
fabrication / construction work.

ISSUE:	DATE:	COMMENT:
A	24.04.2006	tender and consent issue
B	01.08.2006	W7 modified. issued for consent

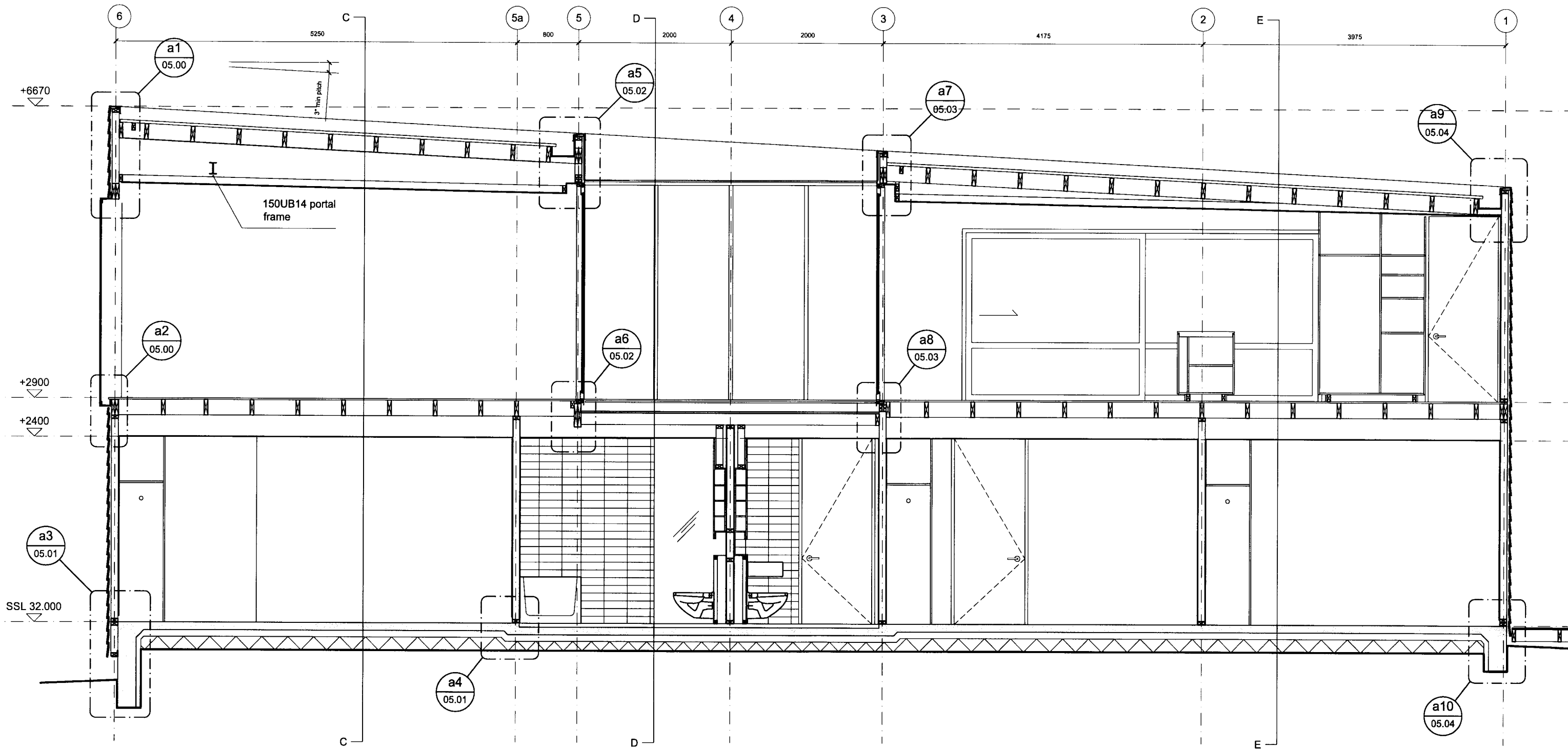


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DRAWING NUMBER:
03.12
ISSUE:
B



<p>BLAIR JOHNSTON ARCHITECT 2005</p> <p>PROJECT NAME: 932 BRIGHTON RD</p>	<p>NOTES:</p> <p>do not scale drawings. confirm all dimensions on site prior to any fabrication / construction work.</p>	<table border="1"> <thead> <tr> <th>ISSUE:</th> <th>DATE:</th> <th>COMMENT:</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>20.12.2005</td> <td>preliminary issue for review & comment</td> </tr> <tr> <td>B</td> <td>01.05.2006</td> <td>tender and consent issue</td> </tr> <tr> <td>C</td> <td>01.08.2006</td> <td>W5 modified. minor revisions. issued for consent</td> </tr> </tbody> </table>	ISSUE:	DATE:	COMMENT:	A	20.12.2005	preliminary issue for review & comment	B	01.05.2006	tender and consent issue	C	01.08.2006	W5 modified. minor revisions. issued for consent	<p>DRAWING NAME: ELEVATIONS</p> <p>DRAWING SCALE: 1:100</p>	<p>DRAWING NUMBER: 04.00</p> <p>ISSUE: C</p>
ISSUE:	DATE:	COMMENT:														
A	20.12.2005	preliminary issue for review & comment														
B	01.05.2006	tender and consent issue														
C	01.08.2006	W5 modified. minor revisions. issued for consent														



SECTION AA
SCALE 1:50 @ A3

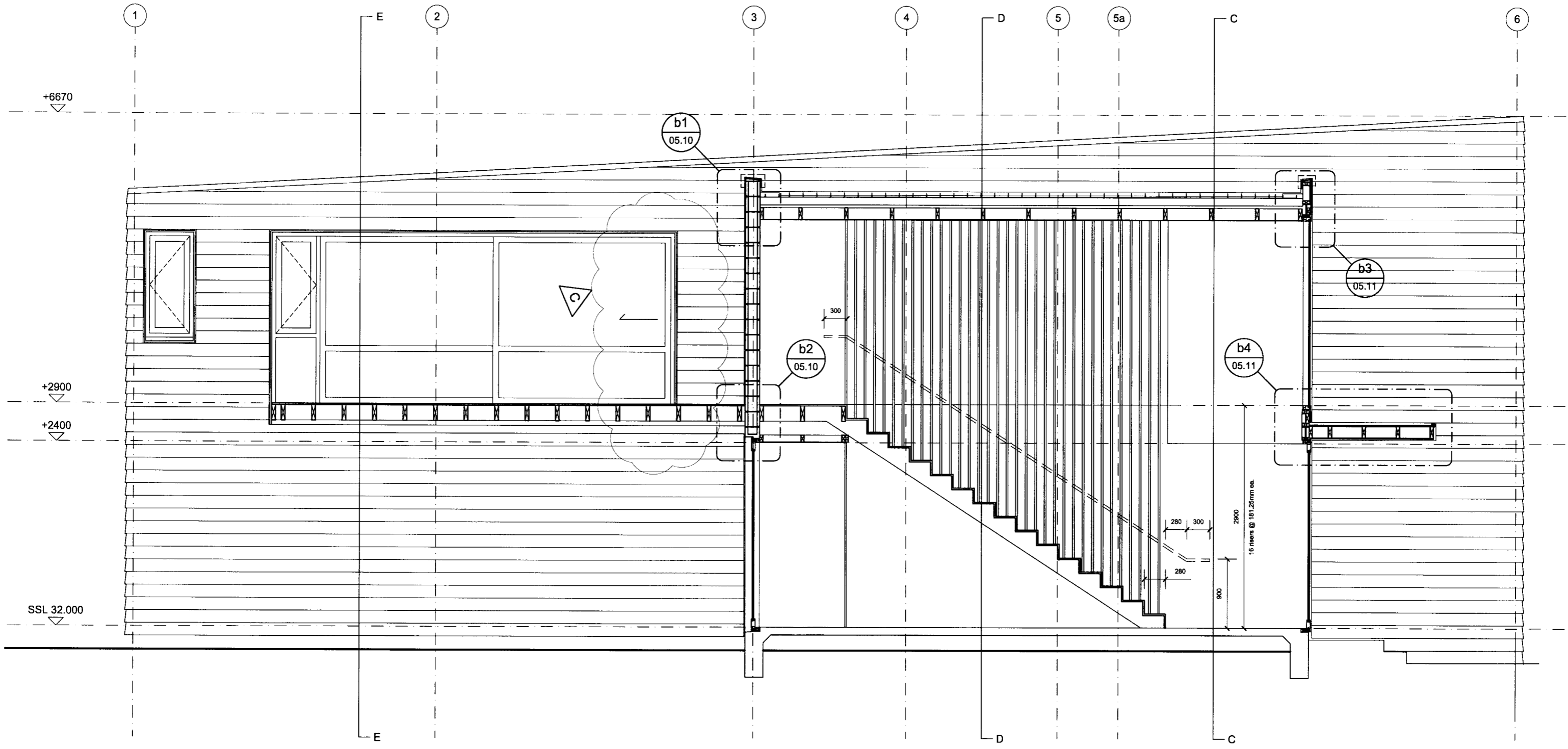
BLAIR JOHNSTON ARCHITECT 2005
PROJECT NAME:
932 BRIGHTON RD

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ISSUE:	DATE:	COMMENT:
A	20.12.2005	preliminary issue for review & comment
B	01.05.2006	tender and consent issue

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DRAWING NUMBER:
04.10
ISSUE:
B



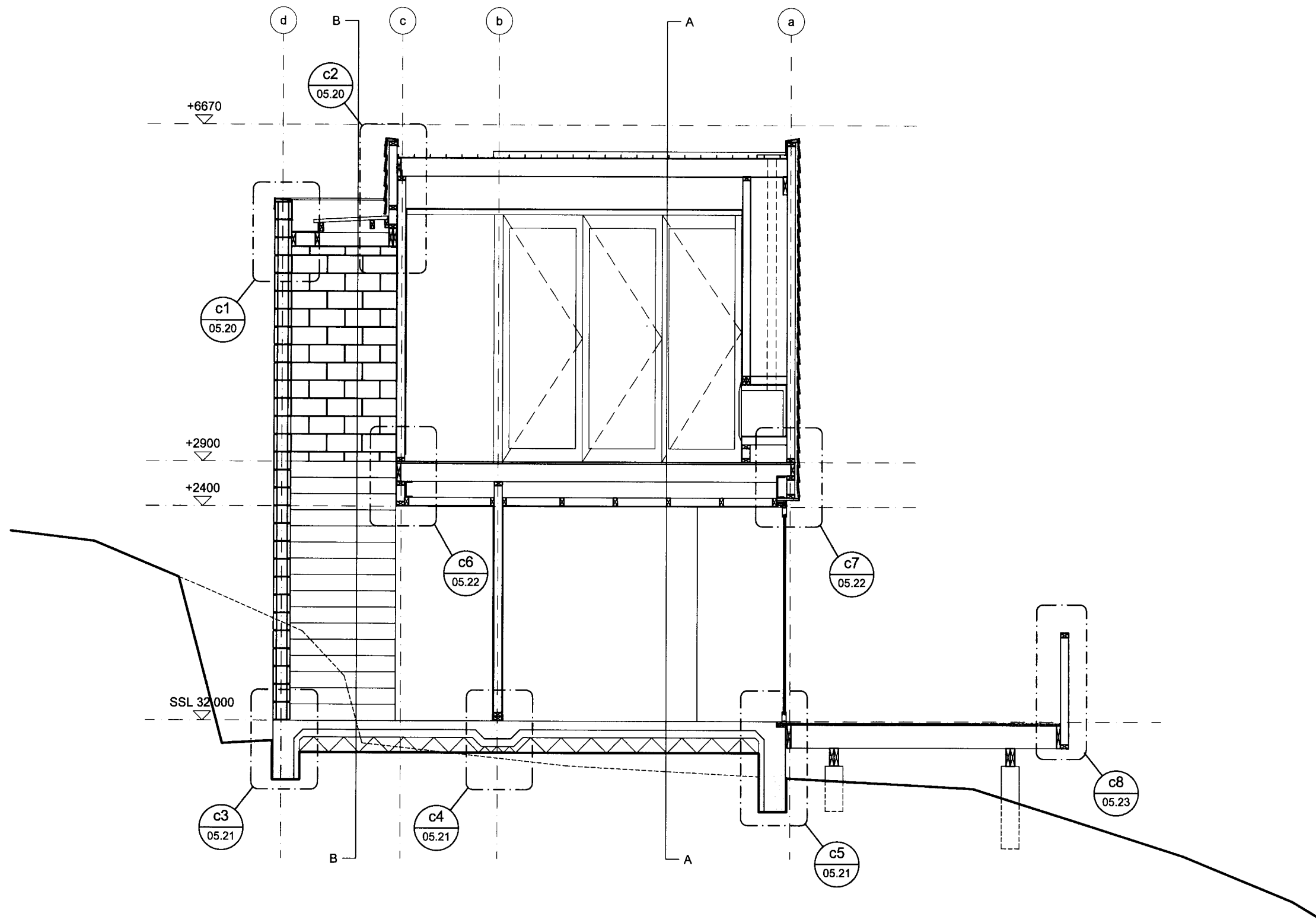
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ISSUE:	DATE:	COMMENT:
A	20.12.2005	preliminary issue for review & comment
B	01.05.2006	tender and consent issue
C	01.08.2006	W7 modified. issued for consent

DRAWING NAME:
SECTION BB
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DRAWING NUMBER:
04.11
 ISSUE:
C



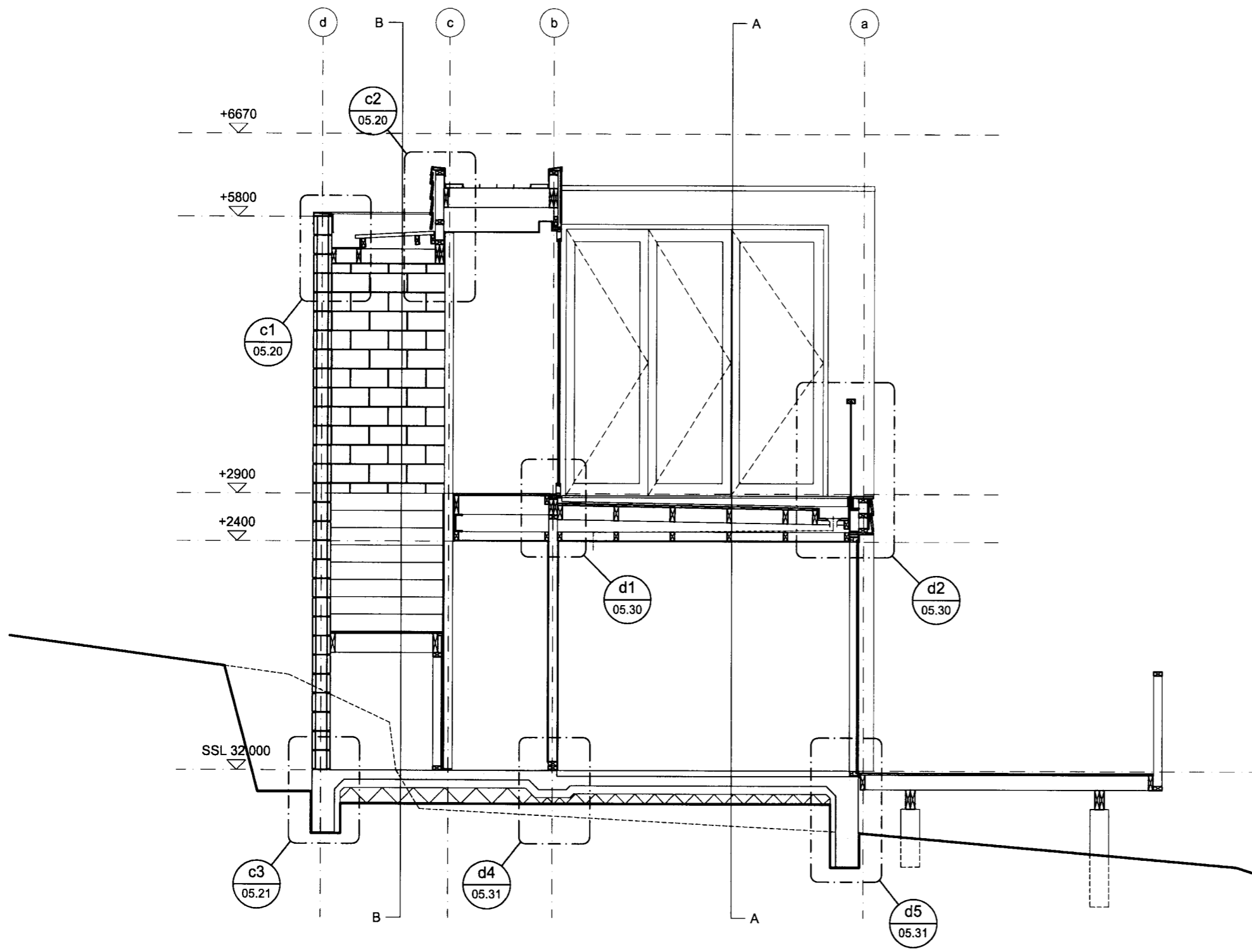
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 932 BRIGHTON RD

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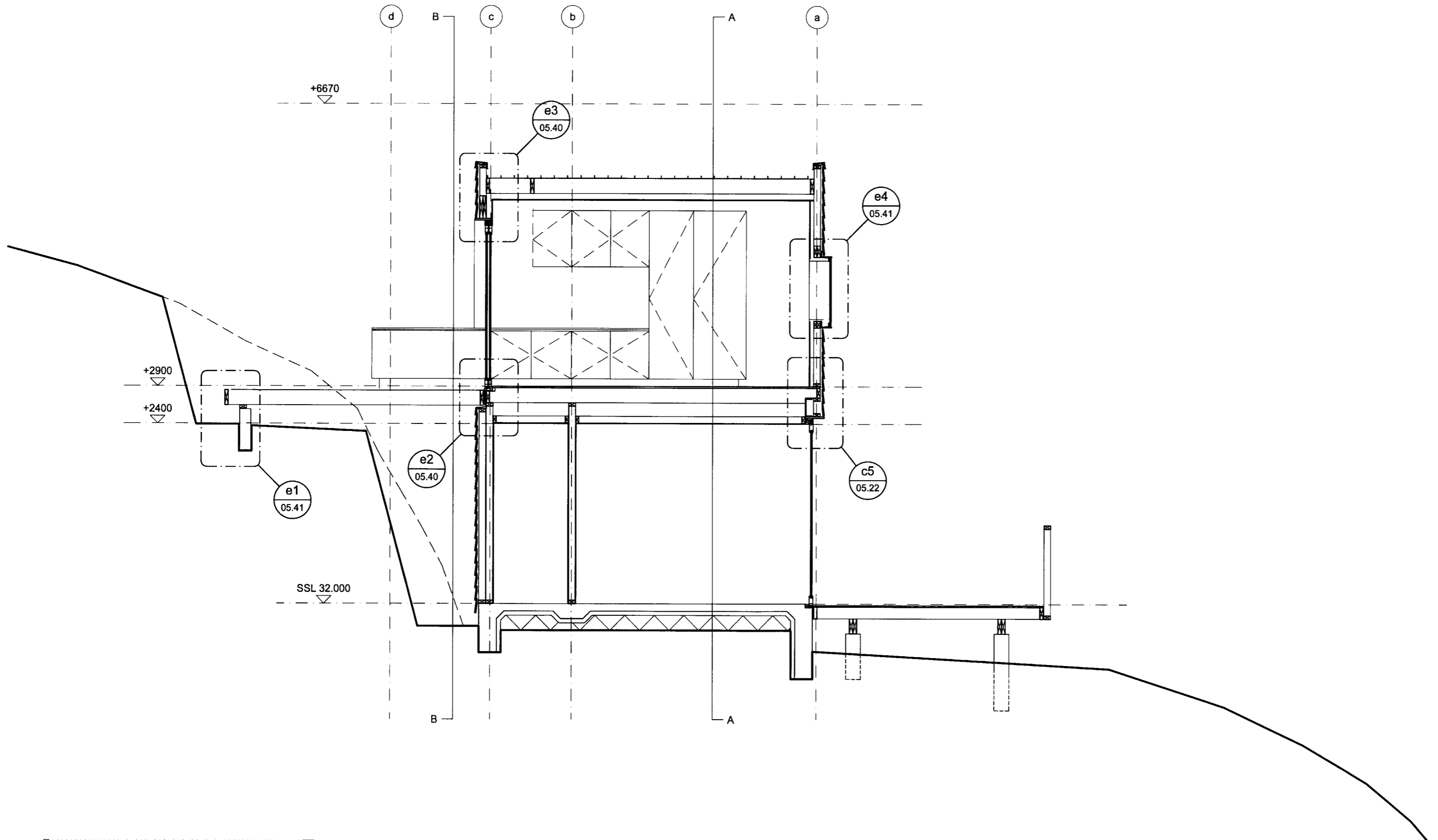
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A	20.12.2005	preliminary issue for review & comment
B	01.05.2006	tender and consent issue

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DRAWING NUMBER:	ISSUE:
04.12	B



<p>BLAIR JOHNSTON ARCHITECT 2005 PROJECT NAME: 932 BRIGHTON RD</p>	<p>NOTES: do not scale drawings. confirm all dimensions on site prior to any fabrication / construction work.</p>	<p>ISSUE: DATE: A 20.12.2005 B 01.05.2006</p>	<p>COMMENT: preliminary issue for review & comment tender and consent issue</p>	<p>DRAWING NAME: SECTION DD DRAWING SCALE: 1:50</p>	<p>DRAWING NUMBER: 04.13 ISSUE: B</p>
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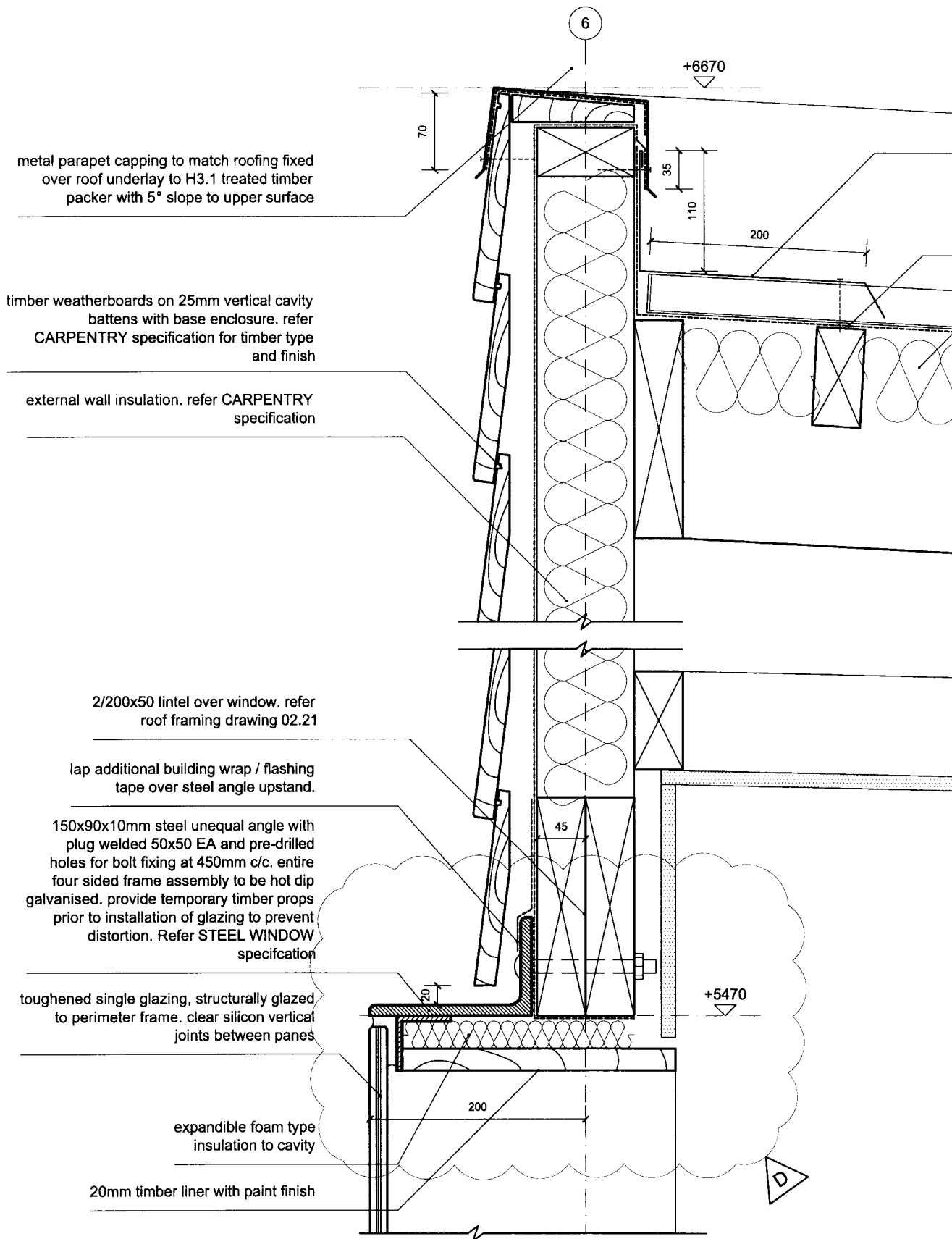
BLAIR JOHNSTON ARCHITECT 2005
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ISSUE:	DATE:	COMMENT:
A	20.12.2005	preliminary issue for review & comment
B	01.05.2006	tender and consent issue

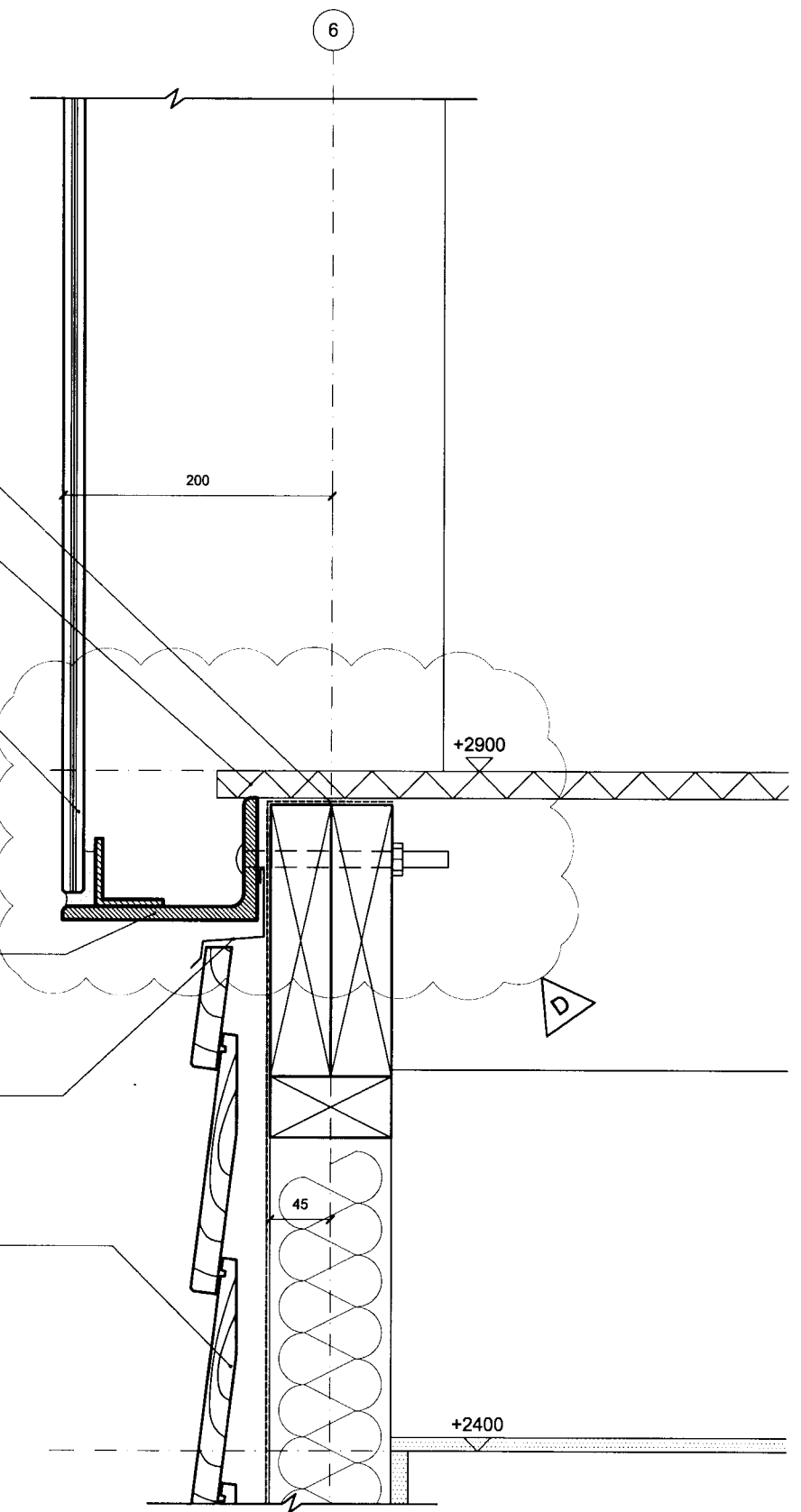
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SECTION EE
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 1:50

DRAWING NUMBER:
04.14
 ISSUE:
B



a1 STEEL WINDOW HEAD AND PARAPET AT GRID 6
05.00 SCALE 1:5 @ A3

- apron flashing to match roofing
- heavy duty roof underlay. refer PROFILED METAL ROOFING specification
- roofing insulation. refer CARPENTRY specification.
- dress building wrap into window opening
- 19mm structural grade plywood flooring
- toughened single glazing, structurally glazed to four sided perimeter frame.
- 150x90x10mm steel unequal angle with plug welded 50x50 EA and pre-drilled holes for bolt fixing at 450mm c/c. entire four sided frame assembly to be hot dip galvanised. provide temporary timber props prior to installation of glazing to prevent distortion. Refer STEEL WINDOW specification.
- anod. aluminium sill flashing with 5° fall installed behind steel window frame
- timber weatherboards on 25mm vertical cavity battens with base enclosure. refer CARPENTRY specification for timber type and finish



a2 STEEL WINDOW SILL AT GRID 6
05.00 SCALE 1:5 @ A3

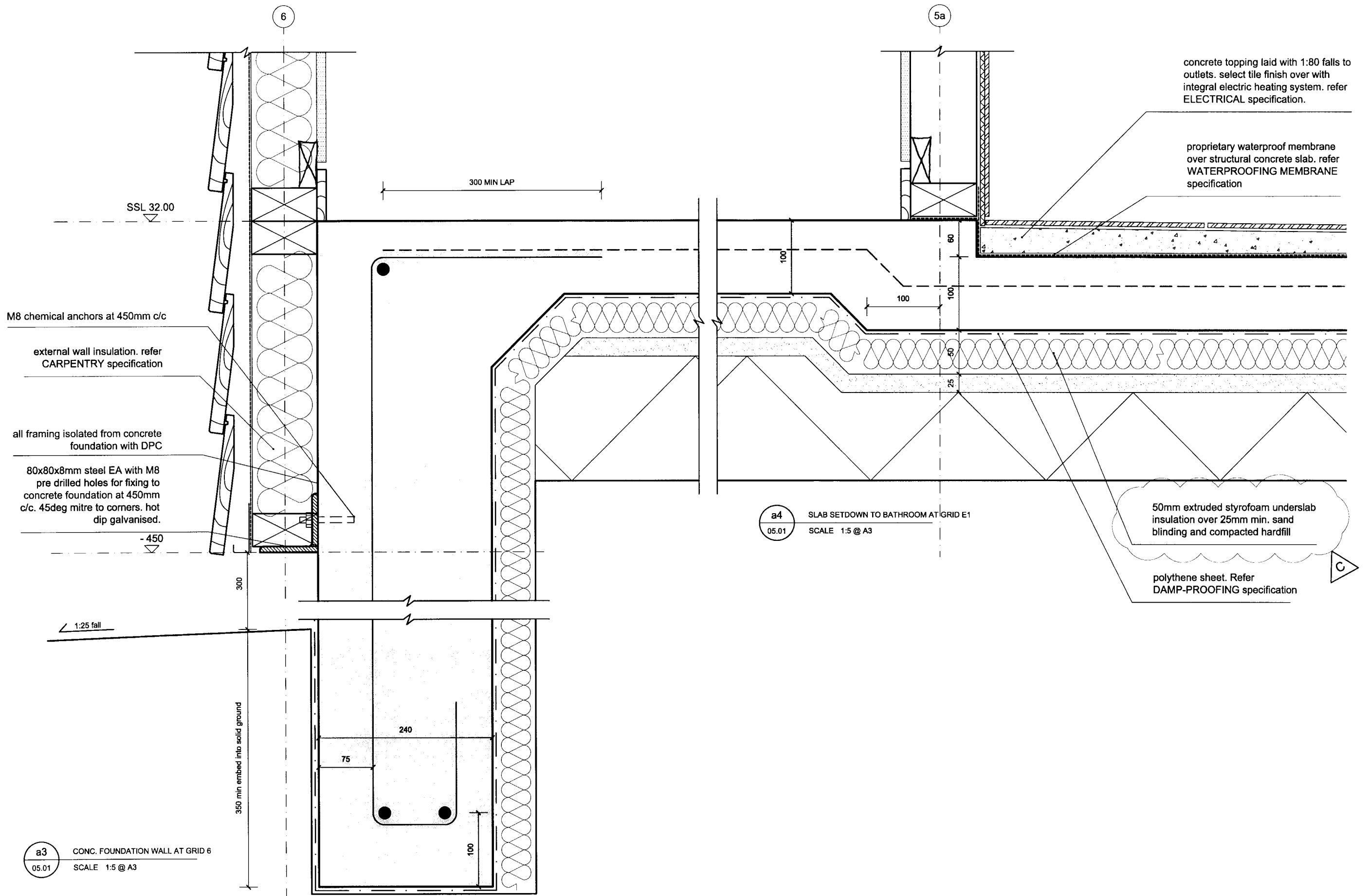
BLAIR JOHNSTON ARCHITECT 2005
PROJECT NAME:
932 BRIGHTON RD

NOTES:
do not scale drawings.
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fabrication / construction work.

ISSUE:	DATE:	COMMENT:
A	20.12.2005	preliminary issue for review & comment
B	26.02.2006	steel window frame detail revised
C	01.05.2006	tender and consent issue
D	01.08.2006	window head and sill detail revised. issued for consent

DRAWING NAME:
SECTION AA DETAILS 1
DRAWING SCALE:
1:5

DRAWING NUMBER:
05.00
ISSUE:
D



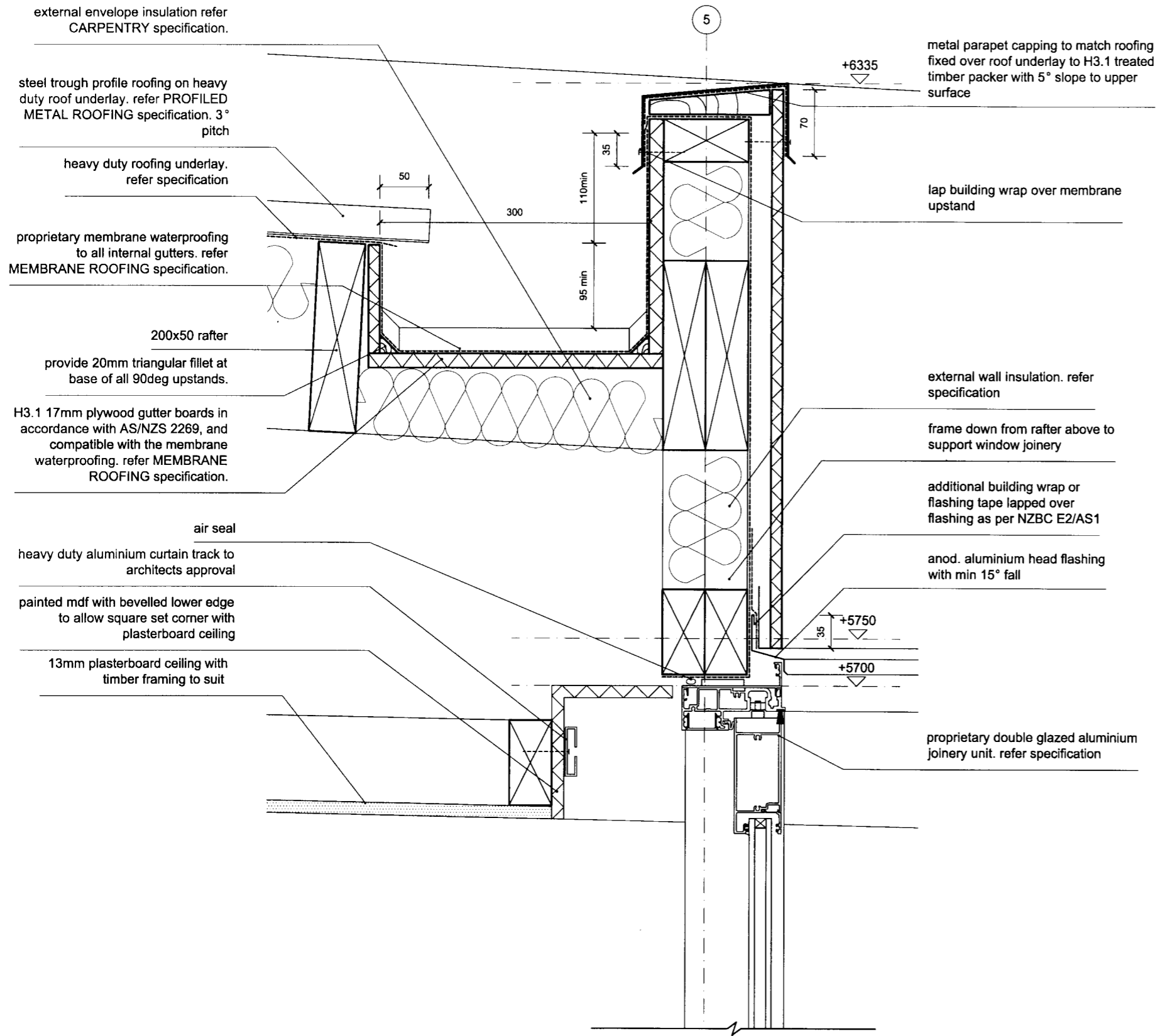
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 PROJECT NAME:
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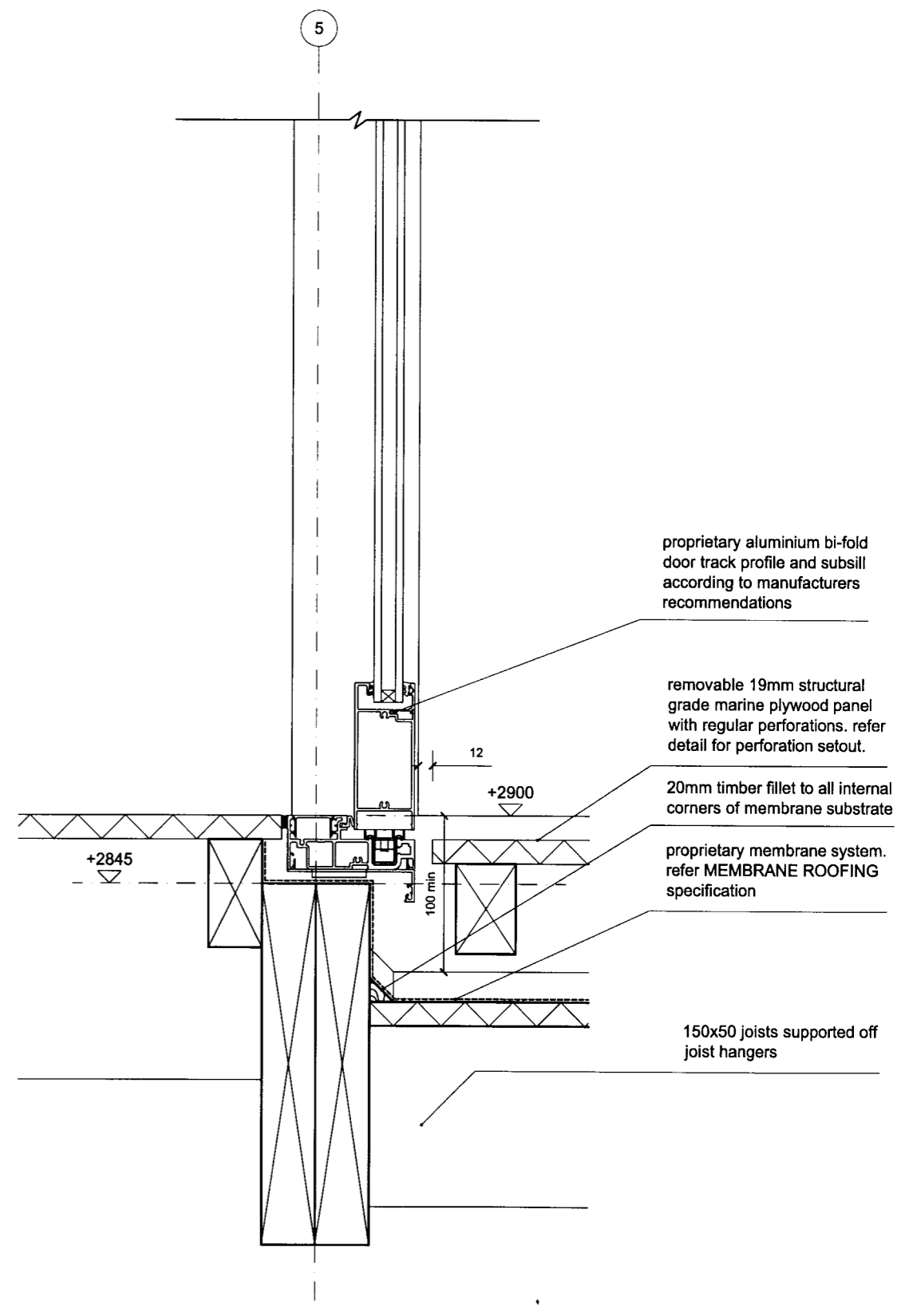
ISSUE:	DATE:	COMMENT:
A	20.12.2005	preliminary issue for review & comment
B	01.05.2006	tender and consent issue
C	01.08.2006	underslab insulation added. issued for consent

DRAWING NAME:
 SECTION AA DETAILS 2
 DRAWING SCALE:
 1:5

DRAWING NUMBER:
 05.01
 ISSUE:
 C



a5 INTERNAL GUTTER AND PARAPET WITH BI-FOLD DOOR HEAD AT GRID 5
 05.02 SCALE 1:5 @ A3



a6 BI-FOLD DOOR SILL AT GRID 5
 05.02 SCALE 1:5 @ A3

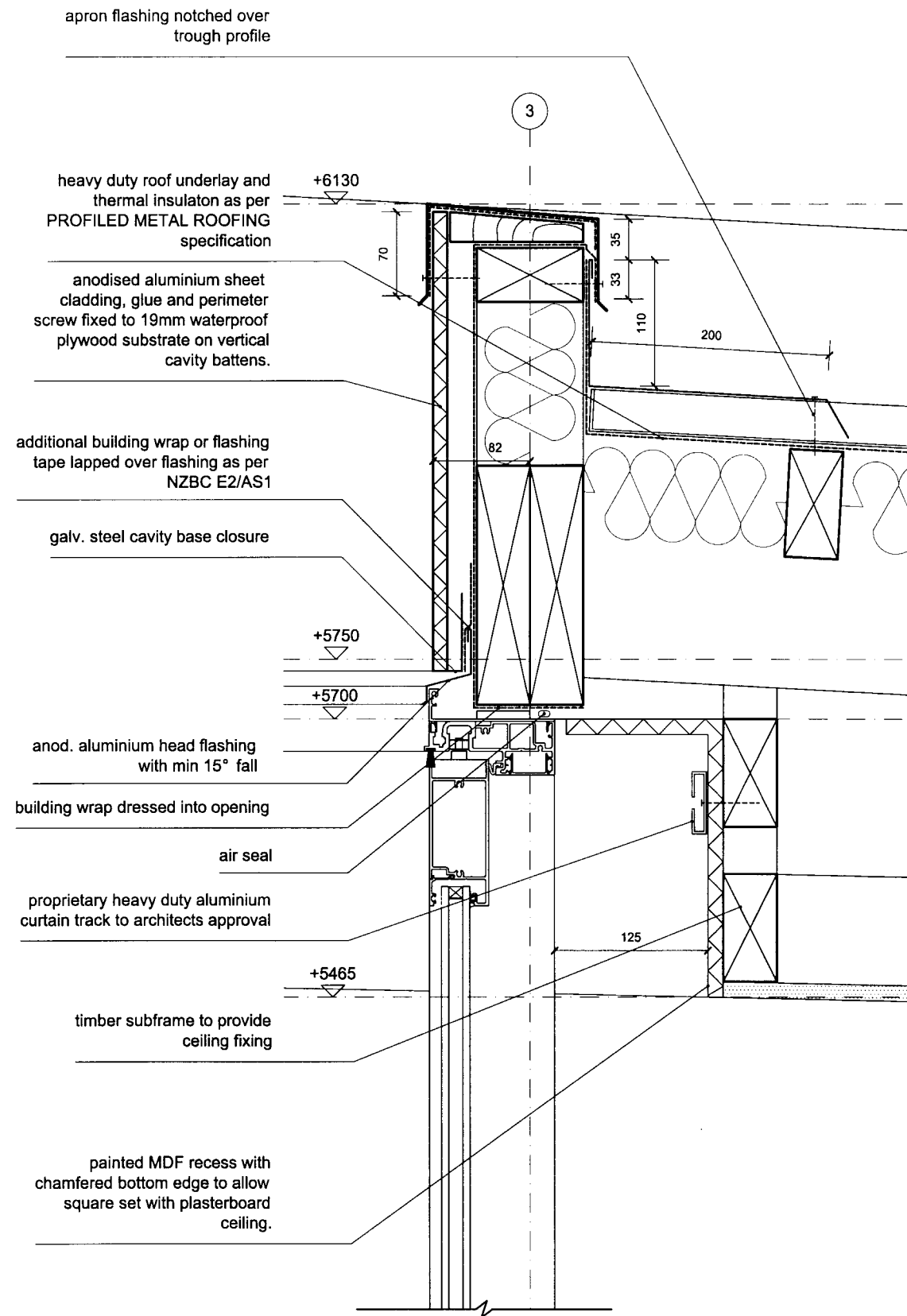
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 PROJECT NAME:
 932 BRIGHTON RD

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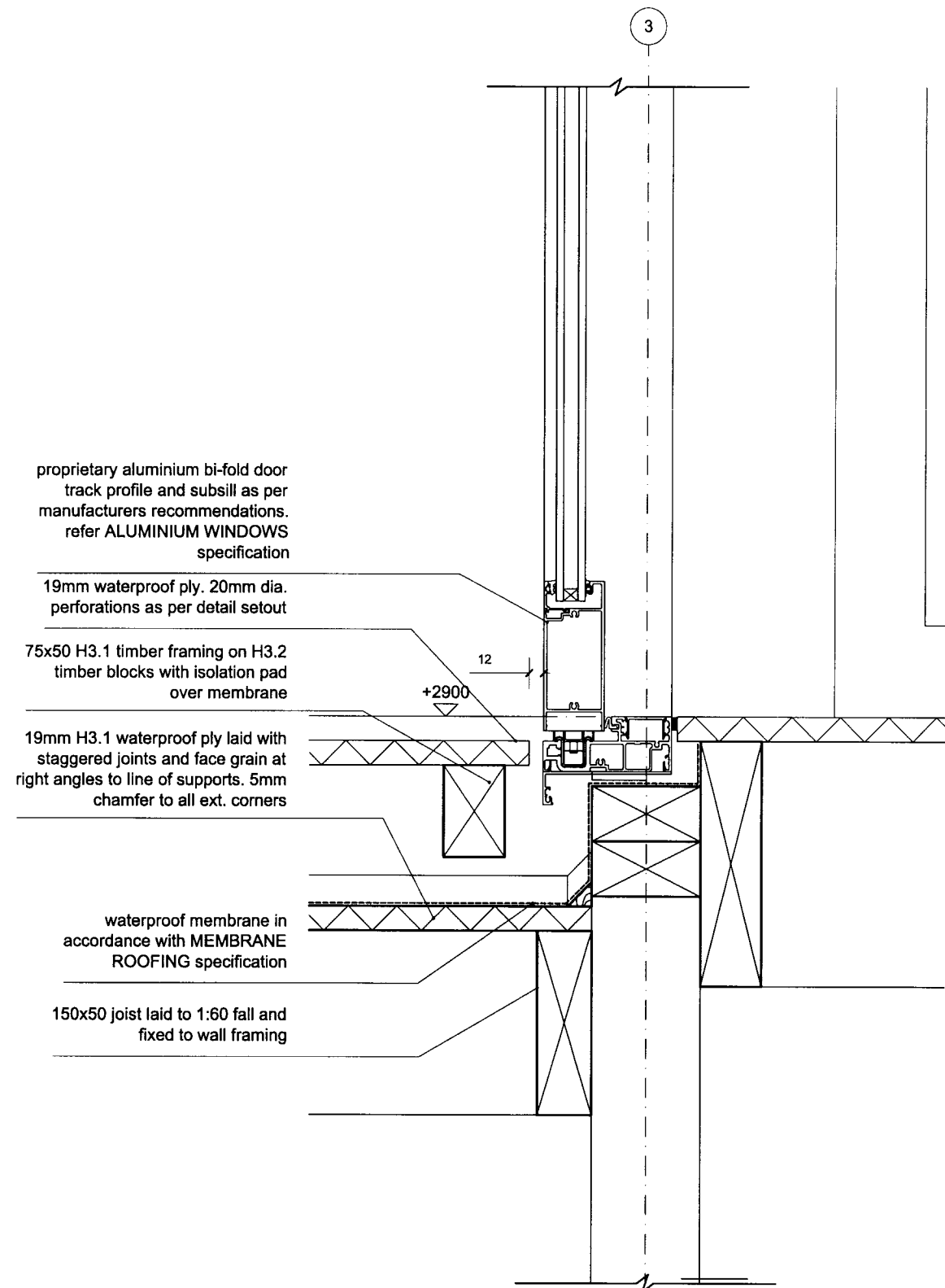
ISSUE:	DATE:	COMMENT:
A	20.12.2005	preliminary issue for review & comment
B	01.05.2005	tender and consent issue

DRAWING NAME:
SECTION AA DETAILS 3
 DRAWING SCALE:
 1:5

DRAWING NUMBER:
05.02
 ISSUE:
B



a7 DETAIL SECTION THROUGH WALL AT GRID 3
05.03 SCALE 1:5 @ A3



a8 DETAIL SECTION THROUGH WALL AT GRID 3
05.03 SCALE 1:5 @ A3

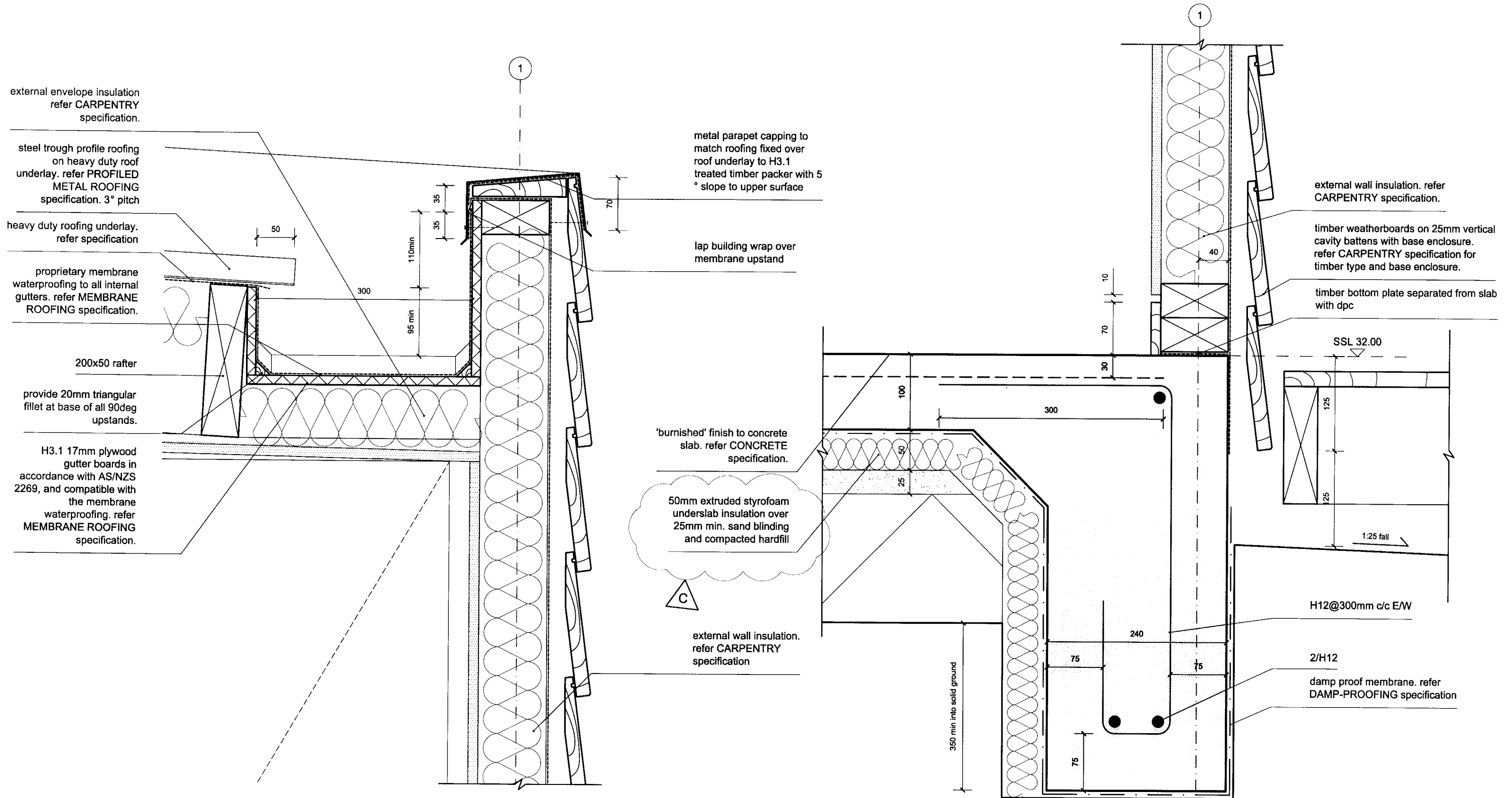
BLAIR JOHNSTON ARCHITECT 2005
PROJECT NAME:
932 BRIGHTON RD

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ISSUE:	DATE:	COMMENT:
A	20.12.2005	preliminary issue for review & comment
B	01.05.2005	tender and consent issue

DRAWING NAME:
SECTION AA DETAILS 4
DRAWING SCALE:
1:5

DRAWING NUMBER:
05.03
ISSUE:
B



external envelope insulation refer CARPENTRY specification.

steel trough profile roofing on heavy duty roof underlay. refer PROFILED METAL ROOFING specification. 3° pitch

heavy duty roofing underlay. refer specification

proprietary membrane waterproofing to all internal gutters. refer MEMBRANE ROOFING specification.

200x50 rafter

provide 20mm triangular fillet at base of all 90deg upstands.

H3.1 17mm plywood gutter boards in accordance with AS/NZS 2269, and compatible with the membrane waterproofing. refer MEMBRANE ROOFING specification.

metal parapet capping to match roofing fixed over roof underlay to H3.1 treated timber packer with 5° slope to upper surface

lap building wrap over membrane upstand

'burnished' finish to concrete slab. refer CONCRETE specification.

50mm extruded styrofoam underslab insulation over 25mm min. sand blinding and compacted hardfill

external wall insulation. refer CARPENTRY specification

external wall insulation. refer CARPENTRY specification.

timber weatherboards on 25mm vertical cavity battens with base enclosure. refer CARPENTRY specification for timber type and base enclosure.

timber bottom plate separated from slab with dpc

SSL 32.00

H12@300mm c/c E/W

2/H12 damp proof membrane. refer DAMP-PROOFING specification

a9 INTERNAL GUTTER AND PARAPET AT GRID 1
05.04 SCALE 1:5 @ A3

a10 CONC FOOTING AT GRID 1
05.04 SCALE 1:5 @ A3

BLAIR JOHNSTON ARCHITECT 2005
PROJECT NAME:
932 BRIGHTON RD

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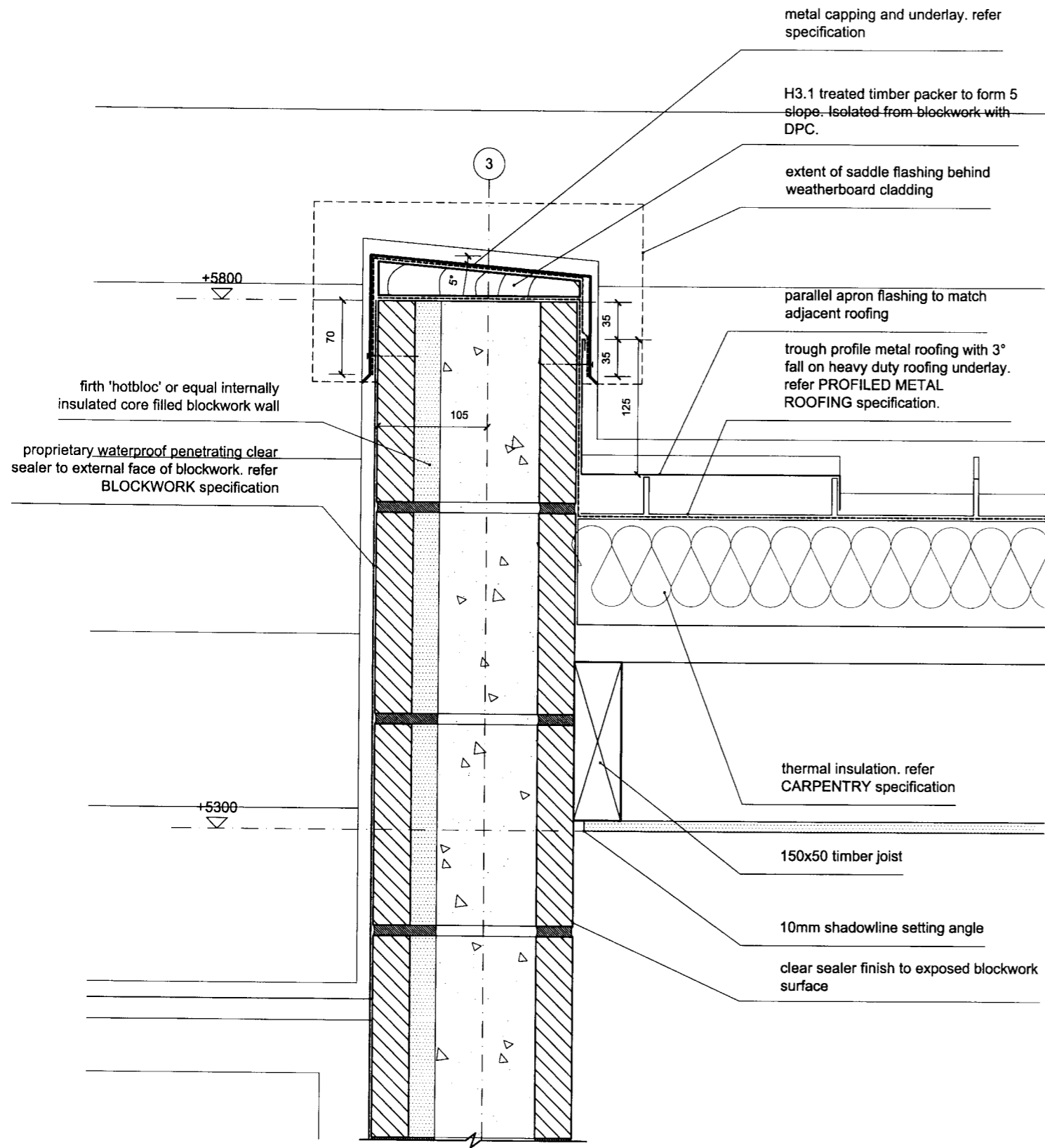
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A	20.12.2005	preliminary issue for review & comment
B	01.05.2006	tender and consent issue
C	01.08.2006	underslab insulation added. issued for consent

DRAWING NAME:
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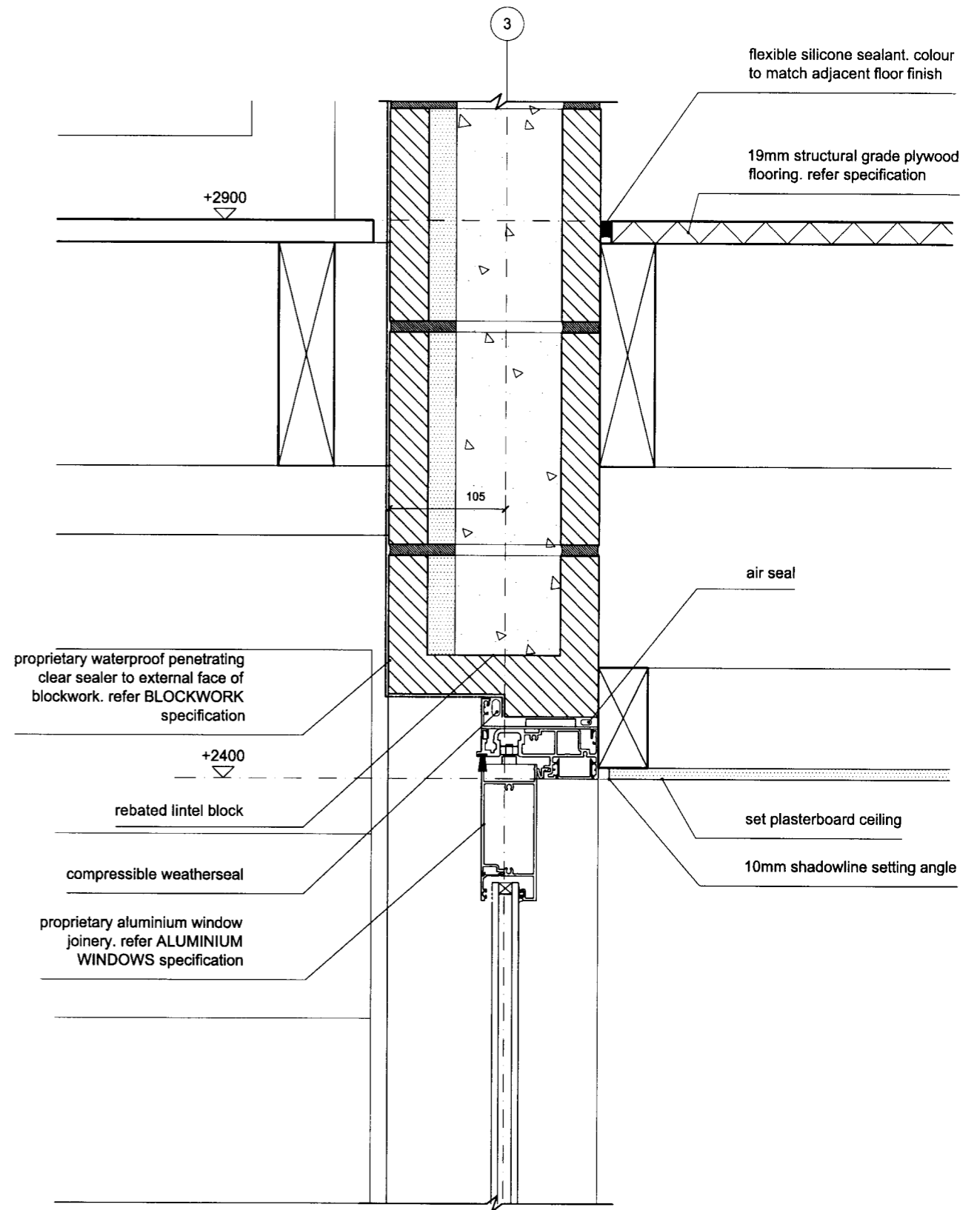
DRAWING SCALE:
1:5

DRAWING NUMBER:
05.04

ISSUE:
C



b1 BLOCK WALL PARAPET AT GRID 3
05.10 SCALE 1:5 @ A3



b2 DETAIL SECTION THROUGH BLOCK WALL AT GRID 3
05.10 SCALE 1:5 @ A3

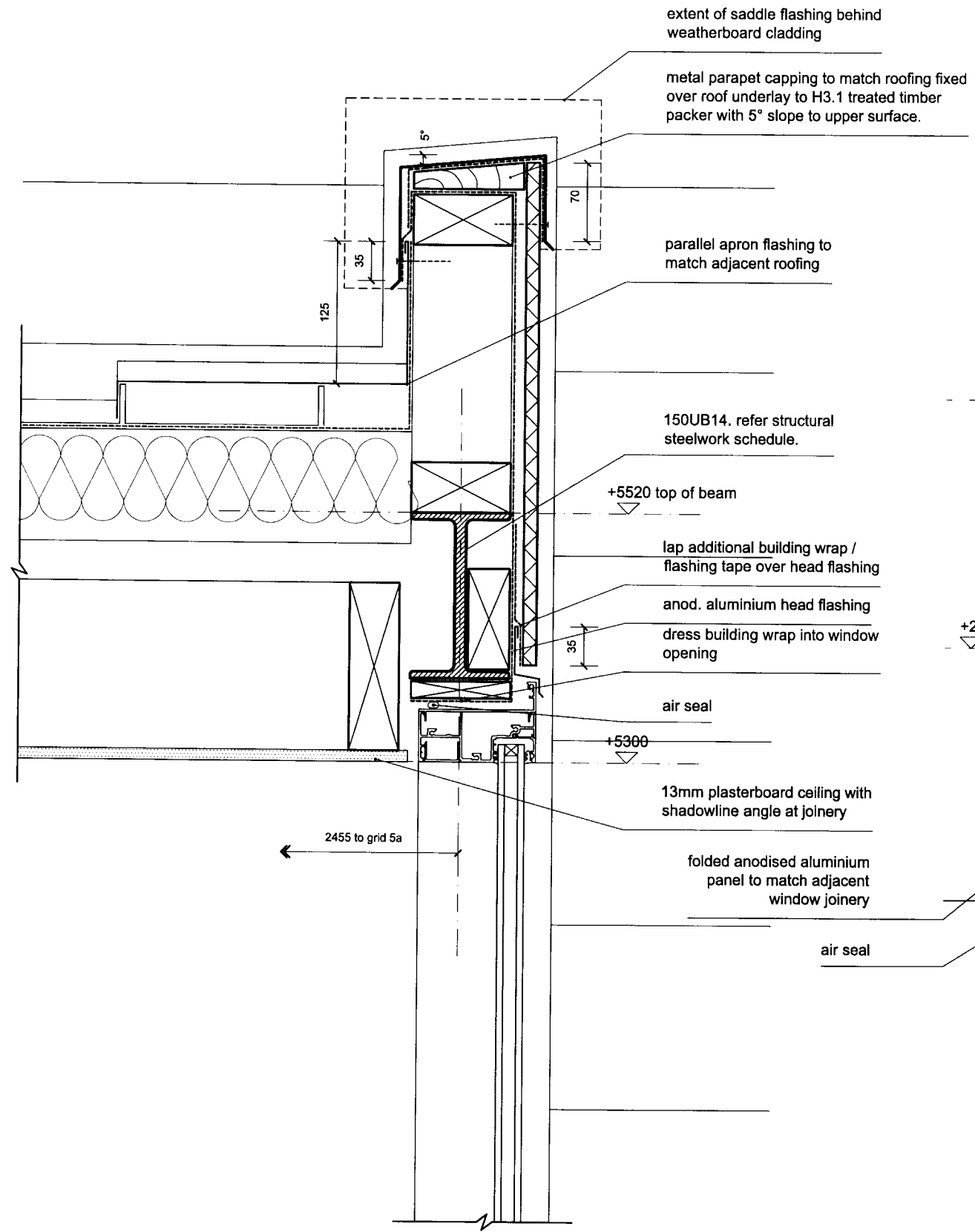
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PROJECT NAME:
932 BRIGHTON RD

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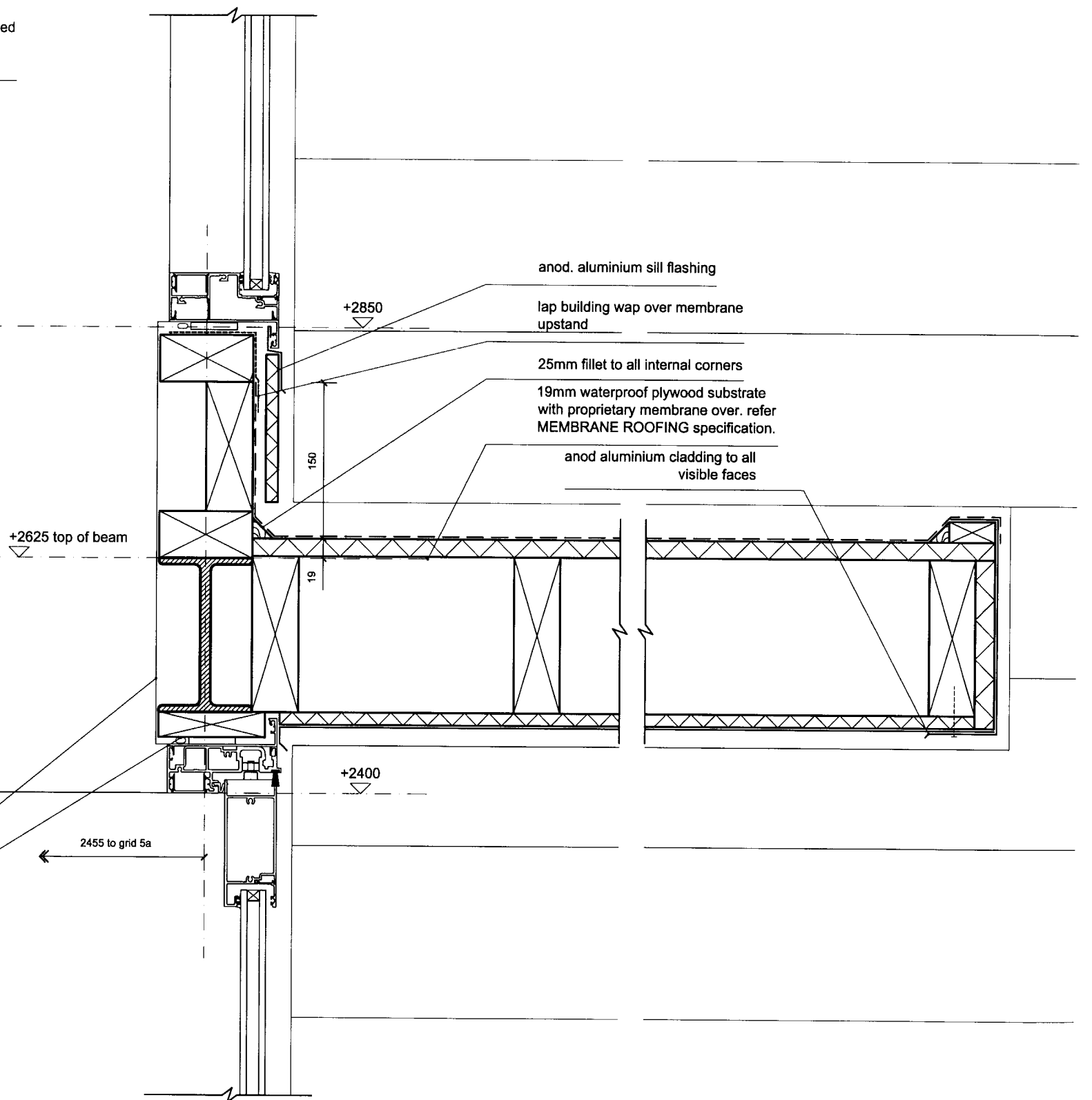
ISSUE:	DATE:	COMMENT:
A	20.12.2005	preliminary issue for review & comment
B	01.05.2005	tender and consent issue

DRAWING NAME:
SECTION BB DETAILS 1
DRAWING SCALE:
1:5

DRAWING NUMBER:
05.10
ISSUE:
B



b3 PARAPET AND WINDOW AT ENTRY
05.11 SCALE 1:5 @ A3



b4 DETAIL SECTION THROUGH WALL AT ENTRY
05.11 SCALE 1:5 @ A3

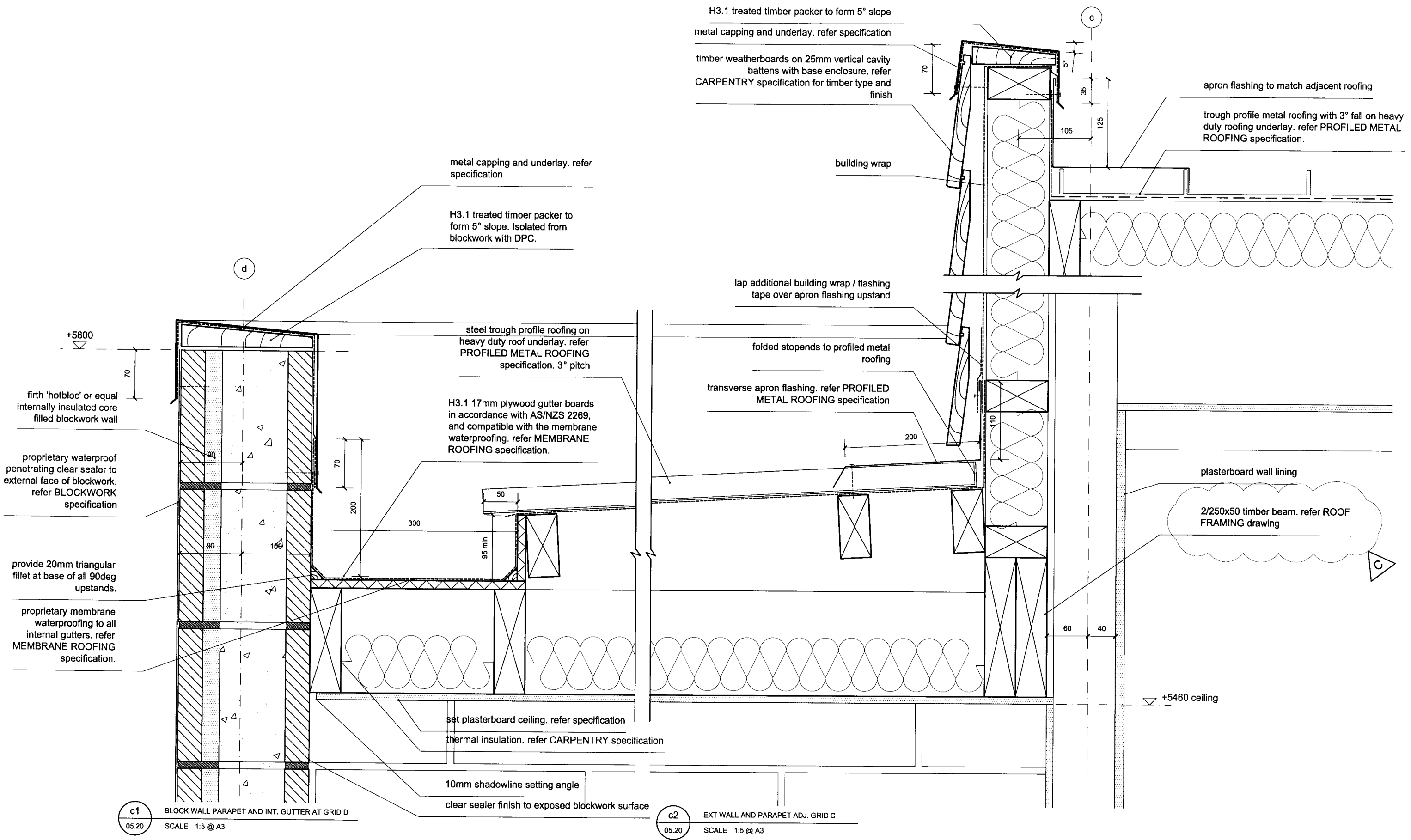
BLAIR JOHNSTON ARCHITECT 2005
PROJECT NAME:
932 BRIGHTON RD

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ISSUE:	DATE:	COMMENT:
A	20.12.2005	preliminary issue for review & comment
B	01.05.2005	tender and consent issue

DRAWING NAME:
SECTION BB DETAILS 2
DRAWING SCALE:
1:5

DRAWING NUMBER:
05.11
ISSUE:
B



BLAIR JOHNSTON ARCHITECT 2005

PROJECT NAME:
932 BRIGHTON RD

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ISSUE:

ISSUE:	DATE:	COMMENT:
A	20.12.2005	preliminary issue for review & comment
B	01.05.2006	tender and consent issue
C	01.08.2006	beam revised. issued for consent

DRAWING NAME:

SECTION CC DETAILS 1

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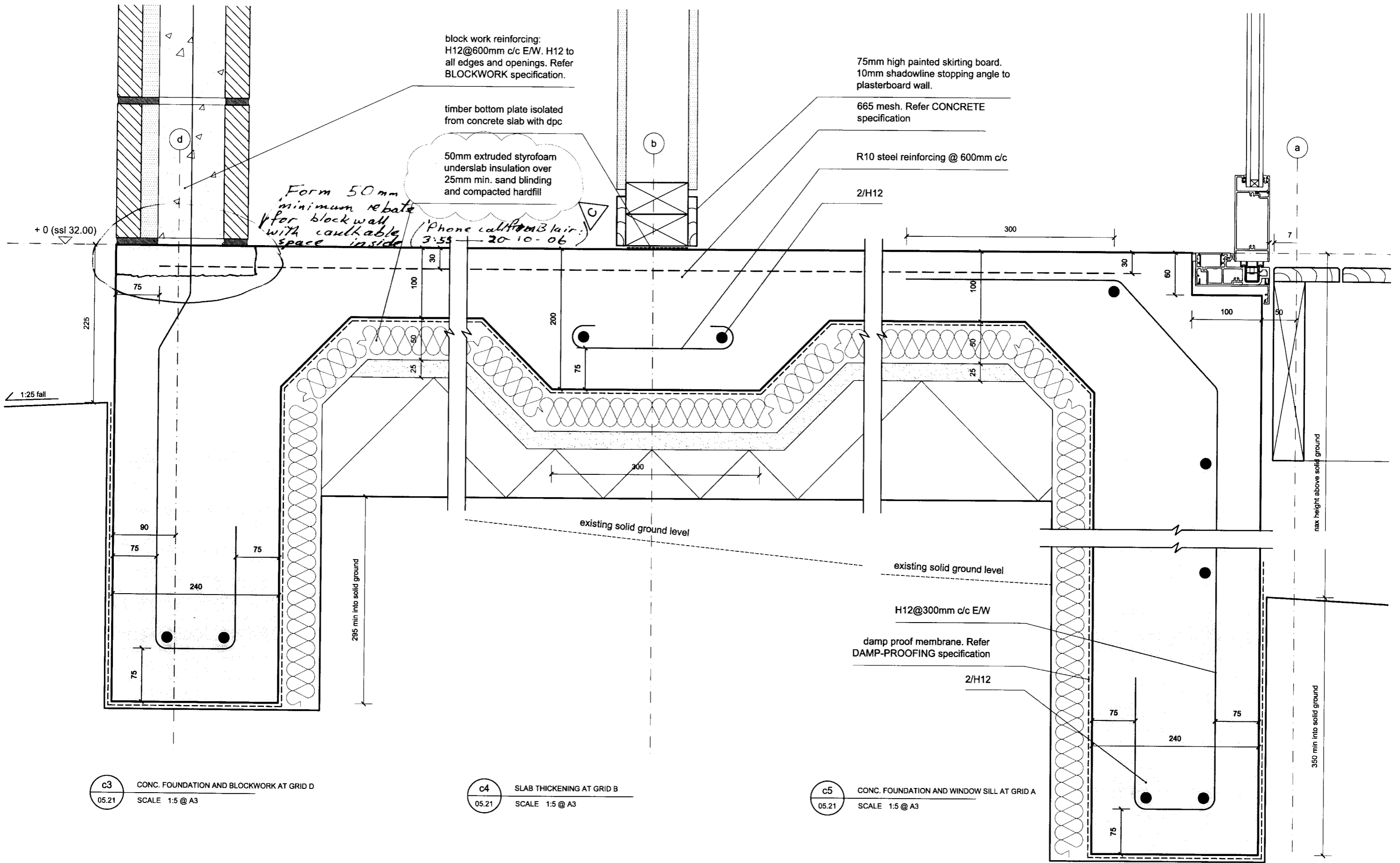
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DRAWING NUMBER:

05.20

ISSUE:

C



c3 CONC. FOUNDATION AND BLOCKWORK AT GRID D
05.21 SCALE 1:5 @ A3

c4 SLAB THICKENING AT GRID B
05.21 SCALE 1:5 @ A3

c5 CONC. FOUNDATION AND WINDOW SILL AT GRID A
05.21 SCALE 1:5 @ A3

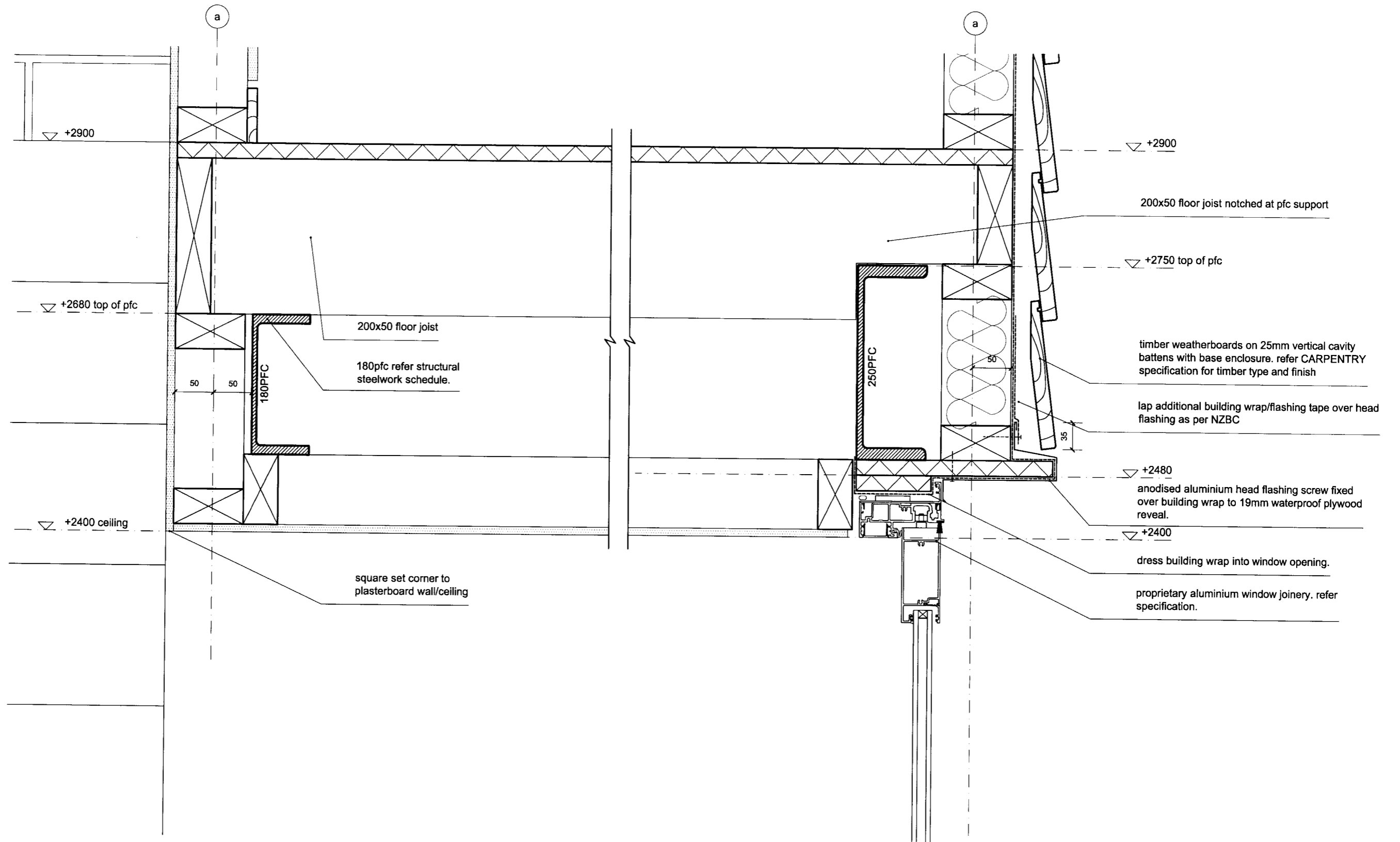
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PROJECT NAME:
932 BRIGHTON RD

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ISSUE:	DATE:	COMMENT:
A	20.12.2005	preliminary issue for review & comment
B	01.05.2006	tender and consent issue
C	01.08.2006	underslab insulation added. issued for consent

DRAWING NAME:
SECTION CC DETAILS 2
DRAWING SCALE:
1:5

DRAWING NUMBER:
05.21
ISSUE:
C



c6 BULKHEAD AND PFC AT GRID C
05.22 SCALE 1:5 @ A3

c7 WINDOW HEAD AND PFC AT GRID A
05.22 SCALE 1:5 @ A3

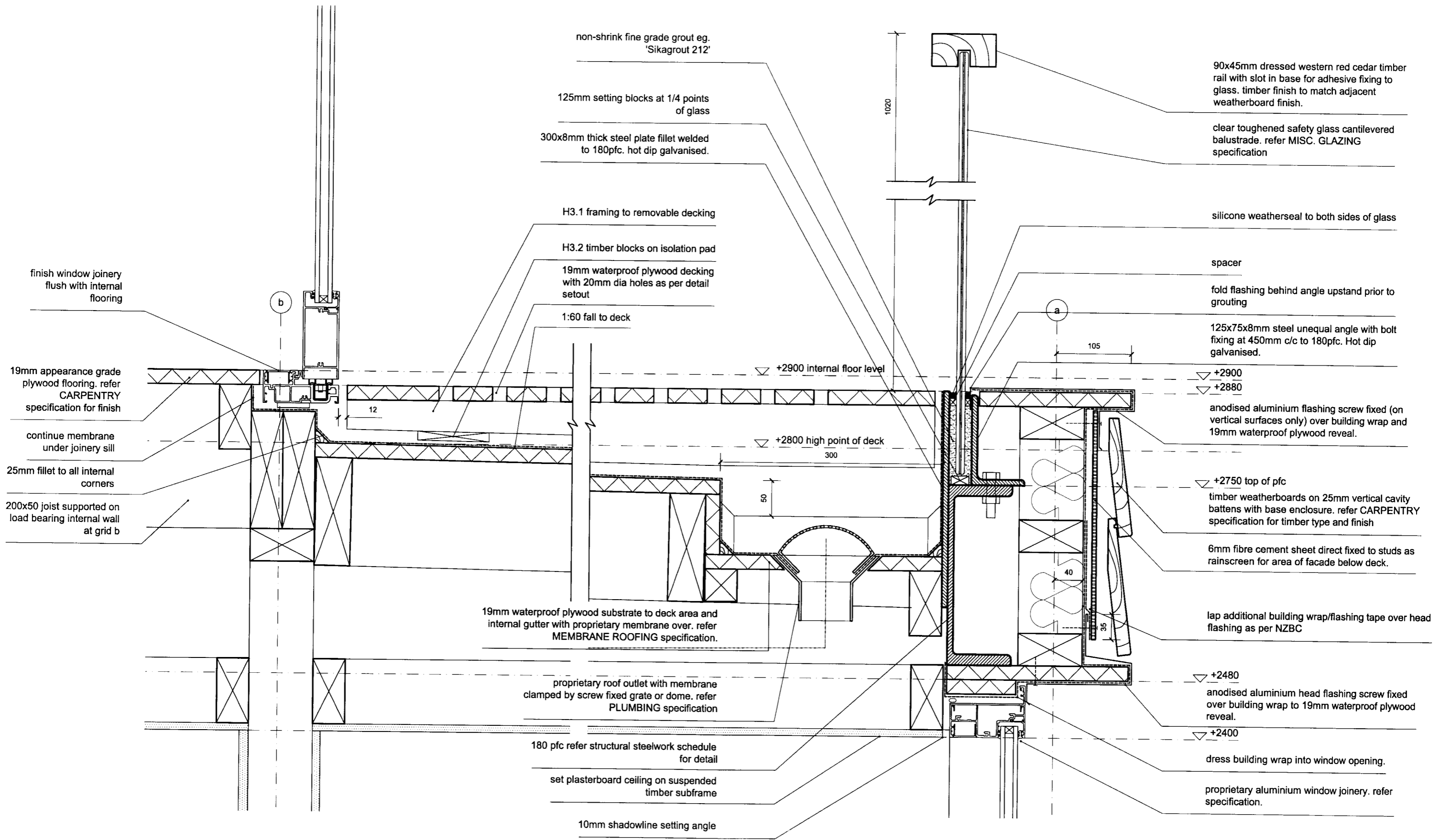
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PROJECT NAME:
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B	01.05.2005	tender and consent issue

DRAWING NAME:
SECTION CC DETAILS
DRAWING SCALE:
1:5

DRAWING NUMBER:
05.22
ISSUE:
B



d1 DETAIL SECTION THROUGH WALL AT GRID B
05.30 SCALE 1:5 @ A3

d2 DETAIL SECTION THROUGH INT. TERRACE AND BALUSTRADE AT GRID A
05.30 SCALE 1:5 @ A3

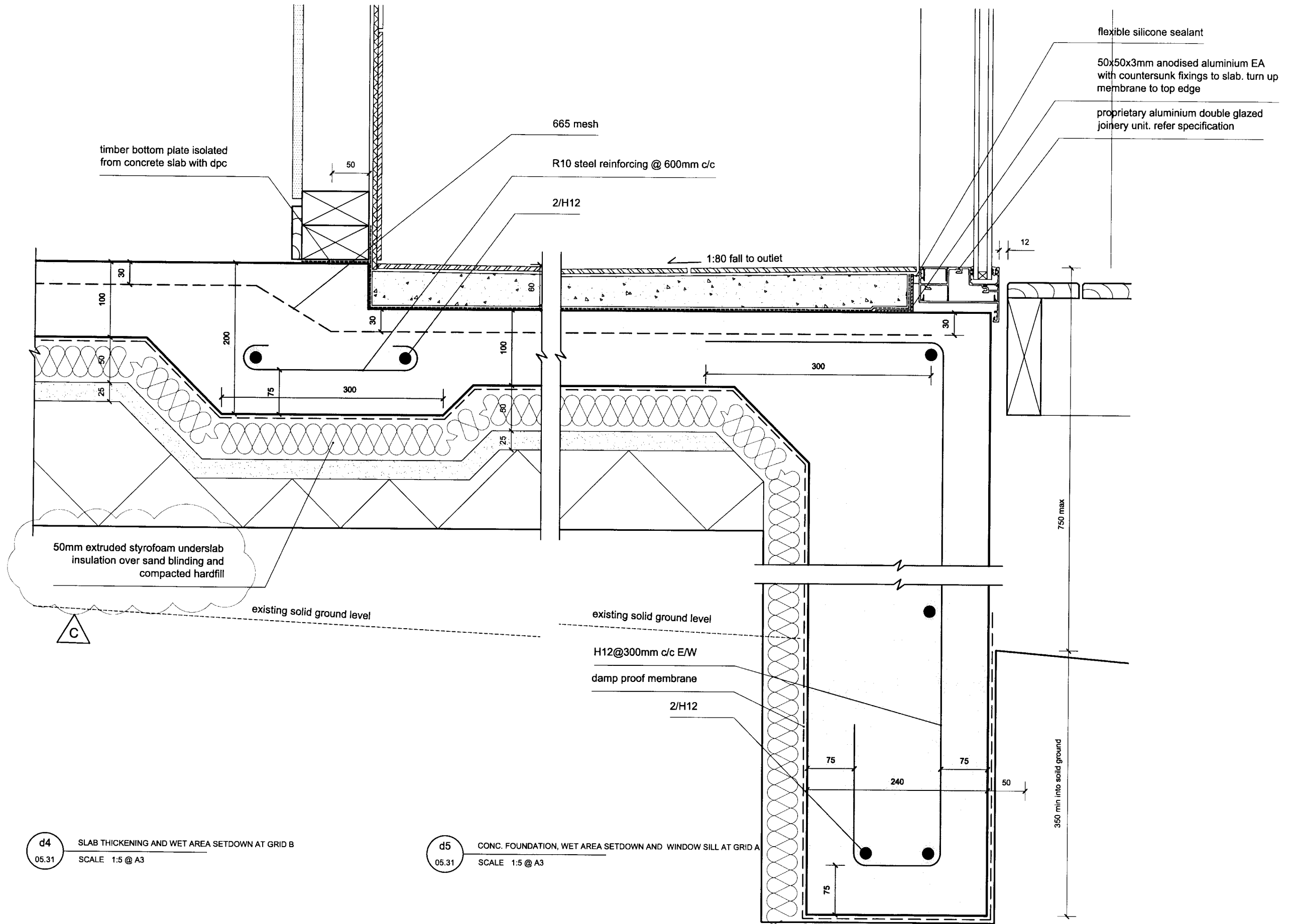
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PROJECT NAME:
932 BRIGHTON RD

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ISSUE:	DATE:	COMMENT:
A	20.12.2005	preliminary issue for review & comment
B	23.03.2006	balustrade detail revised, issued for tender
C	01.05.2006	tender and consent issue

DRAWING NAME:
SECTION DD DETAILS 1
DRAWING SCALE:
1:5

DRAWING NUMBER:
05.30
ISSUE:
C



d4 SLAB THICKENING AND WET AREA SETDOWN AT GRID B
05.31 SCALE 1:5 @ A3

d5 CONC. FOUNDATION, WET AREA SETDOWN AND WINDOW SILL AT GRID A
05.31 SCALE 1:5 @ A3

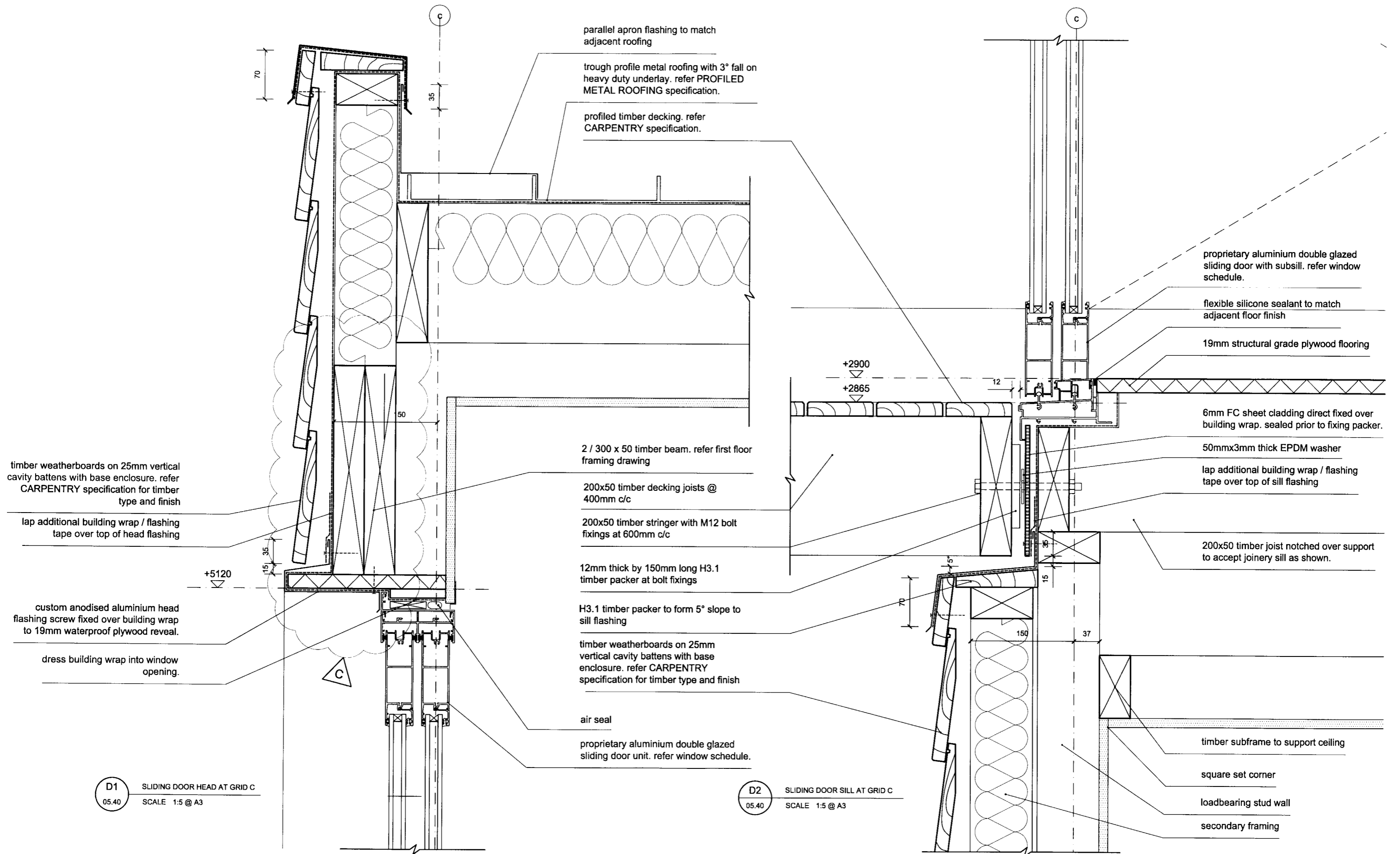
BLAIR JOHNSTON ARCHITECT 2005
PROJECT NAME:
932 BRIGHTON RD

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ISSUE:	DATE:	COMMENT:
A	20.12.2005	preliminary issue for review & comment
B	01.05.2006	tender and consent issue
C	01.08.2006	underslab insulation added. issued for consent

DRAWING NAME:
SECTION DD DETAILS 2
DRAWING SCALE:
1:5

DRAWING NUMBER:
05.31
ISSUE:
C



D1 SLIDING DOOR HEAD AT GRID C
05.40 SCALE 1:5 @ A3

D2 SLIDING DOOR SILL AT GRID C
05.40 SCALE 1:5 @ A3

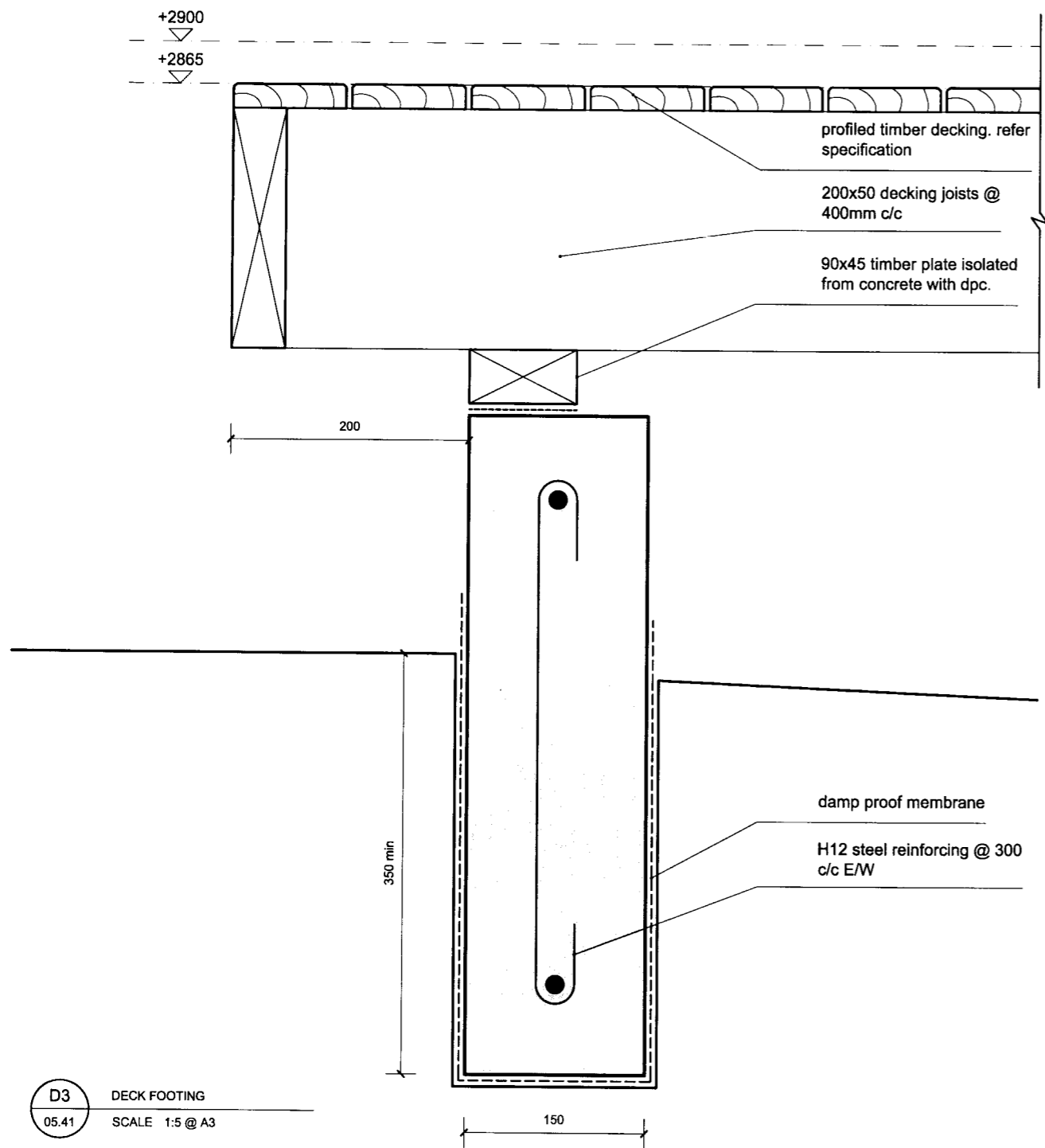
BLAIR JOHNSTON ARCHITECT 2005
PROJECT NAME:
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confirm all dimensions on site prior to any
fabrication / construction work.

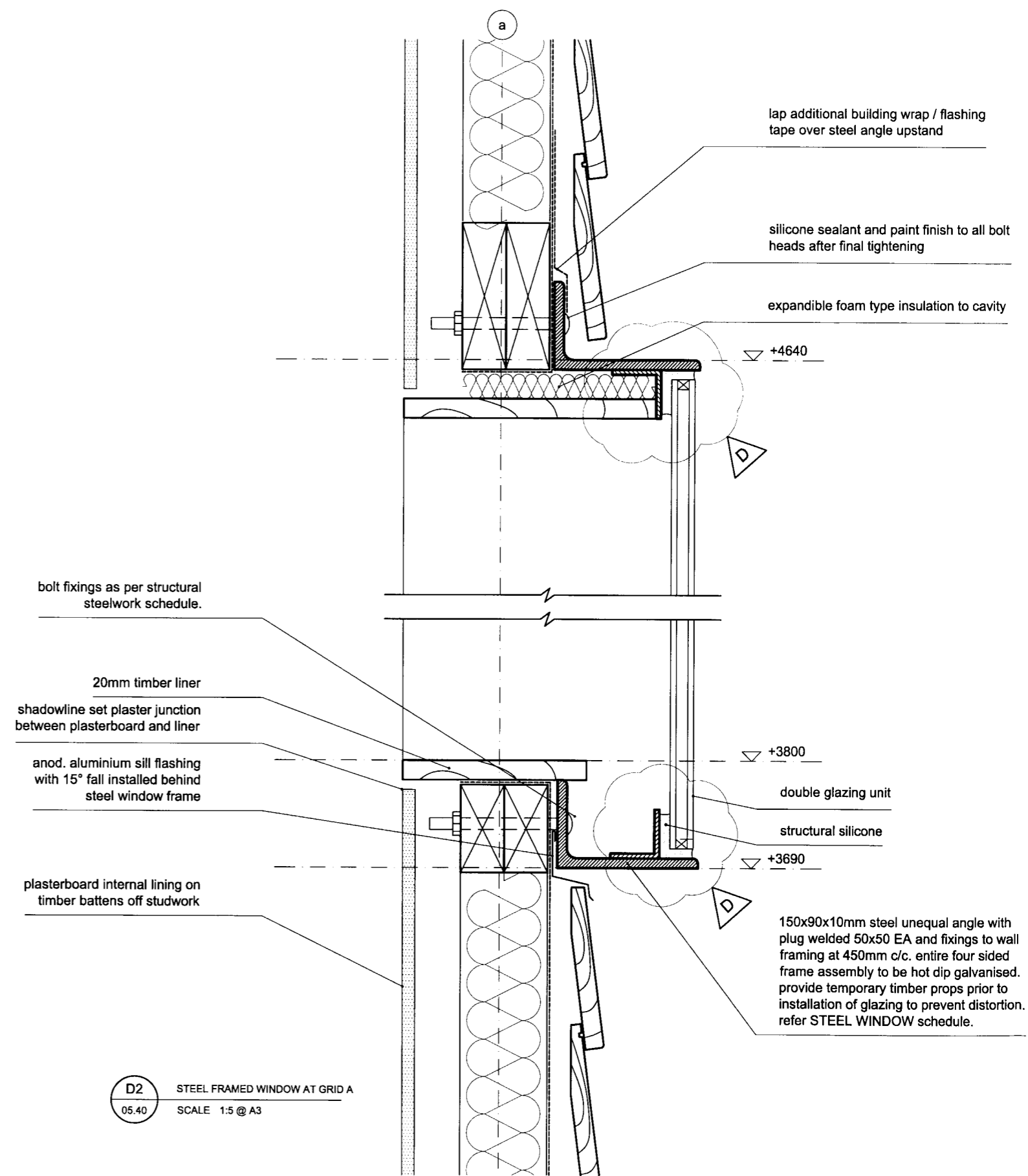
ISSUE:	DATE:	COMMENT:
A	20.12.2005	preliminary issue for review & comment
B	01.05.2006	tender and consent issue
C	01.08.2006	pfc beam revised to timber beam. issued for consent

DRAWING NAME:
SECTION EE DETAILS 1
DRAWING SCALE:
1:5

DRAWING NUMBER:
05.40
ISSUE:
C



D3 DECK FOOTING
05.41 SCALE 1:5 @ A3



D2 STEEL FRAMED WINDOW AT GRID A
05.40 SCALE 1:5 @ A3

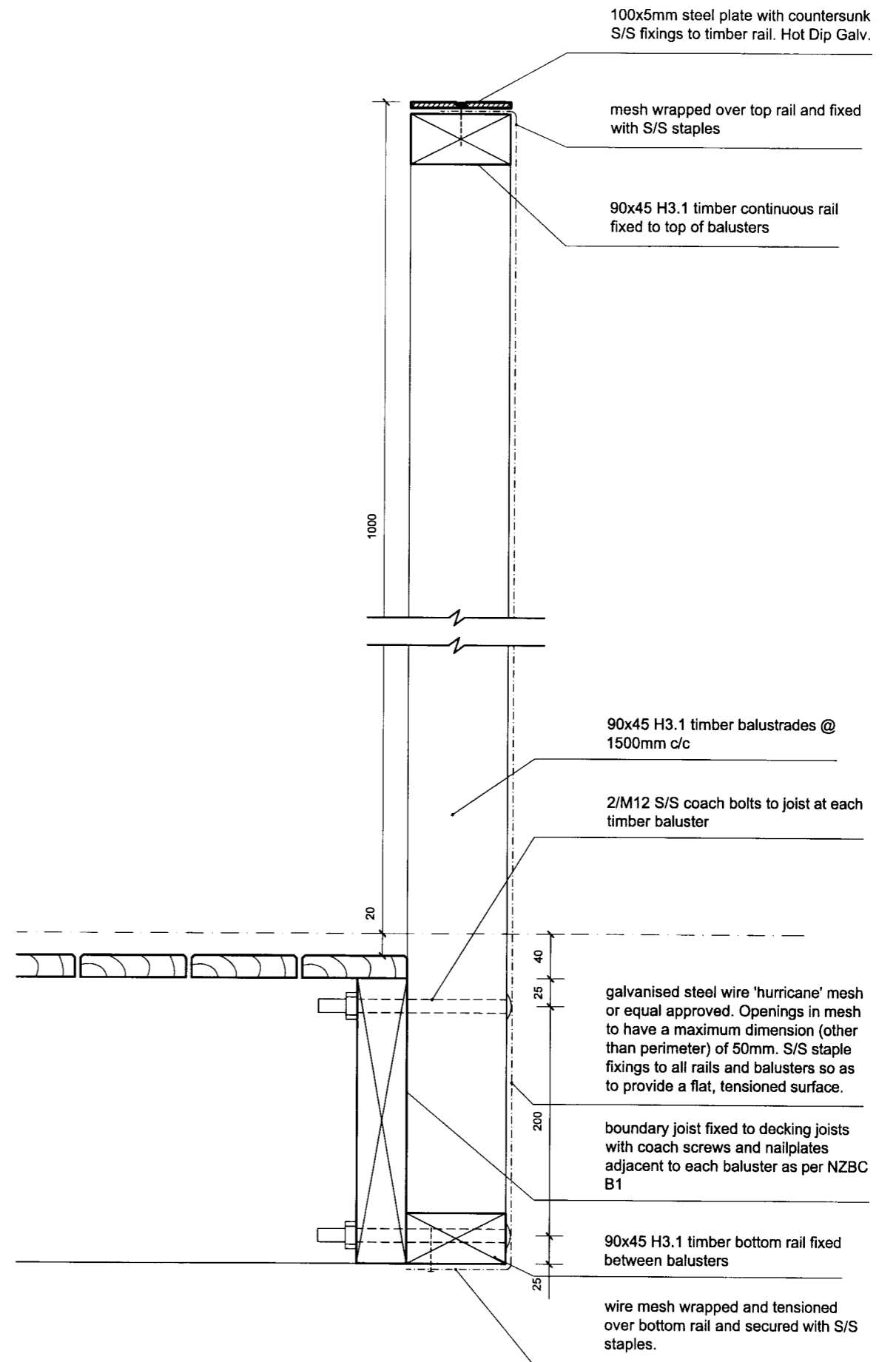
BLAIR JOHNSTON ARCHITECT 2005
PROJECT NAME:
932 BRIGHTON RD

NOTES:
do not scale drawings.
confirm all dimensions on site prior to any fabrication / construction work.

ISSUE:	DATE:	COMMENT:
A	20.12.2005	preliminary issue for review & comment
B	26.02.2006	steel window frame detail revised
C	01.05.2006	tender and consent issue
D	01.08.2006	steel window detail revised. issued for consent

DRAWING NAME:
SECTION EE DETAILS 2
DRAWING SCALE:
1:5

DRAWING NUMBER:
05.41
ISSUE:
D



BLAIR JOHNSTON ARCHITECT 2005
 PROJECT NAME:
 932 BRIGHTON RD

NOTES:
 do not scale drawings.
 confirm all dimensions on site prior to any
 fabrication / construction work.

ISSUE:	DATE:	COMMENT:
A	20.12.2005	preliminary issue for review & comment
B	01.05.2006	tender and consent issue

DRAWING NAME:
 TYP. BALUSTRADE DETAIL
 DRAWING SCALE:
 1:5

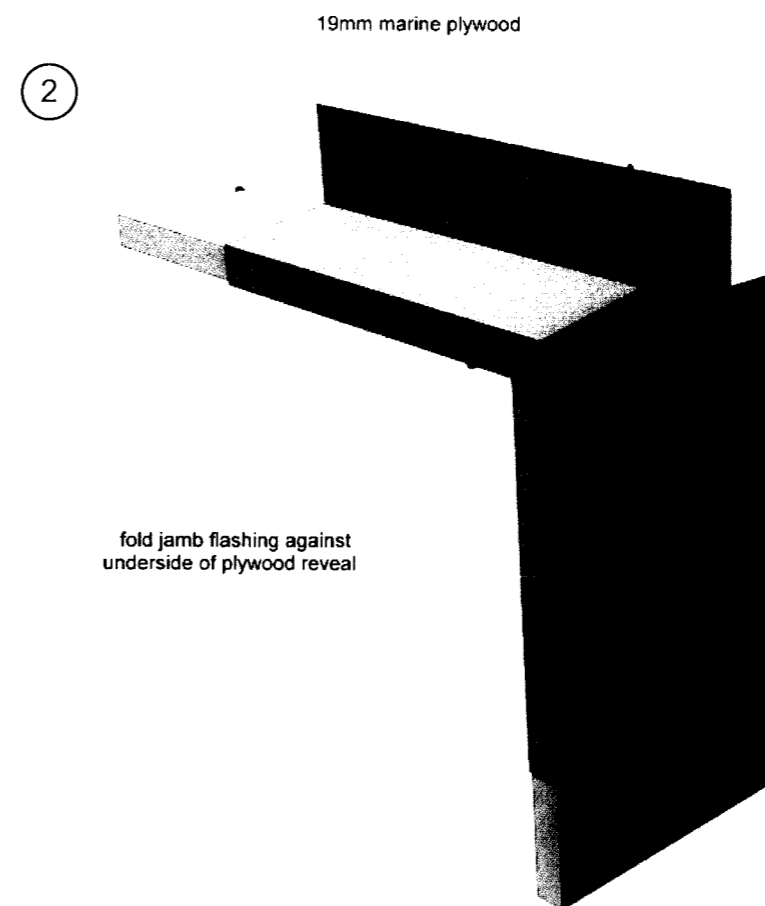
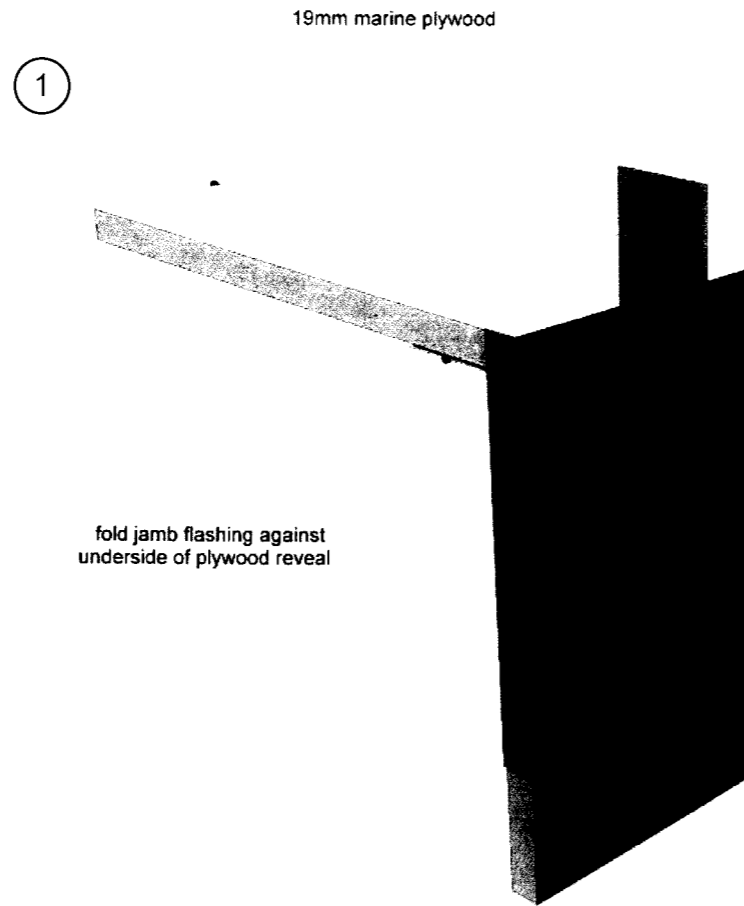
DRAWING NUMBER:

05.50

ISSUE:

B

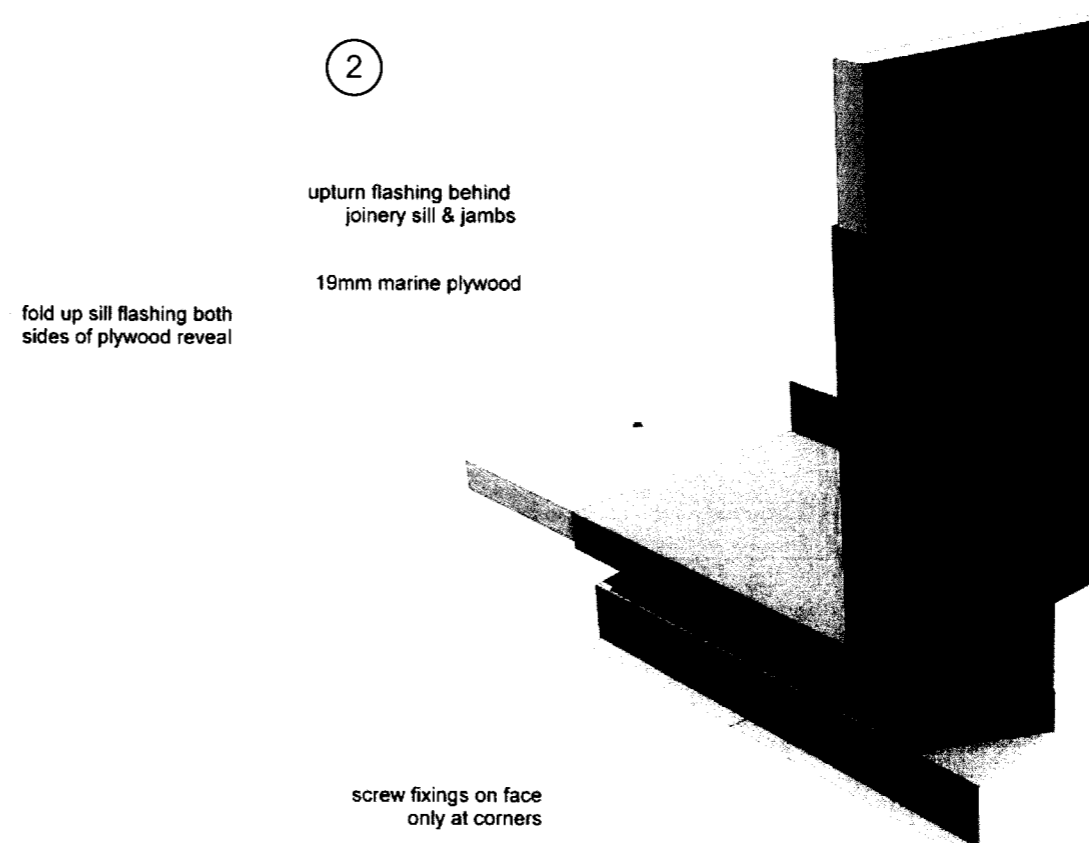
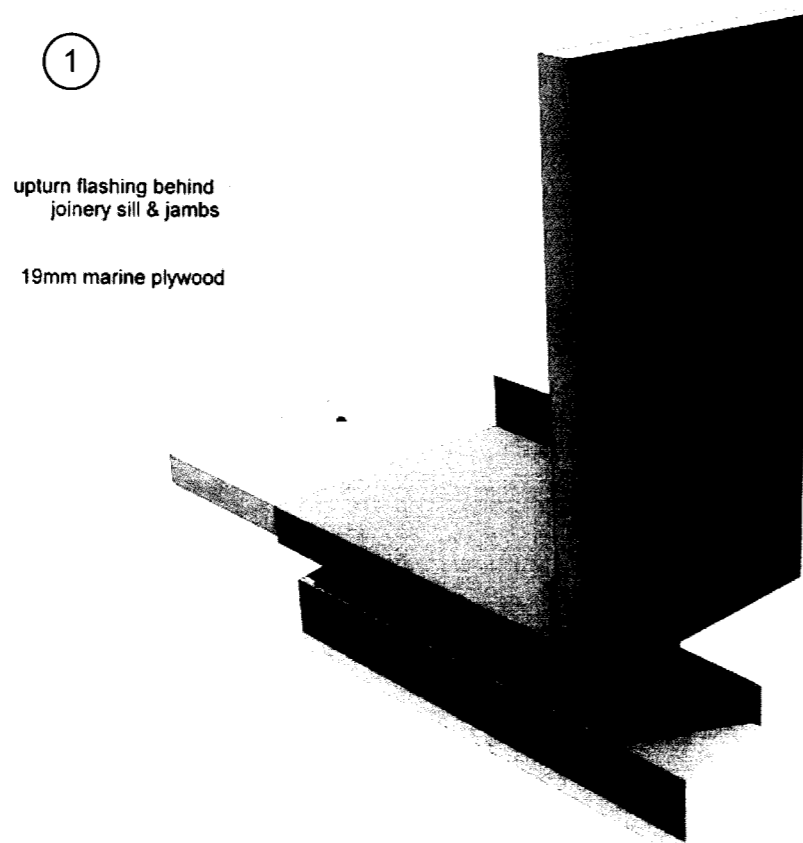
head flashing junction with jamb flashing



additional building wrap or flashing tap lapped over top edge of flashin as per NZBC E2/AS1

screw fixing on face at corner only

sill flashing junction with jamb flashing



overlap sill flashing with jamb flashing

BLAIR JOHNSTON ARCHITECT 2005
PROJECT NAME:
932 BRIGHTON RD

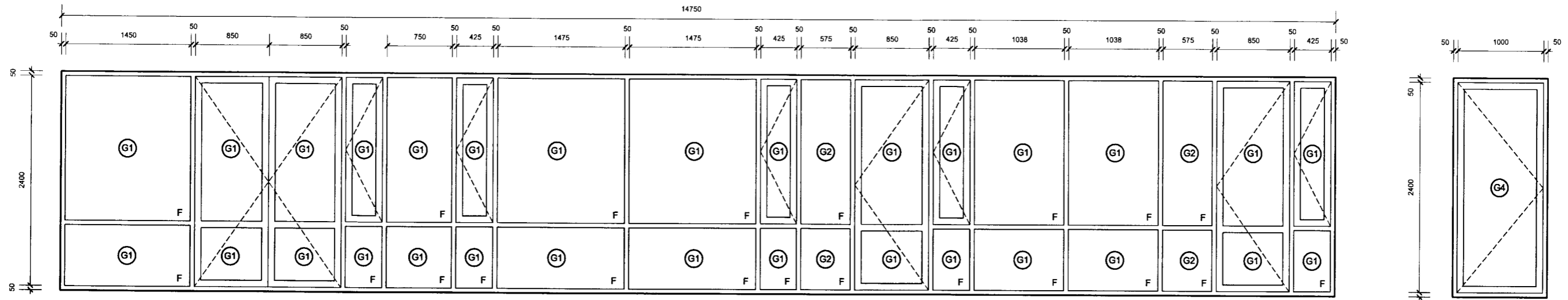
NOTES:
do not scale drawings.
confirm all dimensions on site prior to any
fabrication / construction work.

ISSUE: A DATE: 01.05.2006 COMMENT: tender and consent issue

DRAWING NAME:
SHEET METAL DETAILS
DRAWING SCALE:
NTS

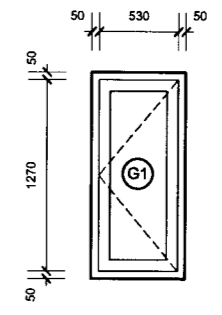
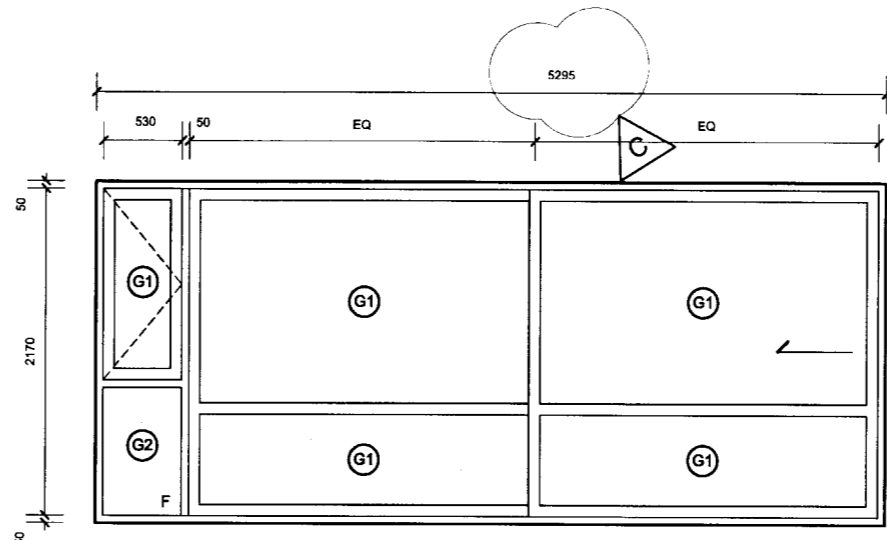
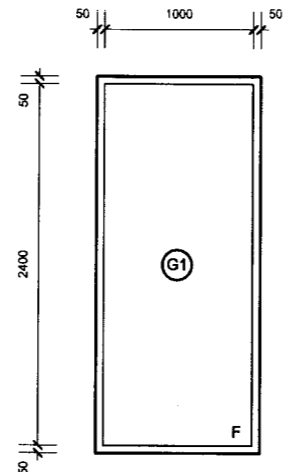
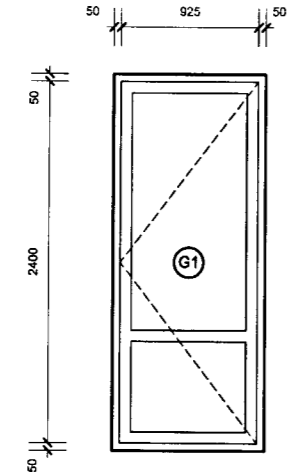
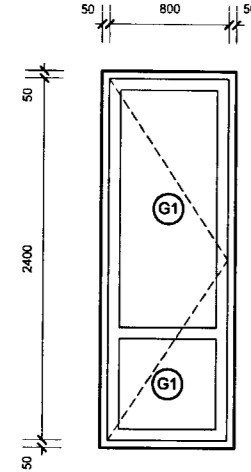
DRAWING NUMBER:
05.60

ISSUE:
A



W1 NORTH ELEV - LVL1 - WINDOW 1
SCALE 1:50

W2 EAST ELEV - LVL1 - WINDOW 2
SCALE 1:50



- (G1) clear double glazing
- (G2) translucent double glazing
- (G3) clear single glazing
- (G4) clear toughened double glazing

note: all glazing to comply with the human impact safety requirements of NZS 4223:part 3:1999

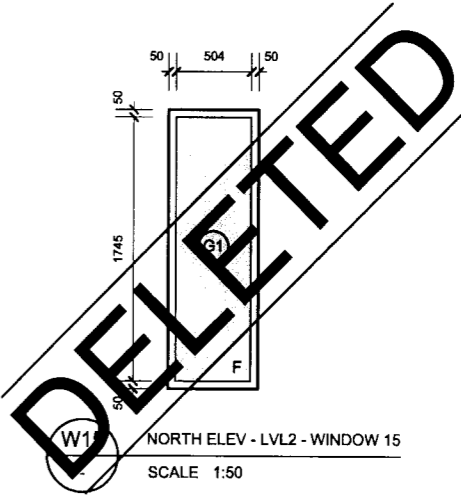
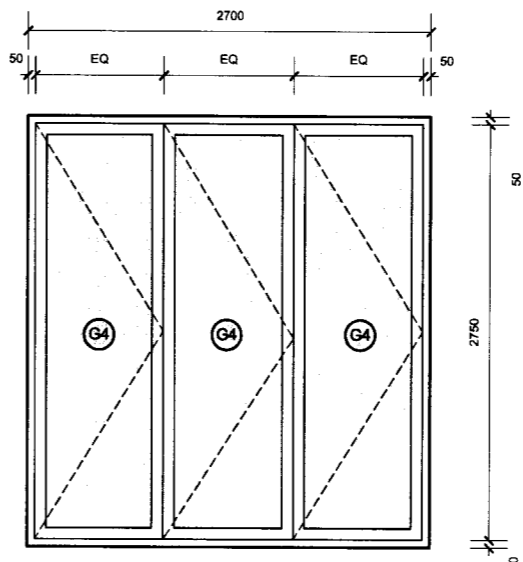
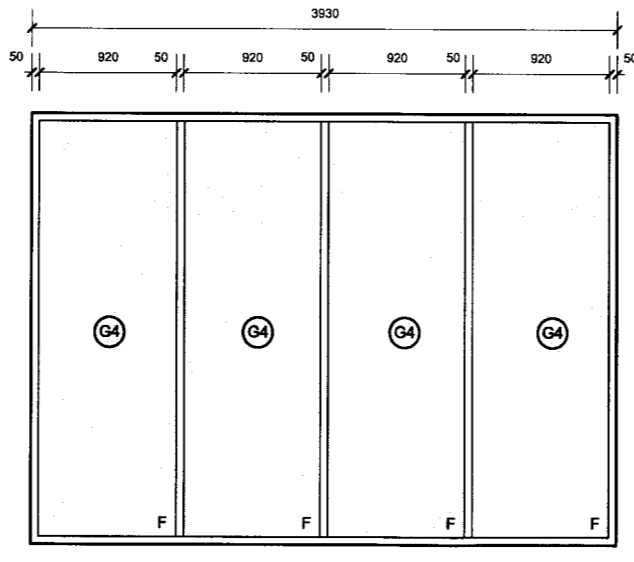
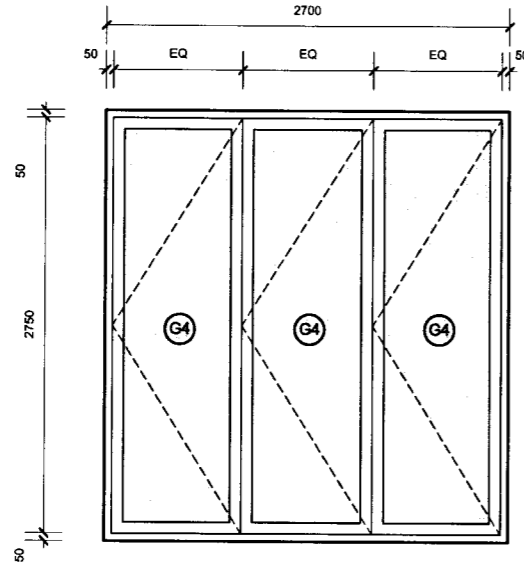
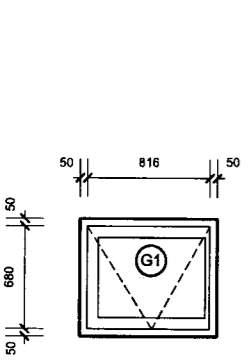
W3 WEST ELEV - LVL1 - WINDOW 3
SCALE 1:50

W4 WEST ELEV - LVL1 - WINDOW 4
SCALE 1:50

W6 EAST ELEV - LVL2 - WINDOW 6
SCALE 1:50

W7 SOUTH ELEV - LVL2 - WINDOW 7
SCALE 1:50

W8 SOUTH ELEV - LVL2 - WINDOW 8
SCALE 1:50



W11 NORTH ELEV - LVL2 - WINDOW 11
SCALE 1:50

W14 NORTH ELEV - LVL2 - WINDOW 14
SCALE 1:50

W13 NORTH ELEV - LVL2 - WINDOW 13
SCALE 1:50

W12 NORTH ELEV - LVL2 - WINDOW 12
SCALE 1:50

W15 NORTH ELEV - LVL2 - WINDOW 15
SCALE 1:50

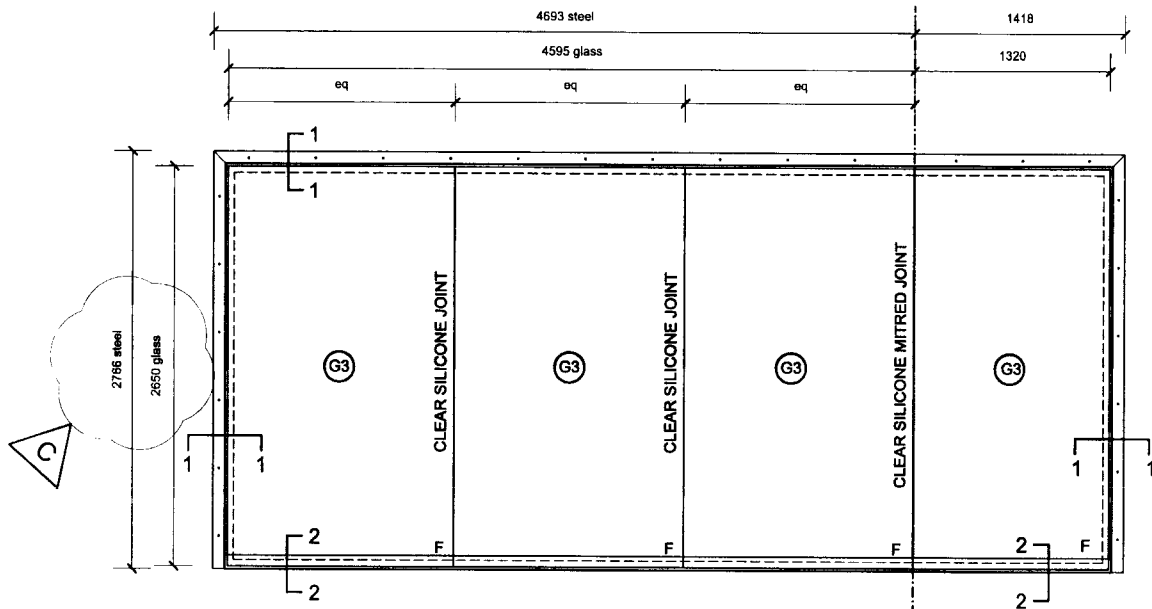
BLAIR JOHNSTON ARCHITECT 2005
PROJECT NAME:
932 BRIGHTON RD

NOTES:
do not scale drawings.
confirm all dimensions on site prior to any fabrication / construction work.

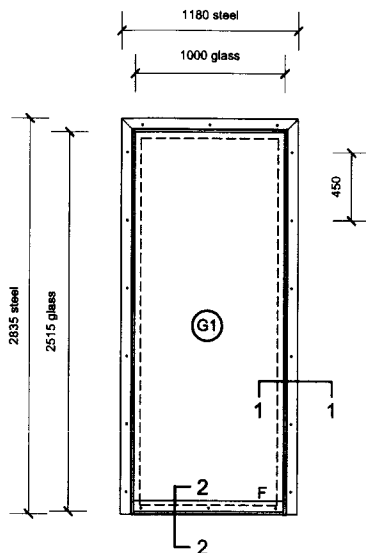
ISSUE: DATE: COMMENT:
A 20.12.2005 preliminary issue for review & comment
B 01.05.2006 tender and consent issue
C 01.08.2006 W7 modified & minor revisions, issued for consent

DRAWING NAME:
ALUM. WINDOW SCHEDULE
DRAWING SCALE:
1:50

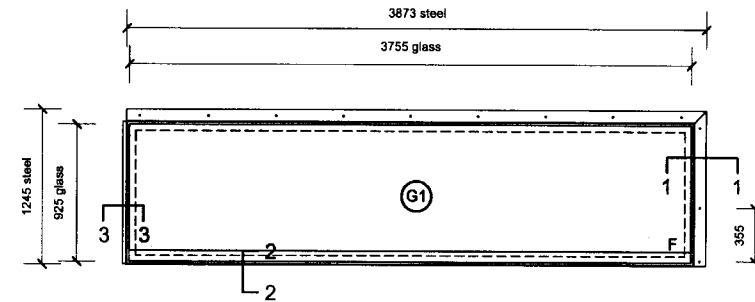
DRAWING NUMBER:
06.10 ISSUE:
C



W5 EAST ELEVATION - LVL 2 - WINDOW 5
SCALE 1:50



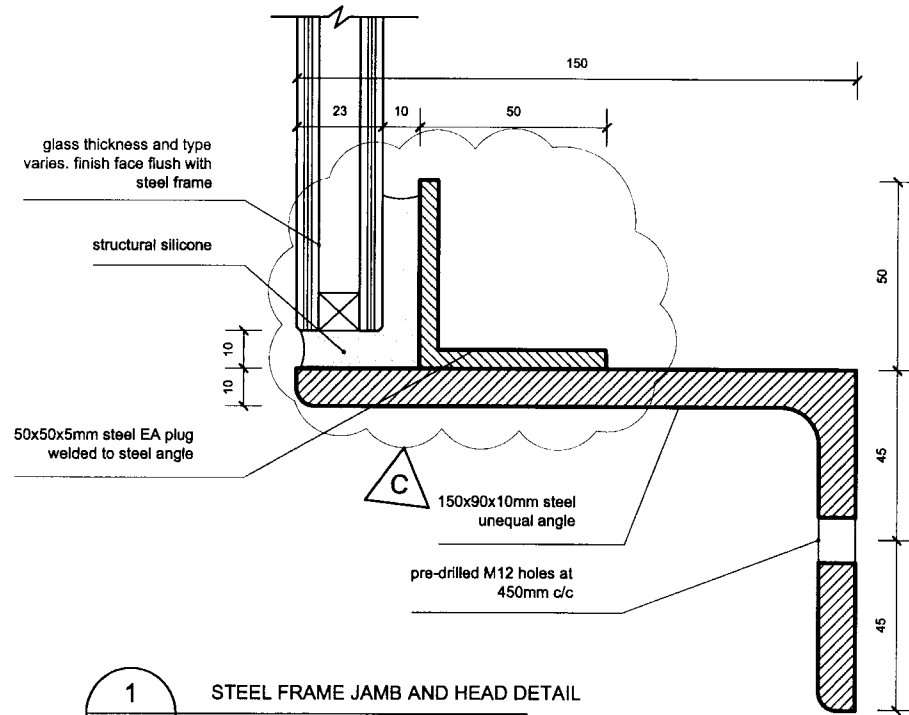
W9 WEST ELEVATION - LVL 2 - WINDOW 9
SCALE 1:50



W10 NORTH ELEVATION - LVL 2 - WINDOW 10
SCALE 1:50

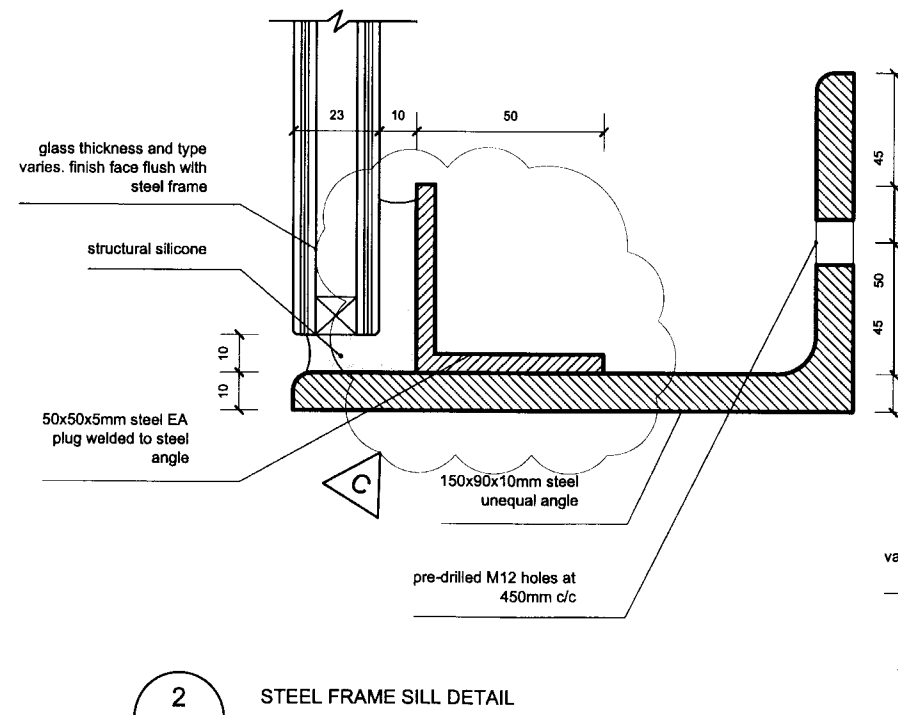
- G1 clear double glazing
- G2 translucent double glazing
- G3 clear single glazing
- G4 clear toughened double glazing

note: all glazing to comply with the human impact safety requirements of NZS 4223:part 3:1999



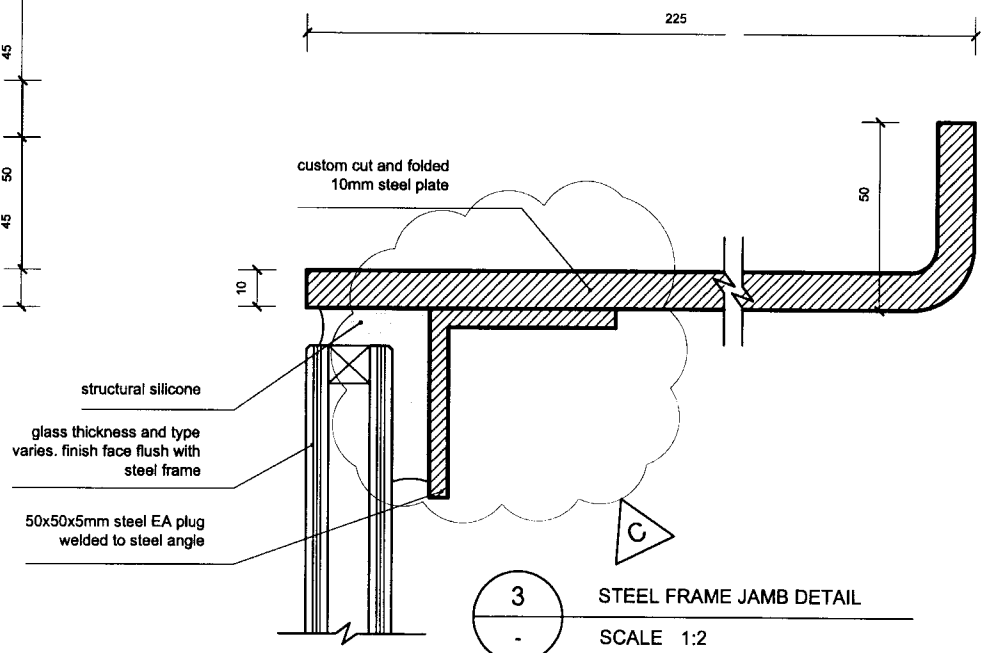
1 STEEL FRAME JAMB AND HEAD DETAIL
SCALE 1:2

note: entire steel frame assembly to be hot dip galvanised. refer specification.



2 STEEL FRAME SILL DETAIL
SCALE 1:2

note: entire steel frame assembly to be hot dip galvanised. refer specification.



3 STEEL FRAME JAMB DETAIL
SCALE 1:2

note: entire steel frame assembly to be hot dip galvanised. refer specification.

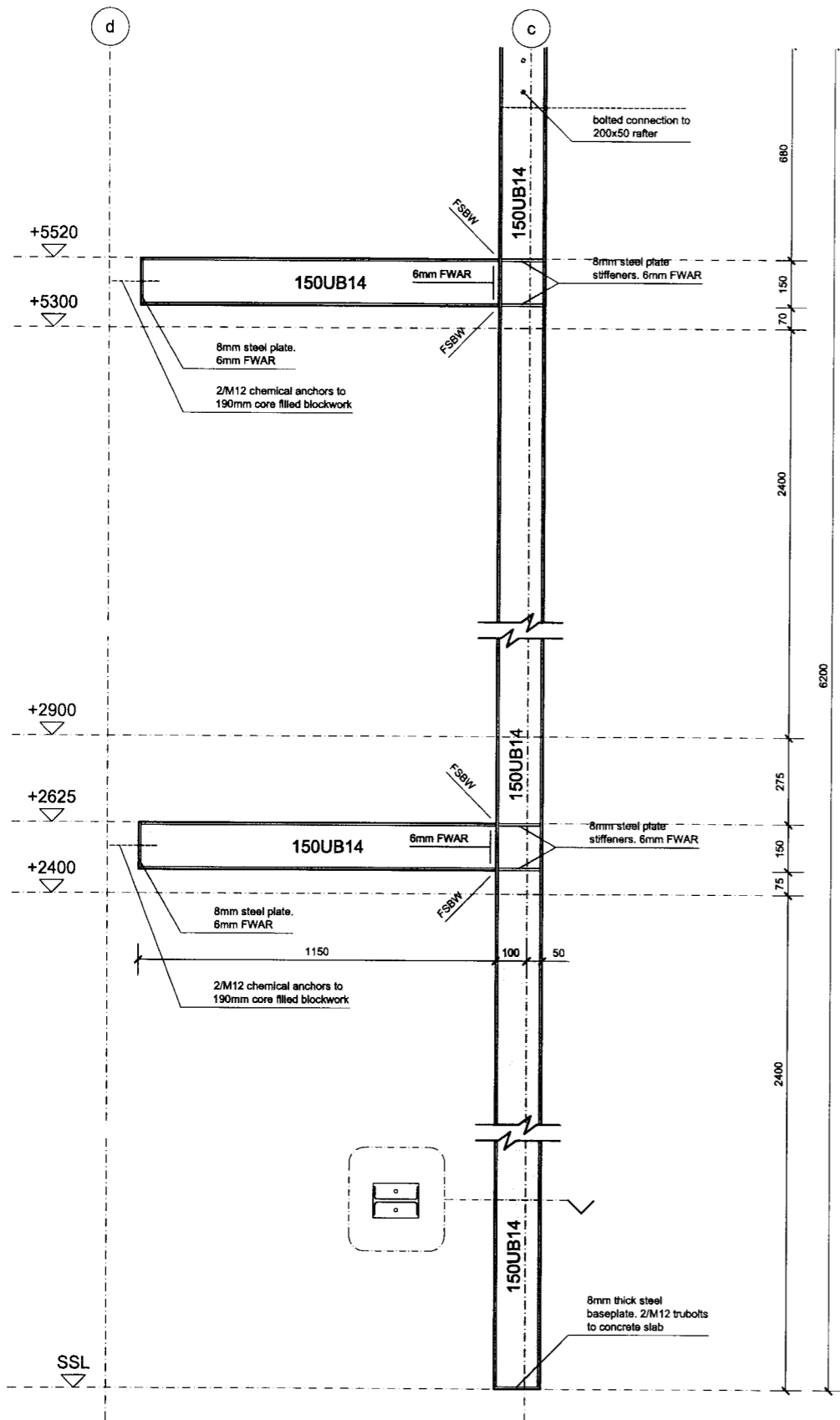
BLAIR JOHNSTON ARCHITECT 2005
PROJECT NAME:
932 BRIGHTON RD

NOTES:
do not scale drawings.
confirm all dimensions on site prior to any fabrication / construction work.

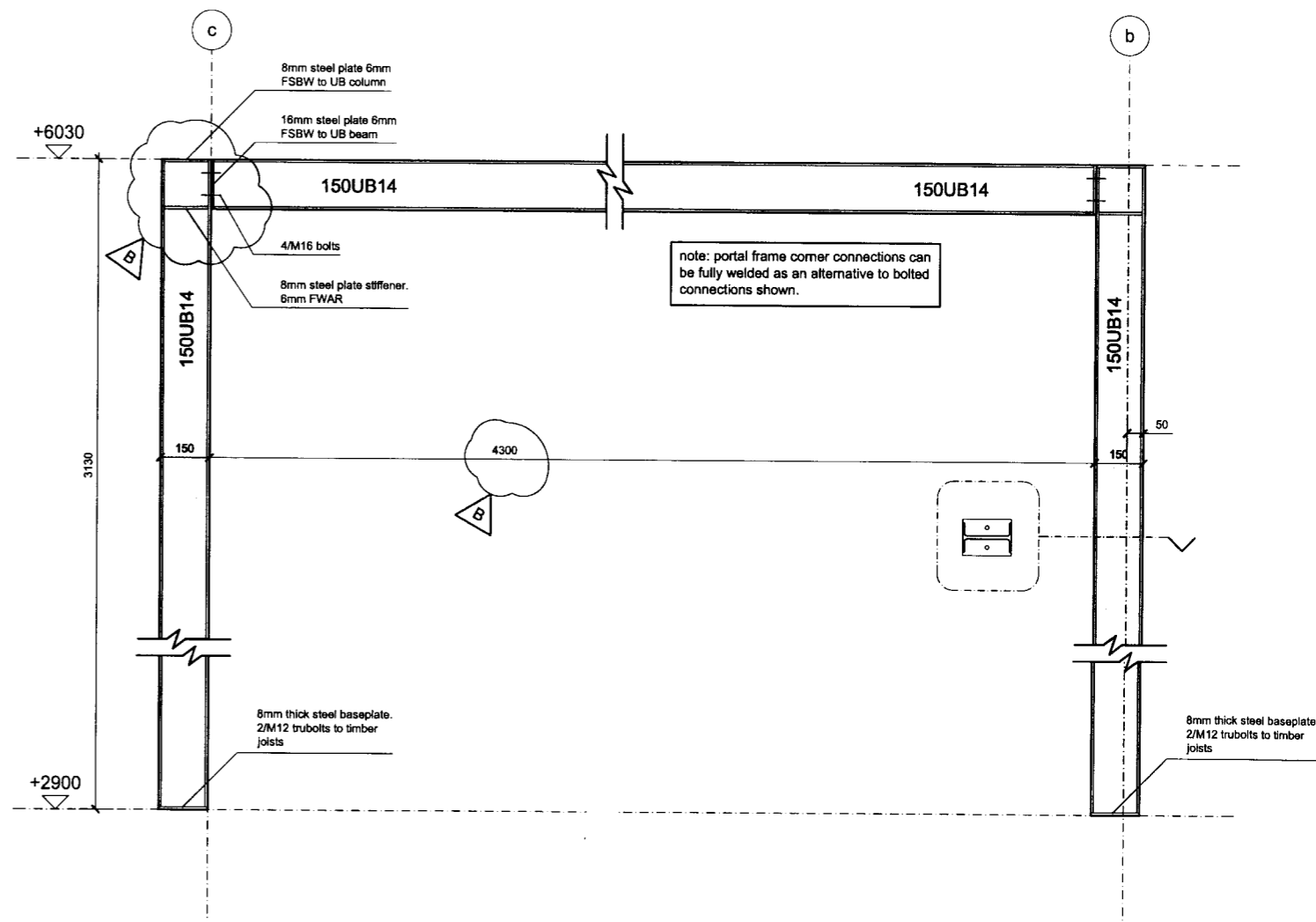
ISSUE: DATE: COMMENT:
A 20.12.2005 preliminary issue for review & comment
B 01.04.2006 frame detail revised. window 5 revised. issued for tender and building consent
C 01.08.2006 frame detail revised. window 5 height revised. issued for consent

DRAWING NAME:
STEEL WINDOW SCHEDULE
DRAWING SCALE:
1:50

DRAWING NUMBER:
06.11
ISSUE:
C



1 UB PORTAL FRAME - ADJ. W6, BTW GRIDS C&D
SCALE 1:20 @ A3



2 UB PORTAL FRAME - ADJ. GRID 6, BTW GRIDS C&A
SCALE 1:20 @ A3

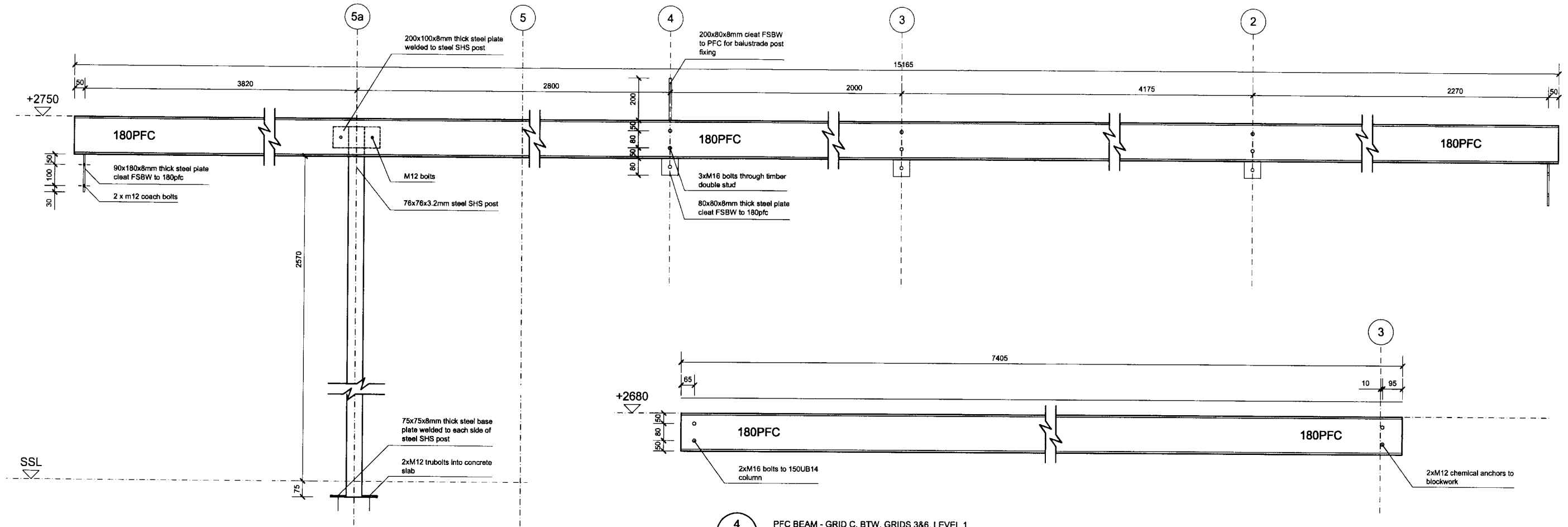
BLAIR JOHNSTON ARCHITECT 2005
PROJECT NAME:
932 BRIGHTON RD

NOTES:
do not scale drawings.
confirm all dimensions on site prior to any
fabrication / construction work.

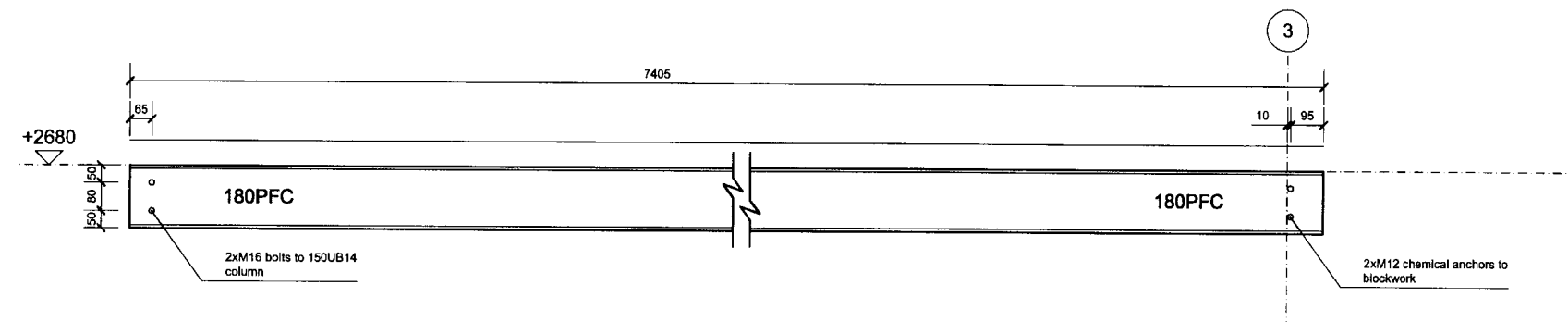
ISSUE: A DATE: 20.12.2005 COMMENT: preliminary issue for review & comment
B DATE: 01.04.2006 COMMENT: portal frame size and connections revised. issued for tender and building consent

DRAWING NAME:
STRUCT. STEEL SCHEDULE 01
DRAWING SCALE:
1:20

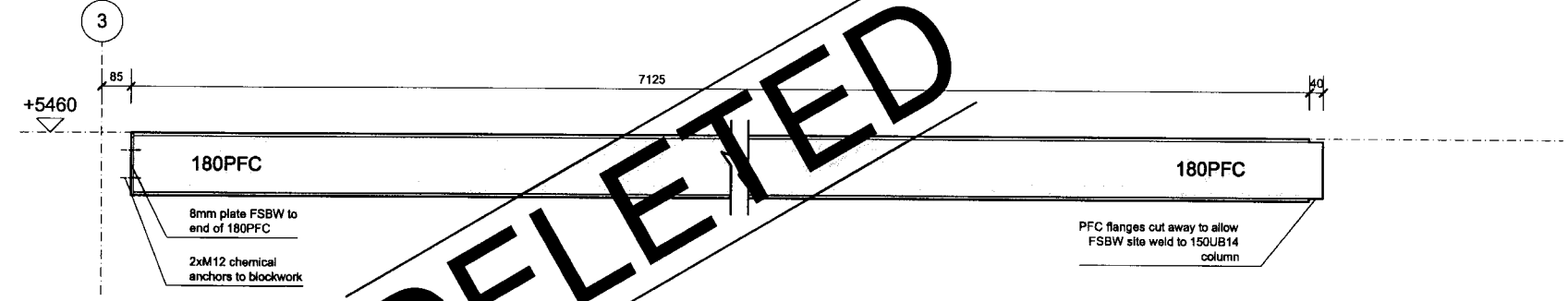
DRAWING NUMBER:
06.12
ISSUE:
B



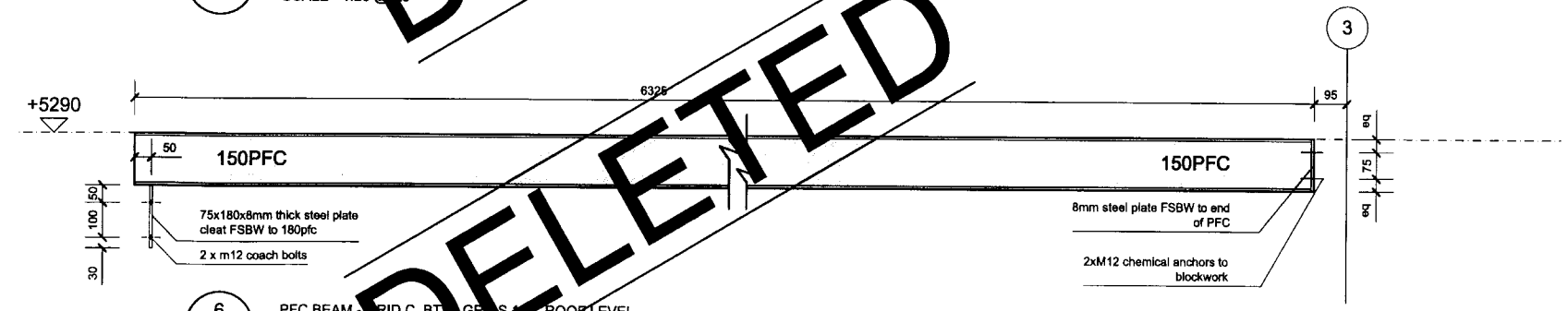
3 PFC BEAM - GRID A, BTW. GRIDS 1&6
 SCALE 1:20 @ A3
 note: any joint in length of PFC to be site welded FSBW



4 PFC BEAM - GRID C, BTW. GRIDS 3&6, LEVEL 1
 SCALE 1:20 @ A3



5 PFC BEAM - GRID C, BTW. GRIDS 3&6, ROOF LEVEL
 SCALE 1:20 @ A3

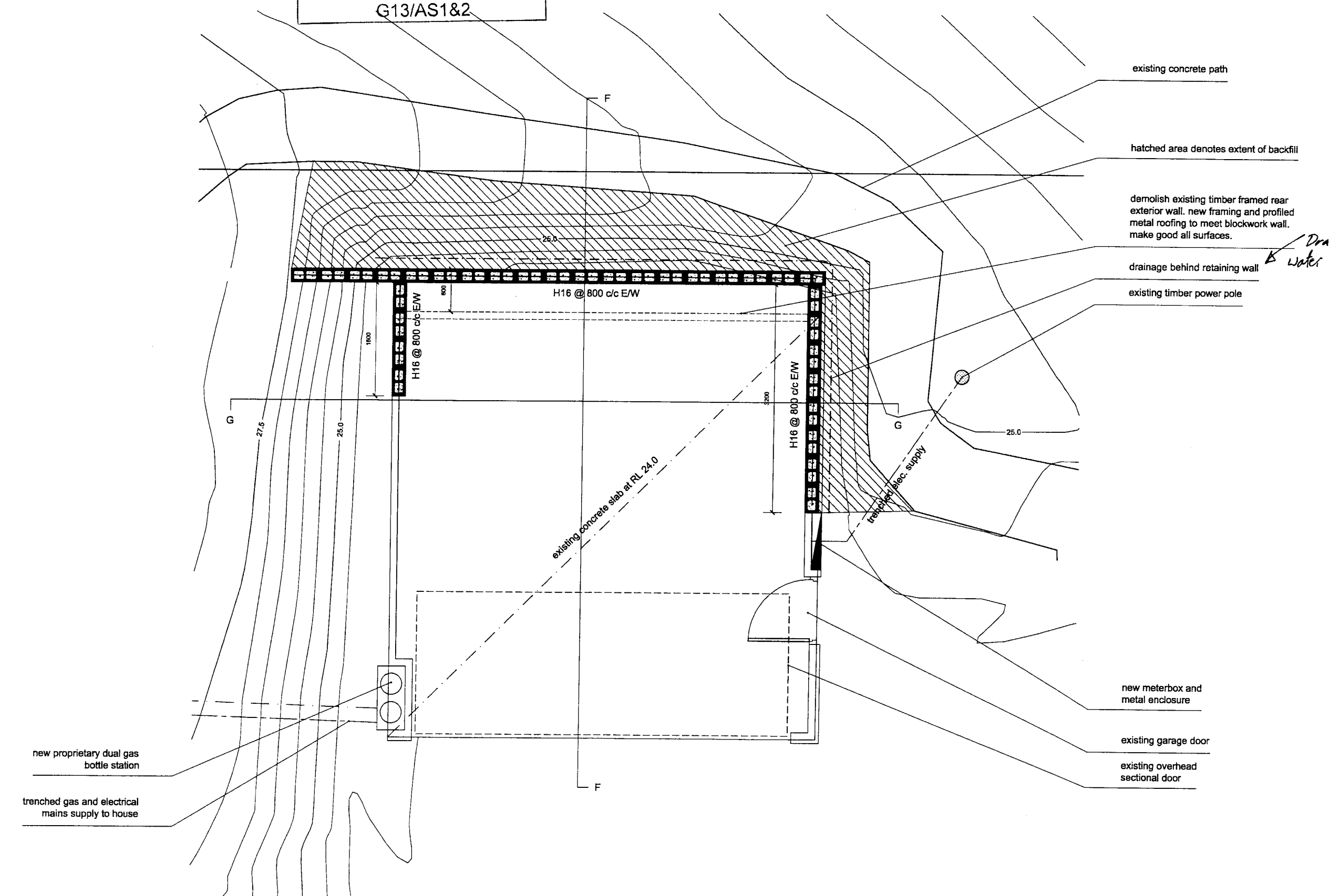


6 PFC BEAM - GRID C, BTW. GRIDS 3&6, ROOF LEVEL
 SCALE 1:20 @ A3

DELETED

BLAIR JOHNSTON ARCHITECT 2005 PROJECT NAME: 932 BRIGHTON RD	NOTES: do not scale drawings. confirm all dimensions on site prior to any fabrication / construction work.	ISSUE: A	DATE: 20.12.2005	COMMENT: preliminary issue for review & comment tender and consent issue det. 5, 180PFC & det. 6, 150PFC beam deleted. issued for consent	DRAWING NAME: STRUCT. STEEL SCHEDULE 02	DRAWING NUMBER: 06.13	ISSUE: C
		ISSUE: B	DATE: 01.05.2006		DRAWING SCALE: 1:20		
		ISSUE: C	DATE: 01.08.2006				

Plumbing and Drainage
 To comply with approved documents: E1/AS1, G12/AS1, G13/AS1&2



existing concrete path

hatched area denotes extent of backfill

demolish existing timber framed rear exterior wall. new framing and profiled metal roofing to meet blockwork wall. make good all surfaces.

drainage behind retaining wall

existing timber power pole

Drain coil to Storm Water system via a sump.


new meterbox and metal enclosure

existing garage door

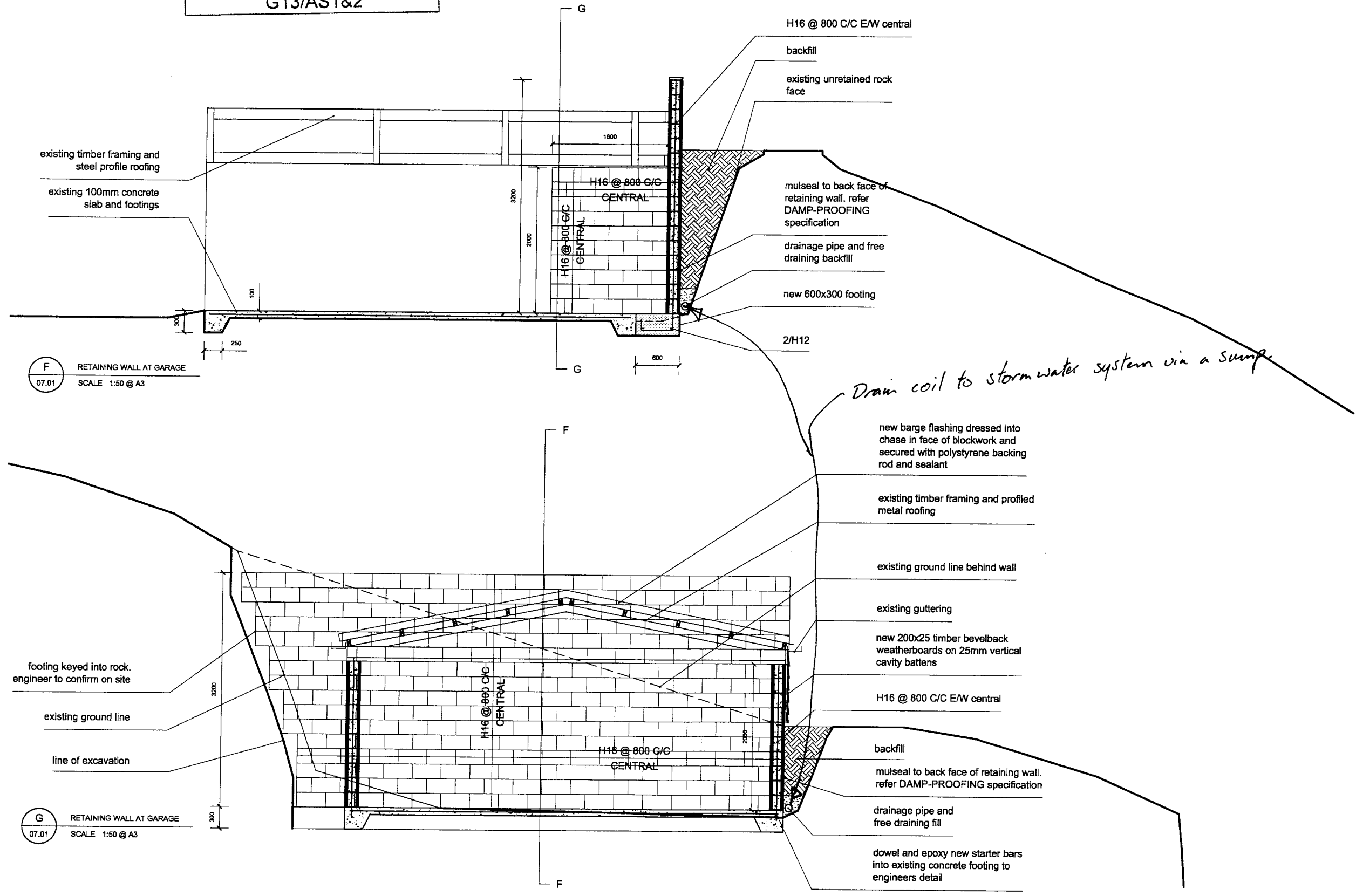
existing overhead sectional door

new proprietary dual gas bottle station

trenched gas and electrical mains supply to house

BLAIR JOHNSTON ARCHITECT 2005	NOTES: do not scale drawings. confirm all dimensions on site prior to any fabrication / construction work.	ISSUE: A B	DATE: 01.10.2005 01.08.2006	COMMENT: preliminary issue for review & comment issued for consent	DRAWING NAME: GARAGE RETAINING WALL	DRAWING NUMBER: 07.00	ISSUE: B
PROJECT NAME: 932 BRIGHTON RD					DRAWING SCALE: 1:200		

Plumbing and Drainage
 To comply with approved documents: E1/AS1, G12/AS1, G13/AS1&2



F RETAINING WALL AT GARAGE
 07.01 SCALE 1:50 @ A3

G RETAINING WALL AT GARAGE
 07.01 SCALE 1:50 @ A3

Draw coil to stormwater system via a sump

BLAIR JOHNSTON ARCHITECT 2005 PROJECT NAME: 932 BRIGHTON RD	NOTES: do not scale drawings. confirm all dimensions on site prior to any fabrication / construction work.	ISSUE: DATE: A 01.10.2005 B 01.08.2006	COMMENT: preliminary issue for review & comment issued for consent	DRAWING NAME: GARAGE RETAINING WALL DRAWING SCALE: 1:200	DRAWING NUMBER: 07.01 ISSUE: B
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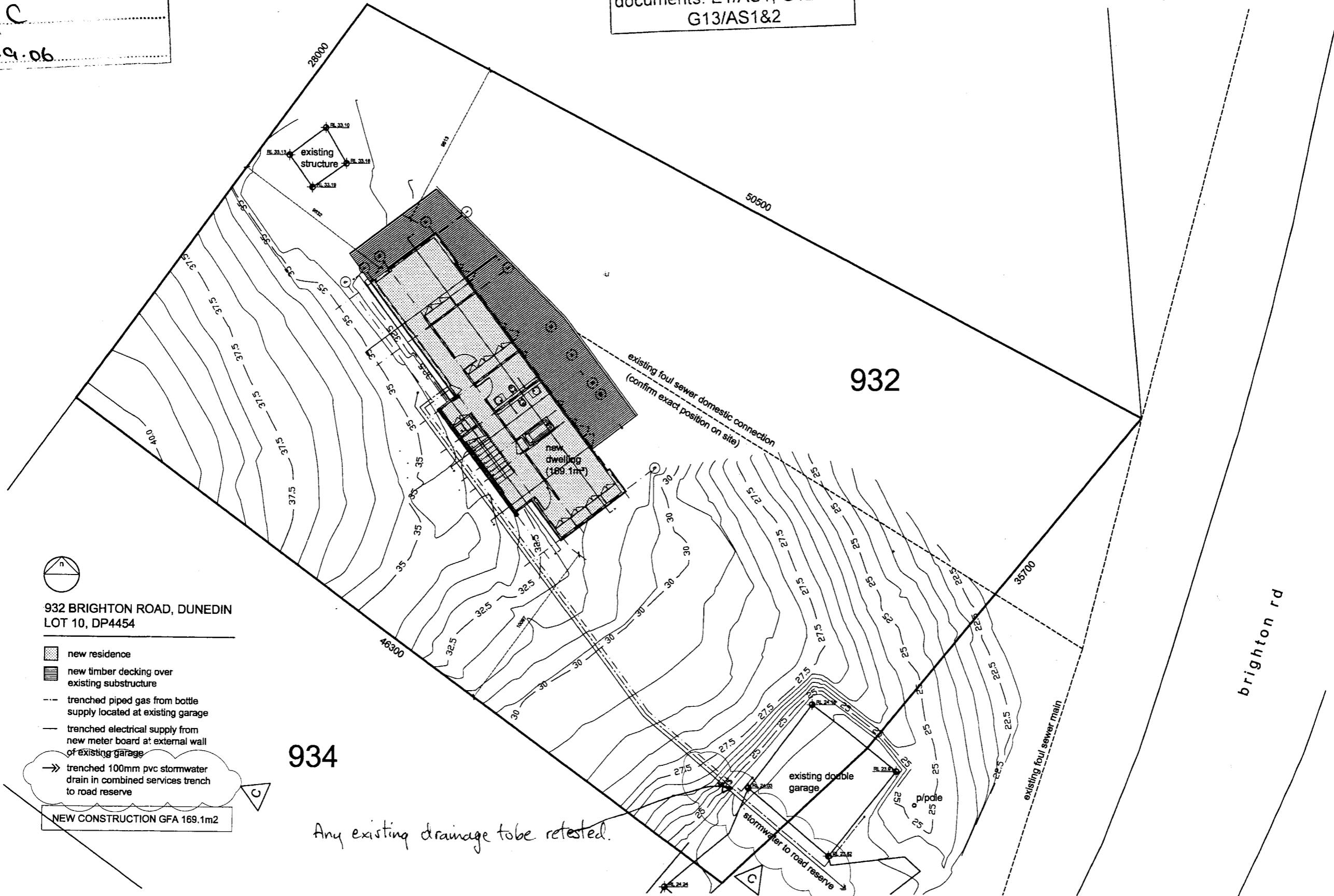
Amended Plan and/or
Specification Received

By... *Ray C*

Date... *25.9.06*

Plumbing and Drainage

To comply with approved
documents: E1/AS1, G12/AS1
G13/AS1&2



932 BRIGHTON ROAD, DUNEDIN
LOT 10, DP4454

- new residence
- new timber decking over existing substructure
- trenched piped gas from bottle supply located at existing garage
- trenched electrical supply from new meter board at external wall of existing garage
- trenched 100mm pvc stormwater drain in combined services trench to road reserve

NEW CONSTRUCTION GFA 169.1m²

934

Any existing drainage to be retested.

BLAIR JOHNSTON ARCHITECT 2005

PROJECT NAME:
932 BRIGHTON RD

NOTES:

do not scale drawings.
confirm all dimensions on site prior to any
fabrication / construction work.

ISSUE:

ISSUE:	DATE:	COMMENT:
A	01.10.2005	preliminary issue for review & comment
B	01.05.2006	tender and consent issue
C	22.09.2006	stormwater drain position revised to combined services trench



DRAWING NAME:
PROPOSED SITE PLAN

DRAWING SCALE:
1:200

DRAWING NUMBER:

01.01 C

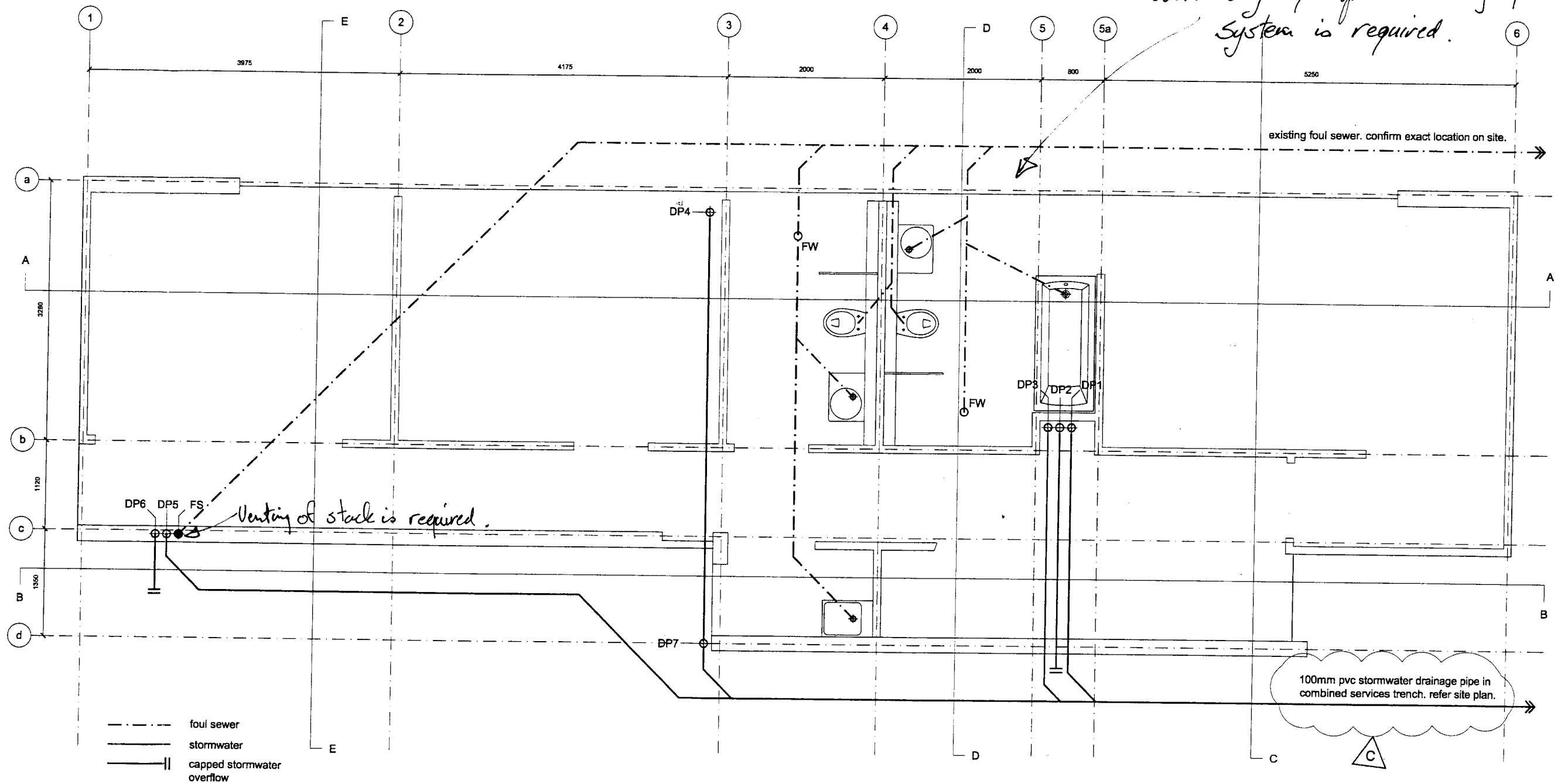
ISSUE:

Amended Plan and/or
Specification Received

By Ray C
Date 25.9.06

Plumbing and Drainage
To comply with approved
documents: E1/AS1, G12/AS1
G13/AS1&2

*Overflow gully trap with charging
System is required.*



BLAIR JOHNSTON ARCHITECT 2005
PROJECT NAME:
932 BRIGHTON RD

NOTES:
do not scale drawings.
confirm all dimensions on site prior to any
fabrication / construction work.

ISSUE:	DATE:	COMMENT:
A	01.10.2005	preliminary issue for review & comment
B	01.08.2006	issued for consent
C	22.09.2006	stormwater drainage location revised to services trench

DRAWING NAME:
DRAINAGE PLAN
DRAWING SCALE:
1:50

DRAWING NUMBER:
02.40
ISSUE:
C



THIS DEED is made this day of 20

BETWEEN **THE DUNEDIN CITY COUNCIL** ('the Licensor')

AND **BRYAN ROBERT JOHNSTON AND PATRICIA DIANE JOHNSTON** ('the Licensee')

BACKGROUND

- A. The Licensor is empowered by Section 357 of the Local Government Act 1974 to authorise encroachment on Road Reserve adjacent to 932 Brighton Road, Brighton, Dunedin.
- B. The Licensor and the Licensee have agreed that the Licensee shall receive a Licence to use the Licenced Area for the use of a portion of a single domestic garage. The parties have entered into this Agreement to record the terms and conditions governing the grant of that Licence. The portion of the single domestic garage is outlined and shaded in blue on the attached plan marked "A1".

THIS DEED WITNESSES

- 1. Agreement to Grant Licence
 - 1.1 The Licensor grants to the Licensee a non-exclusive licence and right to use the Licenced Area commencing on 1 December 2023.
- 2. Licence Fee
 - 2.1 A Licence fee of nil dollars (\$0.00) per annum is payable for the duration of the term of the licence.
 - 2.2 In the event that this Licence is transferred to a new Licensee, that new Licence shall be issued on a "no-fee" basis.
- 3. Terms of Licence
 - 3.1 Subject to clause 7 this Licence is terminable by either party giving to the other party not less than one calendar months' notice in writing to terminate.
 - 3.2 Should the Licensee sell or otherwise part with possession of the Licensee's property which is served by this Licence, the Licensee shall forthwith advise the Licensor of the full particulars of the new owner or occupier **AND** shall advise the new owner or occupier of the full particulars of this Licence.
 - 3.3 It is the Licensee's responsibility to notify the Licensor that the licence in the Licensee's name is to be cancelled.

4. Use and Maintenance

The Licensee:

Initials: 

- 4.1 will keep all buildings, fences, gates, drains and any other improvements on the Licenced Area in good order, condition, and repair;
- 4.2 will not erect any new buildings or other improvements on the Licenced Area without the prior consent in writing of the Licensor;
- 4.3 shall not utilise the Licenced Area for any commercial activity without the prior written consent of the Licensor;
- 4.4 shall at its own cost comply with the requirements of all statutes, regulations, and bylaws relevant to its activities and use of the Licenced Area;
- 4.5 shall ensure that it has the relevant consents and that all building code requirements are met in relation to the improvements on the Licenced Area;
- 4.6 must at all times protect any existing or future services on or under the Licenced Area and shall be responsible to make good any damage caused to such services during the term of the Licence where such damage is occasioned by the Licensee's occupation of the Licenced Area; and
- 4.7 nothing in this Licence shall be construed to prejudice the rights of the Licensor, the Crown or any other authority having jurisdiction to enter upon the Licenced Area for the purposes of installing, maintaining, repairing, removing or otherwise dealing with any existing or future facilities or service over, upon or under the Licenced Area or for any other lawful purpose whatsoever.

5. Rates and Other Charges

- 5.1 The Licensee will pay all rates and other charges which may be lawfully levied on the Licensee as occupier of the Licenced Area.
- 5.2 When applicable the Licensee shall pay the Licensor's legal and administration costs incurred in connection with the preparation of this Licence.

6. Licence and Assignable

- 6.1 The Licensee shall not assign the benefit of this Licence, grant any sublicense or otherwise deal in any manner with this Licence.

7. Termination

- 7.1 If the Licensee breaches any of the conditions of this Licence then the Licence shall be terminable on one month's notice in writing given by the Licensor to the Licensee.
- 7.2 If all or any part of the Licenced Area is required by the Licensor for roading or for any other purpose then this Licence shall be terminable on one month's notice in writing given by the Licensor to the Licensee.

Initials: 

- 7.3 If this Licence is terminated by the Licensor the Licensee shall not be entitled to compensation for any improvements to the Licenced Area but may, within such time as the Licensor shall determine, remove any improvements effected or purchased by the Licensee.
- 7.4 Upon the expiry or termination of this licence, the Licensor may direct the Licensee to remove any such improvements from the licenced area for which this licence applies. The Licensee shall leave the Licensed Area in a clean and tidy condition which is acceptable to the Licensor. No compensation shall be payable by the Licensor to the Licensee in relation to any such improvements removed from or left upon the Licensed Area.
8. Risk and Indemnity
- 8.1 The Licensee hereby acknowledges that the Licensor has made no representation as to the suitability of the Licenced Area for any purpose.
- 8.2 The Licensee shall use and occupy the Licenced Area entirely at the Licensee's risk in every respect. The Licensor shall have no liability to the Licensee or to any other person for damages or loss suffered by the Licensee or other persons in respect of the Licensee's use and occupation of the Licenced Area.
- 8.3 The Licensee agrees to indemnify the Licensor in respect of claims of any kind sustained or received by the Licensor arising from the Licensee's use and occupation of the Licenced Area.
- 8.4 Should it be transpired in future that the Licensor has no legal right to grant this Licence or that this Licence or the Licensor's interest is not within the terms of the Local Government Act or other legislation, this Licence shall immediately determine and neither party shall have any claim against the other party arising from or in connection with such termination.
9. No Lease
- 9.1 This Licence does not create any lease, tenancy or interest in the Licenced Area.
- 9.2 The Licensee accepts and acknowledges that it has no right to lodge a caveat against the Licenced Area to protect its rights and interests pursuant to this Licence.
10. Waiver
- 10.1 No waiver or failure to act by the Licensor in respect of any breach by the Licensee shall operate as a waiver of another breach.

Initials: 

11. Amendment

- 11.1 No amendments or variations to this Licence will be effective unless made in writing and signed by the Licensor and the Licensee.

12. Dunedin City Council as Licensor

- 12.1 The Licensee acknowledges that the Licensor does not enter this Deed in its regulatory capacity, and nothing in this Deed shall bind the Licensor in its regulatory capacity. For the purposes of this clause, "regulatory capacity" means the duties and obligations and powers incumbent upon the Licensor as a "Territorial Authority" (as defined in section 5(1) of the Local Government Act 2002) or any other capacity under any statutory or regulatory provision under the laws of New Zealand. The Licensee further acknowledges that a consent by the Licensor in its regulatory capacity shall not be treated as a consent by the Licensor, and vice versa.

13. Counterparts

- 13.1 This deed maybe signed in any number of counterparts, all of which when taken together will constitute one and the same Licence. Once the parties have signed a counterpart copy and have sent it to the other party, (including by email), each counterpart shall be deemed as valid and binding on the party executing it, as if it had been executed by all the parties.

Initials:

BJ *RJ*

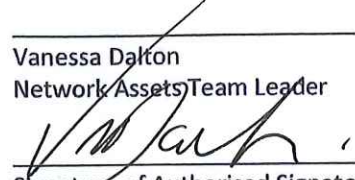


Initials: _____

[Handwritten signature]

SIGNED by the Dunedin City Council
as Licensor by

Vanessa Dalton
Network Assets Team Leader



Signature of Authorised Signatory
Being a Duly Authorised Officer
under delegated authority

in the presence of:



.....
(Witness Signature)

Snehal Auti
.....
(Witness Name)

Dunedin
.....
(Witness Town/Locality where resides)

Network Assot Supervisor
.....
(Witness Occupation)

SIGNED by the Licensee



Bryan Robert Johnston



Patricia Diane Johnston

in the presence of:


.....
(Witness Signature)

S H KINDLEY
.....
(Witness Name)

DUNEDIN
.....
(Witness Town/Locality where resides)

POLICE OFFICER
.....
(Witness Occupation)

Initials: 